



CITY OF DALLAS
CITY PLAN COMMISSION
 Thursday, December 3, 2020
AGENDA

BRIEFINGS*:	(Videoconference)	10:00 a.m.
PUBLIC HEARING**:	(Videoconference)	1:30 p.m.

* The City Plan Commission may be briefed on any item on the agenda if it becomes necessary.
 ** The City Plan Commission meeting will be held by videoconference. Individuals who wish to speak in accordance with the City Plan Commission Rules of Procedure should contact the Sustainable Development and Construction Department at 214-670-4209 by 5:00 p.m., **Tuesday, December 1, 2020**. Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 96 or 99 and bit.ly/cityofdallastv or [YouTube.com/CityofDallasCityHall](https://www.youtube.com/CityofDallasCityHall). The following videoconference links are available to the public to listen to the meeting WebEx link below:

<http://bit.ly/CPC120320>.

Kris Sweckard, Director
 Neva Dean, Assistant Director of Current Planning

BRIEFINGS:

Subdivision Docket
Zoning Docket

PUBLIC TESTIMONY:

Development Plans
 Minutes

ACTION ITEMS:

Subdivision Docket

Planner: Sharmila Shrestha

Consent Items:

- (1) **S201-521** An application to create one 3.513-acre lot from a tract of land in City Block 5717 on property located at 6125 Peeler Street.
 (CC District 2) Owner: Three Birds Property Co.
Surveyor: Urban Structure
Application Filed: November 4, 2020
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (2) **S201-523**
(CC District 7)
- An application to replat a 0.686-acre tract of land containing all of Lots 1, 2, 3, and part of Lots 18 and 19 in City Block 1/6130 to create one lot on property located on Lawnview Avenue at Forney Road, north corner.
- Owner: Christian Adrian Montoya
Surveyor: CBG Surveying Texas, LLC
Application Filed: November 5, 2020
Zoning: CR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (3) **S201-524**
(CC District 7)
- An application to create one 0.42-acre lot from a tract of land in City Block 809 and a portion of abandoned Pacific Avenue on property located between Ash Lane and Parry Avenue, at the terminus of Pacific Avenue.
- Owners: 4100 Commerce LP & Block 809 Properties, LTD.
Surveyor: CBG Surveying Texas, LLC
Application Filed: November 5, 2020
Zoning: PD 269 (Tract A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (4) **S201-525**
(CC District 6)
- An application to create one 2.9521-acre lot from a tract of land in City Block 6607 on property located at 11301 Dennis Road, south of Northaven Road.
- Owner: 11301 Dennis Property, LLC
Surveyor: JDJR Engineers and Consultants, Inc.
Application Filed: November 5, 2020
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (5) **S201-526**
(CC District 1)
- An application to replat a 5.104-acre tract of land containing all of Lots 2 and 3 in City Block K/5961 to create one 0.147-acre lot, one 0.155-acre lot, and one 4.801-acre lot on property located at 2416 Westmoreland Road, between Illinois Avenue and June Drive.
- Owner: Prosperity Bank
Surveyor: Votex Surveying Company
Application Filed: November 5, 2020
Zoning: CR, MF-2(A), P(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (6) **S201-527**
(CC District 13) An application to create one 1.15-acre (50,037-square foot) lot from a tract of land in City Block 5469 on property located on Deloache Avenue at Edgemere Road, northwest corner.
Owner: Montana Amorosa Revocable Trust
Surveyor: Texas Heritage Surveying, LLC
Application Filed: November 5, 2020
Zoning: R-10(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (7) **S201-528**
(CC District 2) An application to replat a 0.358-acre tract of land containing all of Lots 16 and 17 in City Block 2/4493 to create one lot on property located on Lovers Lane, east of Taos Road.
Owner: West Lovers, LLC
Surveyor: Texas Heritage Surveying, LLC
Application Filed: November 5, 2020
Zoning: PD 326 (Area C)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (8) **S201-529**
(CC District 7) An application to replat a 1.7394-acre tract of land containing part of Lot 3 in City Block 3/7046 to create one lot on property located on Ferguson Road at Riek Road, east corner.
Owner: Lone Star Credit Union
Surveyor: Spooner & Associates
Application Filed: November 5, 2020
Zoning: NO(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (9) **S201-530**
(CC District 11) An application to replat a 2.586-acre tract of land containing all of Lot 3 in City Block 2/8708 to create one 0.258-acre lot and one 2.328-acre lot on property located on Belt Line Road at Dallas Parkway, southeast corner.
Owner: Rox Trep Tollway, L.P.
Surveyor: Lim & Associates, Inc.
Application Filed: November 5, 2020
Zoning: RR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (10) **S201-531**
(CC District 6) An application to create one 0.526-acre lot, one 0.587-acre lot, and one 12.353-acre lot from a 13.466-acre tract of land in City Blocks 6604 and 6605 on property located on Royal Lane, east of Grissom Lane.
Owners: Asam Development, LLC, New World Jewelry Inc., New World Trade Center I, LTD., Steven Sohn
Surveyor: Dunaway Associates, LP.
Application Filed: November 5, 2020
Zoning: IR, PD 899 (Subarea 1)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (11) **S201-532**
(CC District 8) An application to create 4 lots ranging in size from 3.402 acre to 33.264 acre from a 63.458-acre tract of land in City Block 6895 on property located on Crouch Road at Lancaster Road, northwest corner.
Owners: Julia Ann Adams, Arsia Ahulia Adams, Chammelia Deborah Adams Ahlborn, Gloria Marina Adams
Surveyor: Dunaway Associates, LP.
Application Filed: November 6, 2020
Zoning: PD 1040 (Tract 1, 2, 3, and 4)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (12) **S201-533**
(CC District 6) An application to replat a 2.871-acre tract of land in City Block 51/7940 to create one 0.851-acre lot and one 2.019-acre lot on property located on Regal Row, at the terminus of Premier Row.
Owners: Cardinal Management, LLC, Dalal Real Estate, LLC
Surveyor: Davis Land Surveying Co., Inc.
Application Filed: November 6, 2020
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Residential Replat:

- (13) **S201-522**
(CC District 14) An application to replat a 0.4218-acre tract of land containing part of Lots 8 through 14 in City Block 511 to create two 9,188-square foot lots on property located on Villars Street, southeast of San Jacinto Street.
Owner: Subdivisions Realty 11, LLC
Surveyor: CBG Surveying Texas, LLC
Application Filed: November 5, 2020
Zoning: PD 298 (Subarea 6)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Miscellaneous Items:

D201-001

Abraham Martinez
(CC District 6)

An application for a development plan within Subarea 1 of Planned Development District No. 899, north line of Royal Lane, east of Grissom Lane.

Staff Recommendation: **Approval.**

Applicant: New World Trade Center I, LTD / LDG Development

Representative: Robert Baldwin; Baldwin Associates

D190-004

Hannah Carrasco
(CC District 14)

An application for a development plan for a multifamily use on property zoned Planned Development Subdistrict No. 39 within Planned Development District No. 193, the Oak Lawn Special Purpose District, on the northwest corner of Maple Avenue and Wolf Street.

Staff Recommendation: **Approval.**

Applicant: 3001 Maple LP

Representative: Robert Baldwin, Baldwin Associates

D190-009

Hannah Carrasco
(CC District 2)

An application for a development plan for a multifamily use on property zoned Subdistrict II-B within Planned Development District No. 759, on the southeast side of Empire Central, at the terminus of Mohawk Drive.

Staff Recommendation: **Approval**, subject to a revised development plan.

Applicant: Mockingbird Venture Partners, LLC

Representative: Kiesha Kay, Masterplan Texas

D190-011

Hannah Carrasco
(CC District 6)

An application for a development plan and landscape plan for a police or fire station use on property zoned Subdistrict A within Planned Development District No. 741, on the northwest side of Watermill Road.

Staff Recommendation: **Approval.**

Applicant: CW Shoreline, Ltd., Cypress Waters Land A, Ltd., Trammel Crow No. 43, Ltd.

Representative: Gabrielle Collins, Pacheco Koch Consulting Engineers

Zoning Cases – Consent:

1. **Z190-133(CT)**

Carlos Talison
(CC District 8)

An application for a R-10(A) Single Family District on property zoned an NS(A)-D-1 Neighborhood Service District with a D-1 Liquor Control Overlay, on the northwest corner of Ravenview Road and Garden Grove Drive.

Staff Recommendation: **Approval** with retention of the D-1 Liquor Control Overlay.

Applicant: APDC Holdings, LLC and Benigno Morales and Alicia Morales

Representative: Cody Crannell, CCM Engineering

2. **Z190-332(ND)**
Neva Dean
(CC District 3)

An application for a Specific Use Permit for a child-care facility on property zoned an R-10(A) Single Family District with Specific Use Permit No. 601 for a private school on a portion of the property on the southwest corner of West Kiest Boulevard and Rio Grande Avenue.
Staff Recommendation: **Approval** for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.
Applicant: Centro Cristiano Para La Familia
Representative: Ban Alali, Alias Architects, LLC
3. **Z190-327(JK)**
Janna Keller
(CC District 9)

An application for the renewal of Specific Use Permit No. 2294 for an alcoholic beverage establishment limited to a private club-bar and a commercial amusement (inside) limited to a dance hall on property zoned a CS Commercial Service District, on the west line of McCree Road, north of East Northwest Highway.
Staff Recommendation: **Approval** for a two-year period, subject to conditions.
Applicant/Representative: Jay Woo, Club Azul
4. **Z190-339(JK)**
Janna Keller
(CC District 4)

An application for a TH-3(A) Townhouse District on property zoned an R-7.5(A) Single Family District on the northwest side of Edgemont Avenue, east of Stirling Avenue.
Staff Recommendation: **Approval**.
Applicant/Representative: Rene' Le Bel
5. **Z190-312(PD)**
Pamela Daniel
(CC District 2)

An application for a Planned Development District for a CS Commercial Service District on property zoned a CS Commercial Service District, on the north corner of Ann Avenue and Parry Avenue.
Staff Recommendation: **Approval**, subject to a development plan and conditions.
Applicant: Jubilee Park Clinic Holdings, LLC
Representative: Rob Baldwin, Baldwin Associates
6. **Z190-317(PD)**
Pamela Daniel
(CC District 7)

An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District, on the southeast corner of Scyene Road and Prairie Creek Road.
Staff Recommendation: **Approval**, subject to deed restrictions volunteered by the applicant.
Applicant: 9202 Scyene LLC
Representative: Rob Baldwin, Baldwin Associates

7. **Z190-335(PD)**
Pamela Daniel
(CC District 8)
- An application for a Specific Use Permit for the sale of alcoholic beverages for off-premise consumption in conjunction with a general merchandise or food store greater than 3,500 square feet use on property zoned a CS-D-1 Commercial Service District with a D-1 Liquor Control Overlay, on the northwest line of South Beltline Road, southwest of Kleberg Road.
- Staff Recommendation: **Approval** for a two-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.
- Applicant: Dolgencorp of Texas, Inc.
- Representative: Catherine Chamblee, Brackin Schwartz & Associates
8. **Z190-343(PD)**
Pamela Daniel
(CC District 5)
- An application for a Specific Use Permit for the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet use on property zoned a CR-D-1 Community Retail District with a D-1 Liquor Control Overlay, on the east side of St. Augustine Drive, south of Seagoville Road.
- Staff Recommendation: **Approval** for a two-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.
- Applicant: Dolgencorp of Texas, Inc.
- Representative: Catherine Chamblee, Brackin Schwartz & Associates

Zoning Cases – Under Advisement:

9. **Z190-158(PD)**
Pamela Daniel
(CC District 6)
- An application for a Planned Development District for office and mixed uses on property zoned an IR Industrial Research District, on the northeast corner of Gulden Lane and Singleton Boulevard.
- Staff Recommendation: **Approval**, subject to a revised development plan, a revised streetscape exhibit, and staff's recommended conditions.
- Applicant: West Dallas Investments, L.P.
- Representative: Laura Hoffman & Tommy Mann, Winstead PC
- UA From: November 5, 2020
10. **Z190-180(PD)**
Pamela Daniel
(CC District 6)
- An application for a Planned Development District for a GO General Office District and mixed uses on property zoned an R-5(A) Single Family District, an IR Industrial Research District, and a CS Commercial Service District, on the north side of Singleton Boulevard, between Bataan Street and Herbert Street.
- Staff Recommendation: **Denial**.
- Applicant: West Dallas Investments, L.P.
- Representative: Laura Hoffman & Tommy Man, Winstead PC
- UA From: November 5, 2020

11. **Z190-223(PD)**
Pamela Daniel
(CC District 8)
- An application for an MF-1(A) Multifamily District and an NS(A) Neighborhood Service District on property zoned an R-7.5(A) Single Family District, on the northwest side of South Belt Line Road, northeast of Garden Grove Drive.
Staff Recommendation: **Denial.**
Applicant: NAN Investments, LLC.
Representative: Correen C. Robertson, Civil Engineering Professionals, LLC.
UA From: October 15, 2020.
12. **Z190-121(AU)**
Andreea Udrea
(CC District 5)
- An application for a Specific Use Permit for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less use on property zoned Subdistrict 2 within Planned Development District No. 535, the C. F. Hawn Special Purpose District No. 3, with a D-1 Liquor Control Overlay, on the northeast corner of South St. Augustine Drive and C. F. Hawn Freeway.
Staff Recommendation: **Approval** for a two-year period, subject to a site plan and staff's recommended conditions.
Applicant: SAI Bhari Inc.
Representative: Ryan Hughes, Griffith Firm PLLC
UA From: November 5, 2020
13. **Z190-230(AU)**
Andreea Udrea
(CC District 13)
- An application for a P(A) Parking District on property zoned an R-16(A) Single Family District and an MF-2(A) Multifamily District, on the east line of Inwood Road, north of Lovers Lane.
Staff Recommendation: **Denial.**
Applicant: Intercity Investment Properties, Inc.
Representative: Dallas Cothrum, Masterplan
UA From: October 1, 2020 and November 5, 2020
14. **Z190-318(LG)**
La'Kisha Girder
(CC District 2)
- An application for an MF-2(A) Multifamily District on property zoned an MU-2 Mixed Use District and an IR Industrial Research District, on the northeast corner of Kimsey Drive and Maple Avenue.
Staff Recommendation: **Approval.**
Applicant: Urban Genesis
Representative: Rob Baldwin, Baldwin Associates
UA From: November 19, 2020
15. **Z190-319(LG)**
La'Kisha Girder
(CC District 2)
- An application for an MF-2(A) Multifamily District on property zoned an IM Industrial Manufacturing District, on the west corner of Maple Avenue and Stutz Drive.
Staff Recommendation: **Approval.**
Applicant: Urban Genesis
Representative: Rob Baldwin, Baldwin Associates
UA From: November 19, 2020

Zoning Cases – Individual:

16. **Z190-292(CT)**
Carlos Talison
(CC District 6)
- An application for a Specific Use Permit for a refuse transfer station on property zoned an IM Industrial Manufacturing District, on the south line of Singleton Boulevard, east of Shadrack Drive.
Staff Recommendation: **Approval** for a five-year period, subject to site plan and conditions.
Applicant: Gary Bartels, Waste Connections
Representative: Dallas Cothrum, MASTERPLAN
17. **Z190-334(JK)**
Janna Keller
(CC District 7)
- An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District, north of Scyene Road, between North Prairie Creek Road and Kingsford Avenue.
Staff Recommendation: **Denial.**
Applicant: Placid Development Group, LLC
Representative: Audra Buckley

Authorization of a Hearing:

East Kleberg
Steven Doss
(CC District 8)

Consideration of authorizing a public hearing to determine the proper zoning on property zoned Planned Development District Nos. 672 and 969, an A(A) Agricultural District, a CR Community Retail District with Specific Use Permit (SUP) No. 1301 for a Tower / Antenna for Cellular Communication and SUP No. 2297 for Mini-warehouse, a CR Community Retail with a D-1 Liquor Control Overlay, a CS Commercial Service District, an MF-1(A)(SAH) Multifamily District, an MH(A) Manufactured Home District, an R-1/2ac(A) Single Family Residential District, an R-10(A) Single Family Residential District, an R-16(A) Single Family Residential District, and an R-7.5(A) Single Family Residential District in an area generally bound by Interstate Highway 20 and City of Dallas Corporate Limits on the north, City of Dallas Corporate Limits on the east and south, Seagoville Road on the southwest, and Beltline Road on the west and containing approximately 1,418 acres with consideration to be given to appropriate zoning for the area to include but not limited to use, development standards, and other appropriate regulations. **This is a hearing to consider the request to authorize the hearing and not the rezoning of property at this time.**

West Kleberg
Steven Doss
(CC District 8)

Consideration of authorizing a public hearing to determine the proper zoning on property zoned Planned Development District Nos. 162, 258, 399, 512, 566, 752, 789, 797, and 777 with Specific Use Permit (SUP) No. 1886 for Sale of Alcoholic Beverages and a D-1 Liquor Control Overlay, an A(A) Agricultural District with SUP No. 1031 for a Radio, Television or Microwave Tower, SUP No. 2232 for Placement of Fill Material, SUP No. 798 for Mining of Sand & Gravel, SUP No. 799 for Mining of Sand & Gravel, and SUP No. 84 for a Sewage Treatment Plant, a CR Community Retail District with SUP No. 1838 for Sale of

Alcoholic Beverages, SUP No. 2146 for Sale of Alcoholic Beverages in Conjunction with a General Food Store greater than 3,500 square feet, SUP No. 2272 for Mini-warehouse, SUP No. 2378 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store 3,500 square feet or less, and SUP No. 2393 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store 3,500 square feet or less, a CS Commercial Service District with SUP No. 1111 for Sale of Alcoholic Beverages, SUP No. 1837 for Commercial Amusement (Inside) limited to a Dance Hall, SUP No. 1843 for Sale of Alcoholic Beverages, SUP No. 1851 for Sale of Alcoholic Beverages, SUP No. 1883 for Sale of Alcoholic Beverages, SUP No. 2242 for a Tower / Antenna for Cellular Communication, SUP No. 2262 for Commercial Amusement (Inside) Limited to a Dance Hall, SUP No. 2282 for Outside Sales, and SUP No. 2332 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store greater than 3,500 square feet, a CS Commercial Service District with D-1 Liquor Control Overlay, a D(A) Duplex District, an IM Industrial/Manufacturing District, an IM Industrial/Manufacturing District with a D-1 Liquor Control Overlay, an IR Industrial/Research District, an IR Industrial/Research District with a D-1 Liquor Control Overlay, an LO-1 Limited Office District, an MF-1(A)(SAH) Multifamily District, an MF-2(A)(SAH) Multifamily District, an MH(A) Manufactured Home District, an MU-1(SAH) Mixed Use District, an MU-1(SAH) Mixed Use District with a D-1 Liquor Control Overlay, an NO(A) Neighborhood Office District, an NS(A) Neighborhood Service District, an NS(A) Neighborhood Service District with a D-1 Liquor Control Overlay, an R-1ac(A) Single Family Residential District, an R-1/2ac(A) Single Family Residential District, an R-1/2ac(A) Single Family Residential District with a D-1 Liquor Control Overlay, an R-10(A) Single Family Residential District with SUP No. 800 for a Cemetery and SUP No. 801 for a Water Tower, an R-16(A) Single Family Residential District, an R-7.5(A) Single Family Residential District, an R-7.5(A) Single Family Residential District with a D-1 Liquor Control Overlay, an R-5(A) Single Family Residential District, an R-5(A) Single Family District with a D-1 Liquor Control Overlay, and a TH-1(A) Townhome District in an area generally bound by Beltline Road and Seagoville Road on the east, City of Dallas Corporate Limits on the south and west, St Augustine Road, Haymarket Road, and Ashwood Drive on the northwest, and City of Dallas Corporate Limits, Rylie Crest Drive, Ravenview Road, and Fish Road on the north and containing approximately 7,002 acres with consideration to be given to appropriate zoning for the area to include but not limited to use, development standards, and other appropriate regulations. **This is a hearing to consider the request to authorize the hearing and not the rezoning of property at this time.**

Other Matters:

Minutes: November 19, 2020

Adjournment

CITY PLAN COMMISSION PUBLIC COMMITTEE MEETINGS

Thursday, December 3, 2020

ZONING ORDINANCE ADVISORY COMMITTEE (ZOAC) MEETING - Thursday, December 3, via videoconference, at 8:30 a.m., to consider (1) **DCA190-002** - Consideration of amending off-street parking and loading requirements in Chapters 51 and 51A of the Dallas Development Code. The public may attend the meeting via the videoconference link:

<http://bit.ly/ZOAC12032020>

Tuesday, December 8, 2020

SPECIAL SIGN DISTRICT ADVISORY COMMITTEE (SSDAC) MEETING - Tuesday, December 8, 2020, via videoconference, at 9:00 a.m., to consider (1) **2010280014** - An application for a Certificate of Appropriateness by Bobby Nichols - Chandler Signs, for a 1,330-square-foot flat attached LED illuminated upper level sign at 717 N. Harwood Street, Suite 3400 (northwest elevation); and (2) **2010280013** - An application for a Certificate of Appropriateness by Bobby Nichols - Chandler Signs, for a 1,959-square-foot flat attached LED illuminated upper level sign at 717 N. Harwood Street, Suite 3400 (southwest elevation). The public may attend the meeting via the videoconference link below:

https://bit.ly/SSDAC_12-08-20

Note: The official Committee Agendas will be posted in the City Secretary's Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for items for consideration.

EXECUTIVE SESSION NOTICE

The Commission may hold a closed executive session regarding any item on this agenda when:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the Commission/Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex. Govt. Code §551.086]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.089]

Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section [30.07](#), Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-521**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** 6125 Peeler Street**DATE FILED:** November 4, 2020**ZONING:** IR**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 3.513-acres**MAPSCO:** 34Q**OWNER:** Three Birds Property Co.**REQUEST:** An application to create one 3.513-acre lot from a tract of land in City Block 5717 on property located at 6125 Peeler Street.**SUBDIVISION HISTORY:**

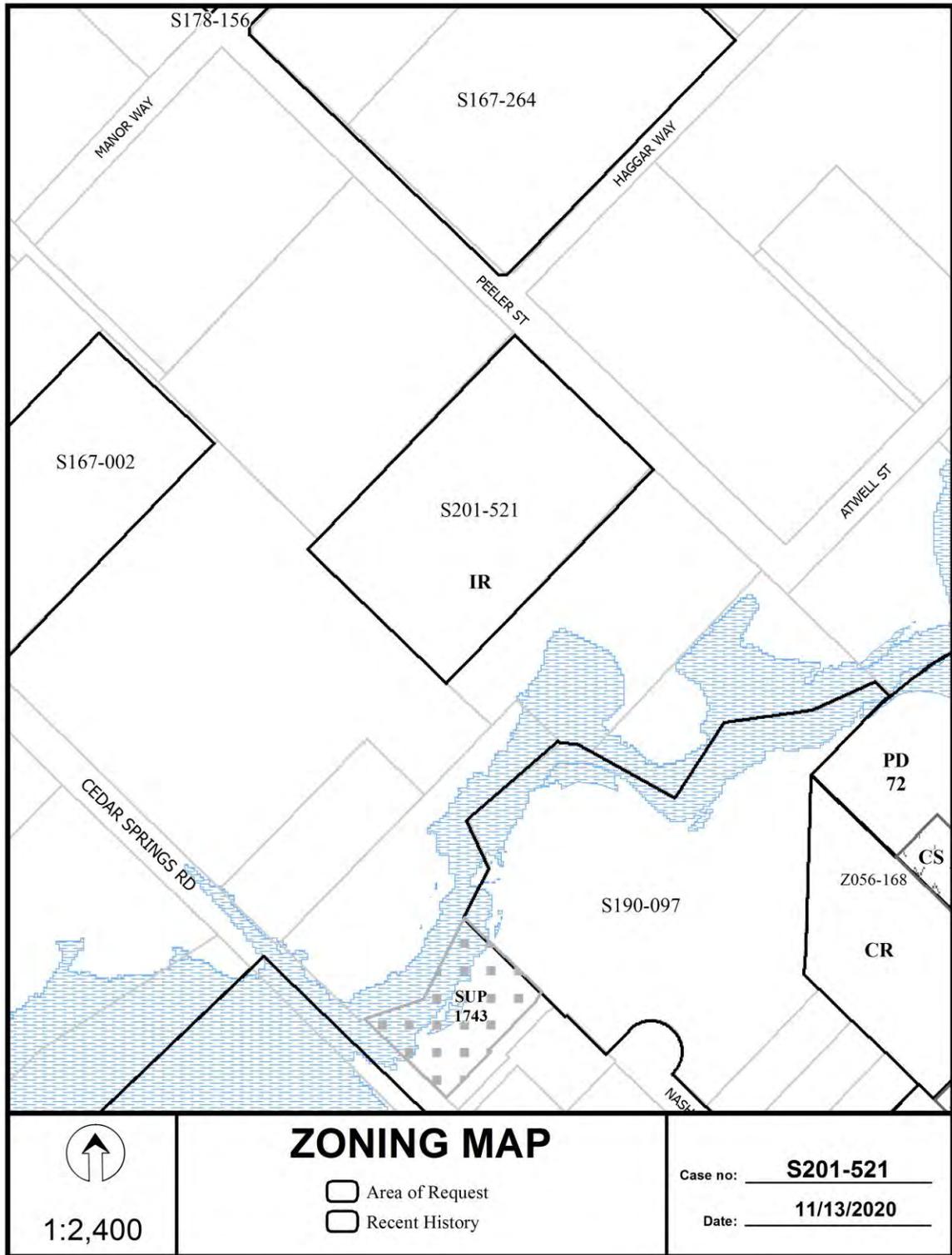
1. S190-097 was a request north of the present request to replat a 9.680-acre tract of land containing all of Lot 1D in City Block 5716, 2C in City Block 1/4798, and lots 5 through 7 in City Block 2/4626 to create one lot on property located at terminus of Nash Street, northwest of Inwood Road. The request was approved March 5, 2020 but has not been recorded.
2. S178-156 was a request northwest of the present request to create one 3.633-acre lot from a tract of land in City Block 5718 on property located on Manor Way at Peeler Street, if extended, northeast of Cedar Springs Road. The request was approved April 19, 2018 but has not been recorded.
3. S167-264 was a request north of the present request to replat a 7.298-acre tract of land containing all of Lots 1 and 3 in City Block B/5715, and a part of City Block 5715 to create one 3.621-acre lot and one 3.665-acre lot on property located on Peeler Street between Manor Way and Haggar Way. The request was approved September 7, 2017 and has not been recorded.
4. S167-002 was a request west of the present request to create one 3.106-acre lot from a tract of land in City Block 1/5717 on property located on Cedar Springs Road, southeast of Manor Way. The request was approved November 10, 2016 and recorded July 12, 2019.

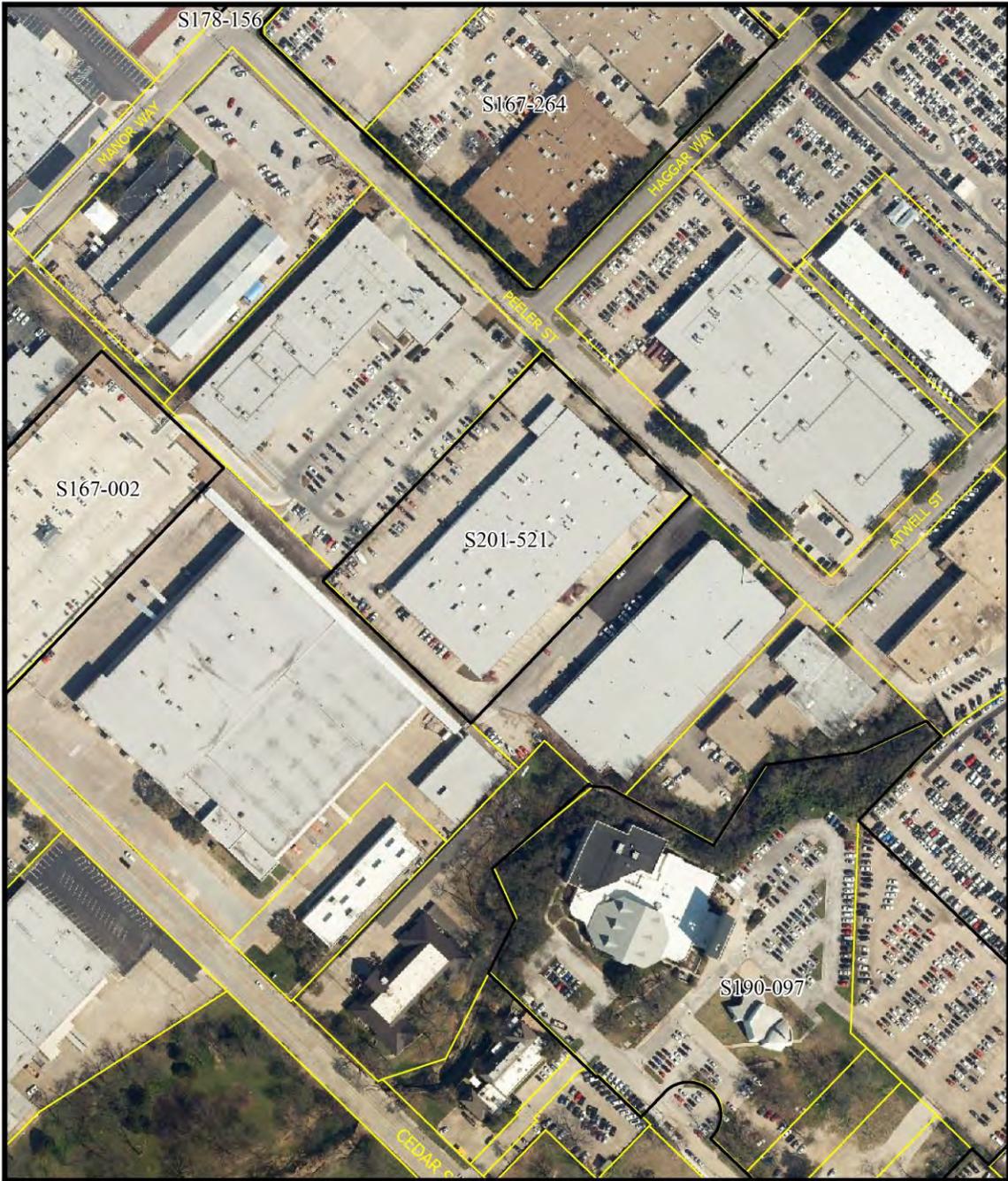
STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.

2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Peeler Street. Section 51A 8.602(c).

16. On the final plat, show recording information on all existing easements within 150 feet of property.
17. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
18. On the final plat, show/list prior plat on map, in legal, and /or title block.
19. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
20. Water main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
21. On the final plat, identify the property as Lot 1 in City Block 1/5717. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).





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AERIAL MAP

- Area of Request
- Recent History

Case no: S201-521

Date: 11/13/2020

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-523**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Lawnview Avenue at Forney Road, north corner**DATE FILED:** November 5, 2020**ZONING:** CR**CITY COUNCIL DISTRICT:** 7 **SIZE OF REQUEST:** 0.686-acre**MAPSCO:** 47L**OWNER:** Christian Adrian Montoya

REQUEST: An application to replat a 0.686-acre tract of land containing all of Lots 1, 2, 3, and part of Lots 18 and 19 in City Block 1/6130 to create one lot on property located on Lawnview Avenue at Forney Road, north corner.

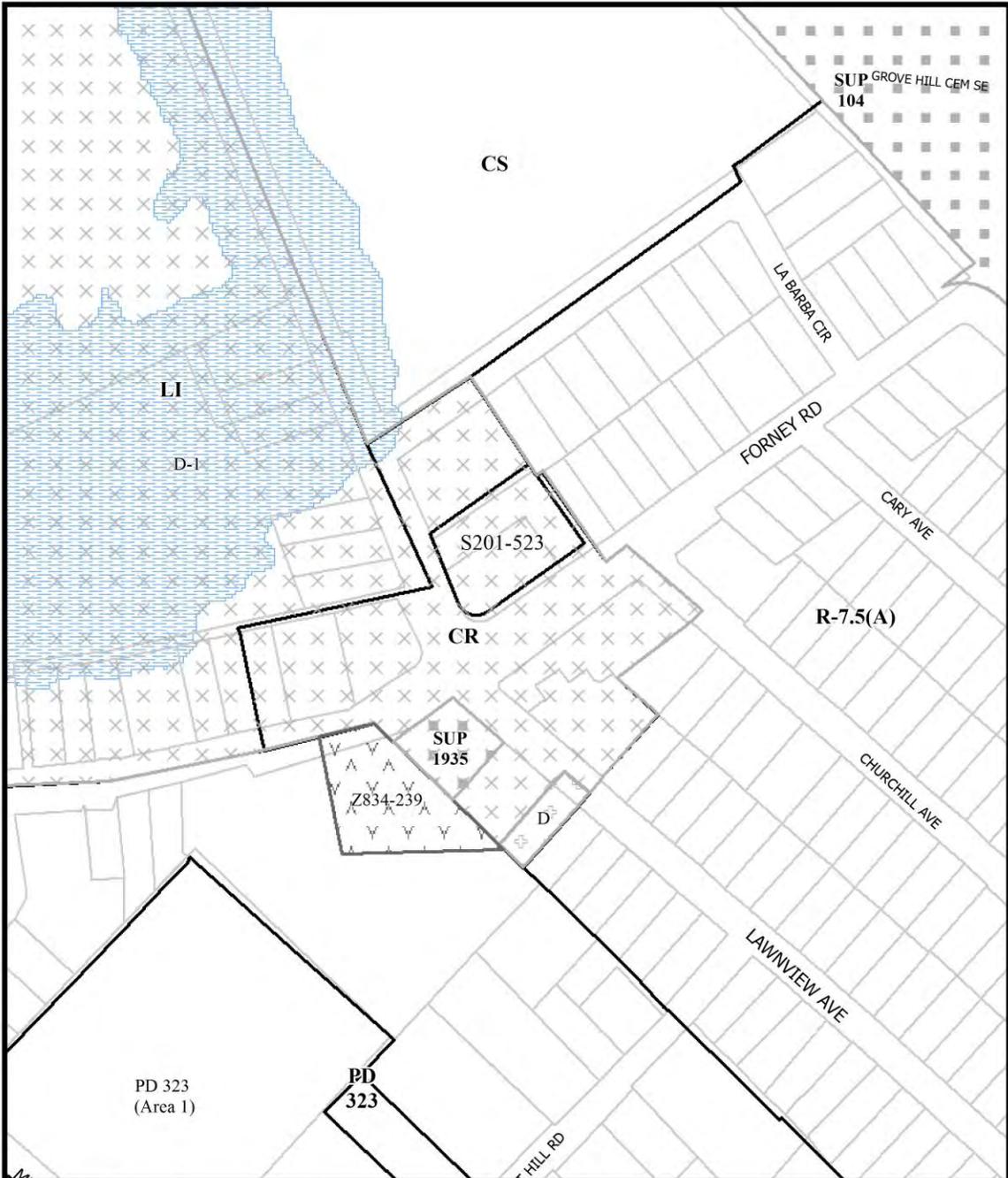
SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the CR Community Retail District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, need Lien Holder's Subordination Agreement.
16. On the final plat, show how all adjoining right-of-way was created.
17. On the final plat, show recording information on all existing easements within 150 feet of property.
18. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
19. On the final plat, show recording information for the portions of Lots 18 and 19 for the subject property.
20. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
21. Wastewater main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.

23. On the final plat, change “La Barba Street” to “La Barba Circle (F.K.A. La Barba Street)”. Section 51A-8.403(a)(1)(A)(xii)
24. On the final plat, change “(Formerly S. Haskell Avenue)” to “(F.K.A. Haskell Avenue)”. Section 51A-8.403(a)(1)(A)(xii)
25. On the final plat, identify the property as Lot 1A in City Block 1/6130. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:2,400	<h2>ZONING MAP</h2> <ul style="list-style-type: none">  Area of Request  Recent History 	Case no: <u> S201-523 </u> Date: <u> 11/13/2020 </u>
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AERIAL MAP

- Area of Request
- Recent History

Case no: S201-523

Date: 11/13/2020

CITY PLAN COMMISSION**THURSDAY DECEMBER 3, 2020****FILE NUMBER:** S201-524**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Ash Lane and Parry Avenue, at the terminus of Pacific Avenue**DATE FILED:** November 5, 2020**ZONING:** PD 269 (Tract A)**PD LINK:** <http://www.dallascityattorney.com/51P/Articles%20Supp%2038/ARTICLE%20269.pdf>**CITY COUNCIL DISTRICT:** 7 **SIZE OF REQUEST:** 0.42-acre**MAPSCO:** 46K**OWNER:** 4100 Commerce LP & Block 809 Properties, LTD

REQUEST: An application to create one 0.42-acre lot from a tract of land in City Block 809 and a portion of abandoned Pacific Avenue on property located between Ash Lane and Parry Avenue, at the terminus of Pacific Avenue.

SUBDIVISION HISTORY:

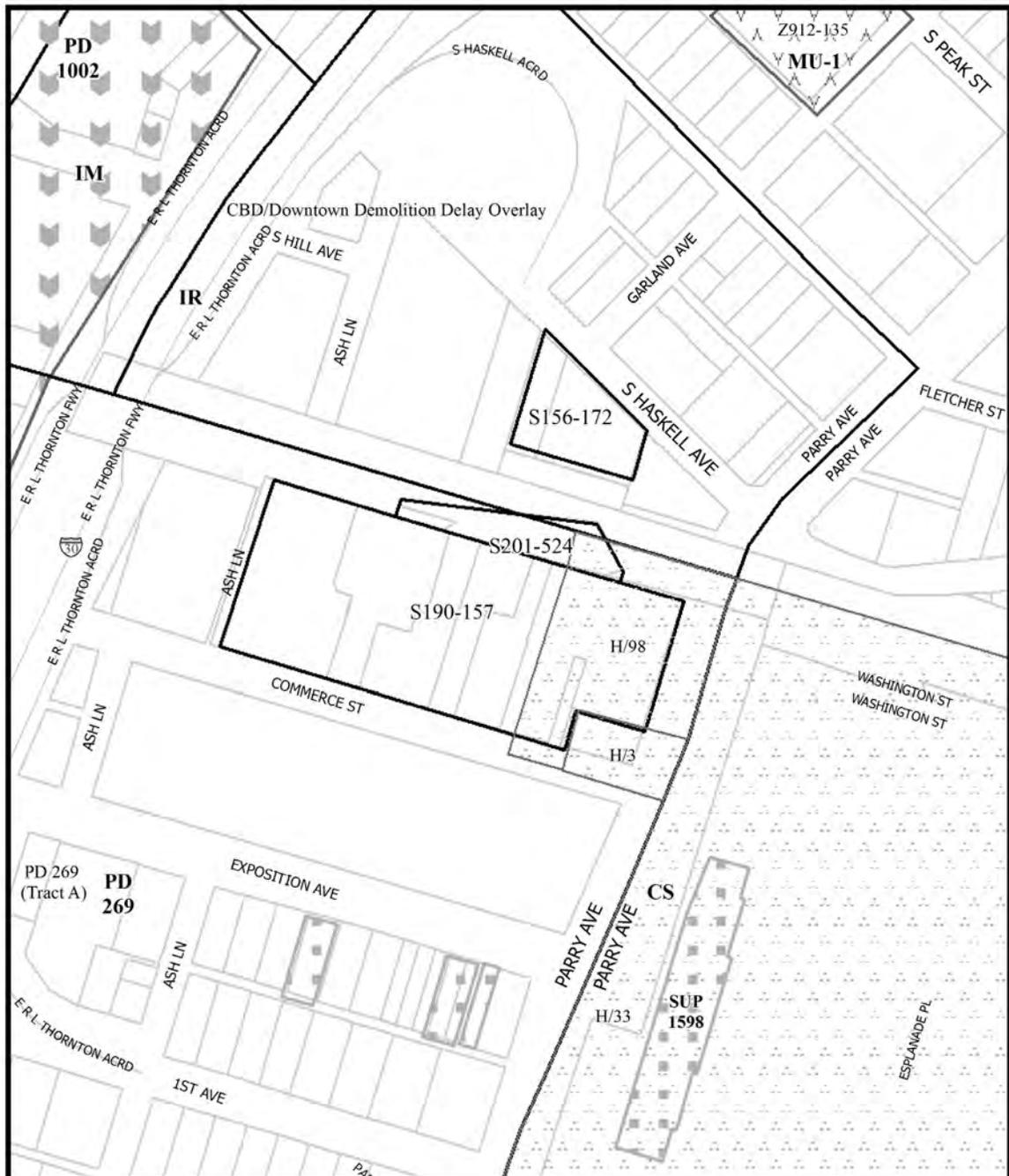
1. S190-157 was a request south of the present request to replat a 4.35-acre tract of land containing all of Lots 2 through 25 in City Block B/809, a 16-foot abandoned alley, and a portion of abandoned Pacific Avenue to create one lot on property bounded by Pacific Avenue, Parry Avenue, Commerce Street, and Ash Lane. The request was approved July 9, 2020 but has not been recorded.
2. S156-172 was a request north of the present request to create one lot from a 0.589-acre tract of land in City Block 3/808 on property located at Haskell Avenue, east of Ash Lane. The request was approved May 19, 2016 but has not been recorded.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of PD 269 (Tract A); therefore, staff recommends approval subject to compliance with the following conditions:

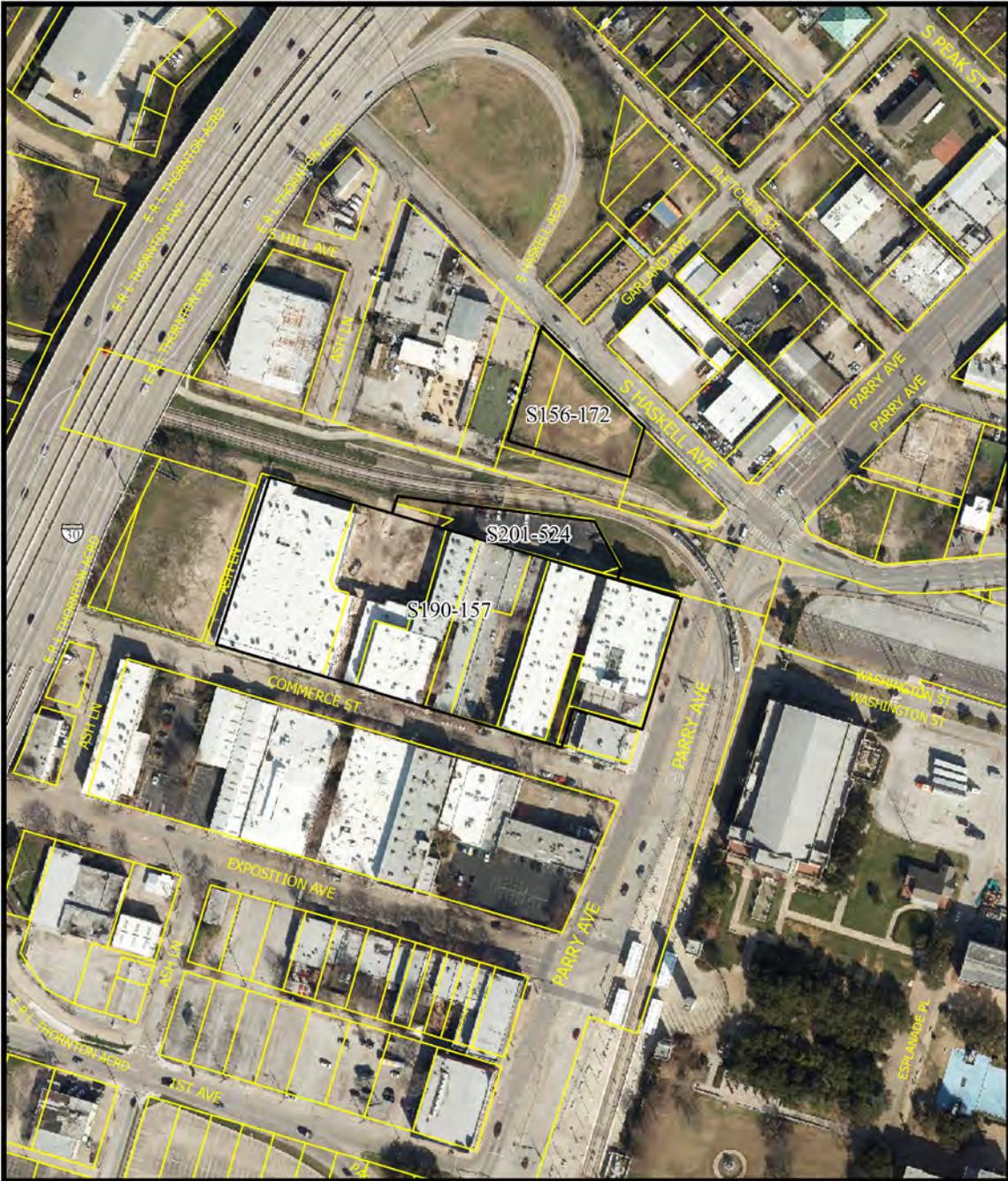
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the

- plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
 8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
 9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
 10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
 11. The number of lots permitted by this plat is one.
 12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
 13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
 14. On the final plat, provide turn around per City of Dallas Standards at the end of Pacific Avenue off of Parry Avenue. Section 51A-8.506(b)
 15. Comply with Peaks Branch drainage requirements. Finish floor elevation is recommended to be 3 feet above nearest inlet, top of curb. Per Dallas Water Utilities (DWU) Floodplain Management Department recommendation.
 16. On the final plat, show how all adjoining right-of-way was created.
 17. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
 18. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
 19. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

20. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
21. Prior to the final plat submittal, provide a copy of the ordinance and recorded instruments to Real Estate and show all the abandonments noted on the plat as: "Abandonment authorized by Ordinance No. _____, recorded as Instrument No. _____. Utility easements retained."
22. On the final plat, change "(F.K.A. Kentuckey Street" to "(F.K.A. Kentucky Street". Section 51A-8.403(a)(1)(A)(xii)
23. On the final plat, identify the property as Lot 26 in City Block B/809. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:2,400	<h2>ZONING MAP</h2> <ul style="list-style-type: none">  Area of Request  Recent History 	Case no: <u> S201-524 </u> Date: <u> 11/13/2020 </u>
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 1:2,400	<h2 style="text-align: center;">AERIAL MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-524 </u> Date: <u> 11/13/2020 </u>
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CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-525**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** 11301 Dennis Road, south of Northaven Road**DATE FILED:** November 5, 2020**ZONING:** IR**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 2.9521-acres**MAPSCO:** 23A**OWNER:** 11301 Dennis Property, LLC

REQUEST: An application to create one 2.9521-acre lot from a tract of land in City Block 6607 on property located at 11301 Dennis Road, south of Northaven Road.

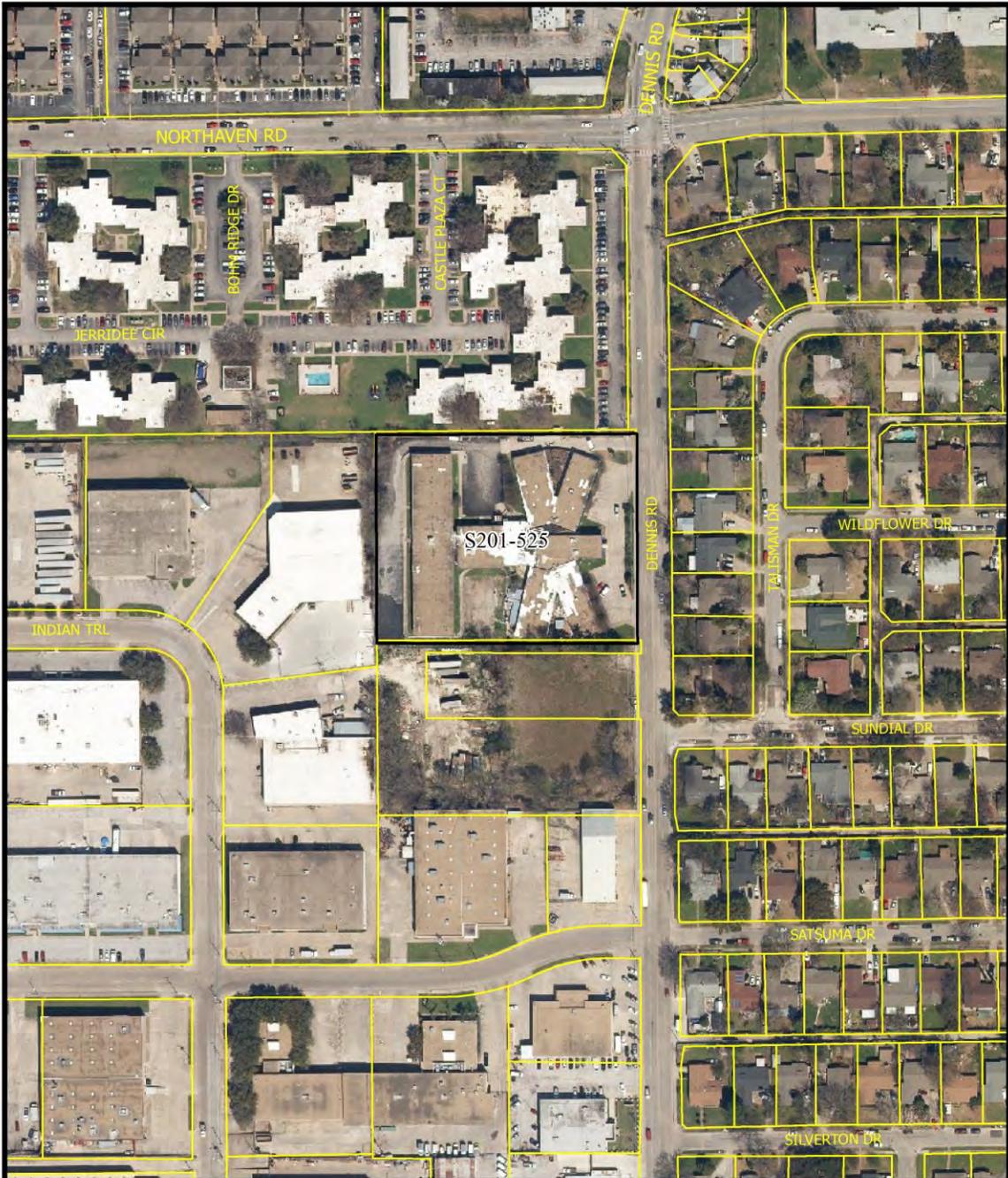
SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 30 feet of right-of-way (via fee simple) from the established center line of Dennis Road. Section 51A 8.602(c).
16. On the final plat, show recording information on all existing easements within 150 feet of property.
17. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
18. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
19. Water and wastewater main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
20. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
21. On the final plat, identify the property as Lot 1 in City Block A/6607. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).





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AERIAL MAP

- Area of Request
- Recent History

Case no: **S201-525**

Date: **11/13/2020**

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-526**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** 2416 Westmoreland Road, between Illinois Avenue and June Drive**DATE FILED:** November 5, 2020**ZONING:** CR, MF-2(A), P(A)**CITY COUNCIL DISTRICT:** 1 **SIZE OF REQUEST:** 5.104-acres**MAPSCO:** 53P**OWNER:** Prosperity Bank

REQUEST: An application to replat a 5.104-acre tract of land containing all of Lots 2 and 3 in City Block K/5961 to create one 0.147-acre lot, one 0.155-acre lot, and one 4.801-acre lot on property located at 2416 Westmoreland Road, between Illinois Avenue and June Drive.

SUBDIVISION HISTORY:

1. S190-232 was a request located on the present request to replat a 5.104-acre tract of land containing all of Lots 2 and 3 in City Block K/5961 to create one 0.303-acre lot and one 4.801-acre lot on property located on South Westmoreland Road, north of West Illinois Avenue. The request was withdrawn October 13, 2020 before City Plan Commission hearing.

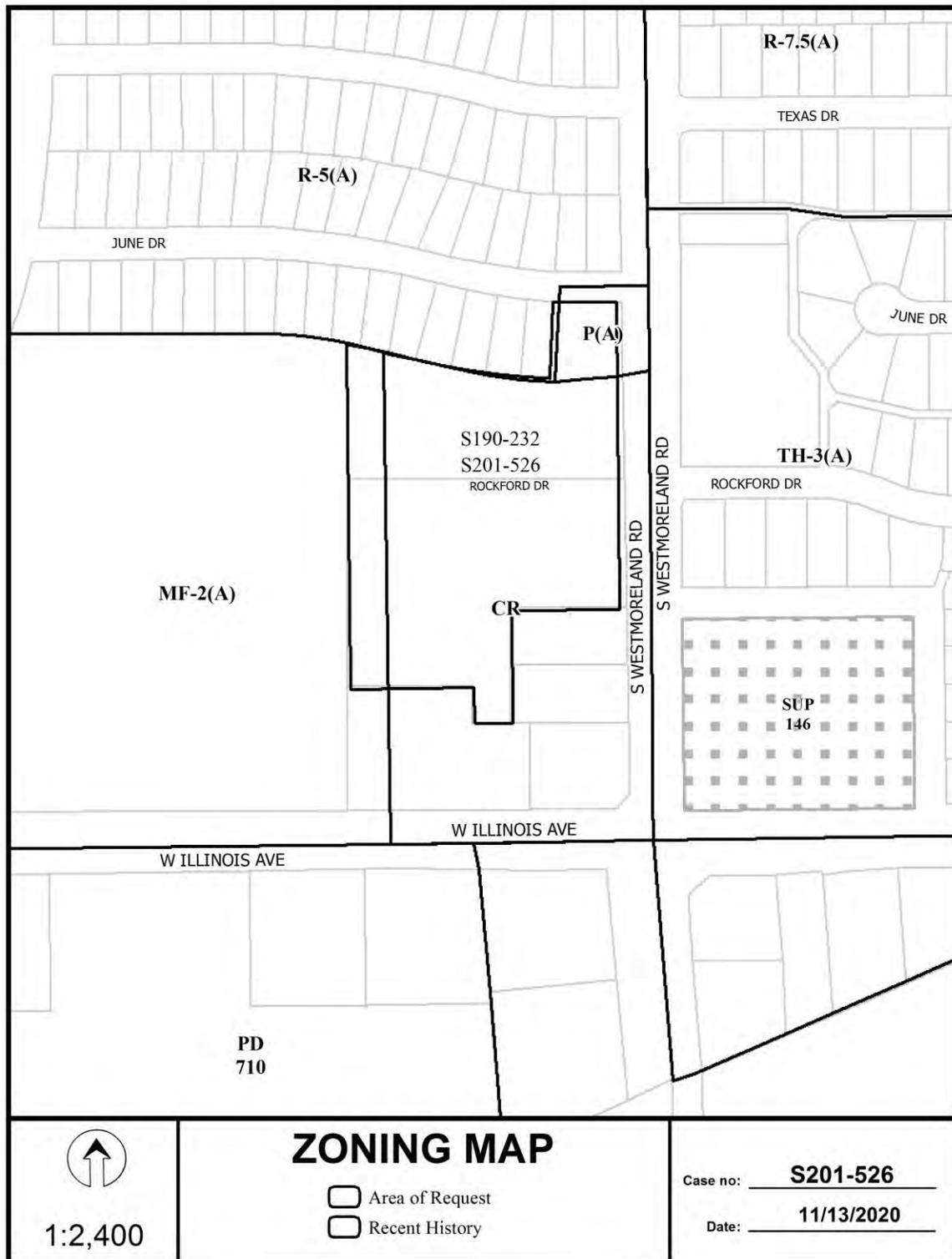
STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the CR Community Retail, MF-2(A) Multifamily, and P(A) Parking Districts; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.

7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is three.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of June Drive. Section 51A 8.602(c).
16. On the final plat, dedicate a minimum 5-foot by 5-foot corner clip (via fee simple or street easement) at June Drive and Westmoreland Road. Section 51A-8.602(d)(1)
17. A larger corner clip may be requested during engineering plan review to accommodate an adequate turning radius, or to maintain public appurtenances within the area of the corner clip. Section 51A-8.602 (d) (1)
18. On the final plat, show how all adjoining right-of-way was created.
19. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
20. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
21. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed

water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

22. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
23. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
24. Prior to final plat submittal, contact Real Estate to process abandonments noted on the plat. Utility easement abandonments shown on the plat must be noted as: "Abandonment authorized by Ordinance No. _____, recorded as Instrument No. _____."
25. On the final plat, change "South Westmoreland Road" to "Westmoreland Road". Section 51A-8.403(a)(1)(A)(xii)
26. On the final plat, change "West Illinois Avenue" to "Illinois Avenue". Section 51A-8.403(a)(1)(A)(xii)
27. On the final plat, change "Texas Drive" to "Rockford Drive". Section 51A-8.403(a)(1)(A)(xii)
28. On the final plat, identify the property as Lot 2A, Lot 3A, and Lot 3B in City Block K/5961. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



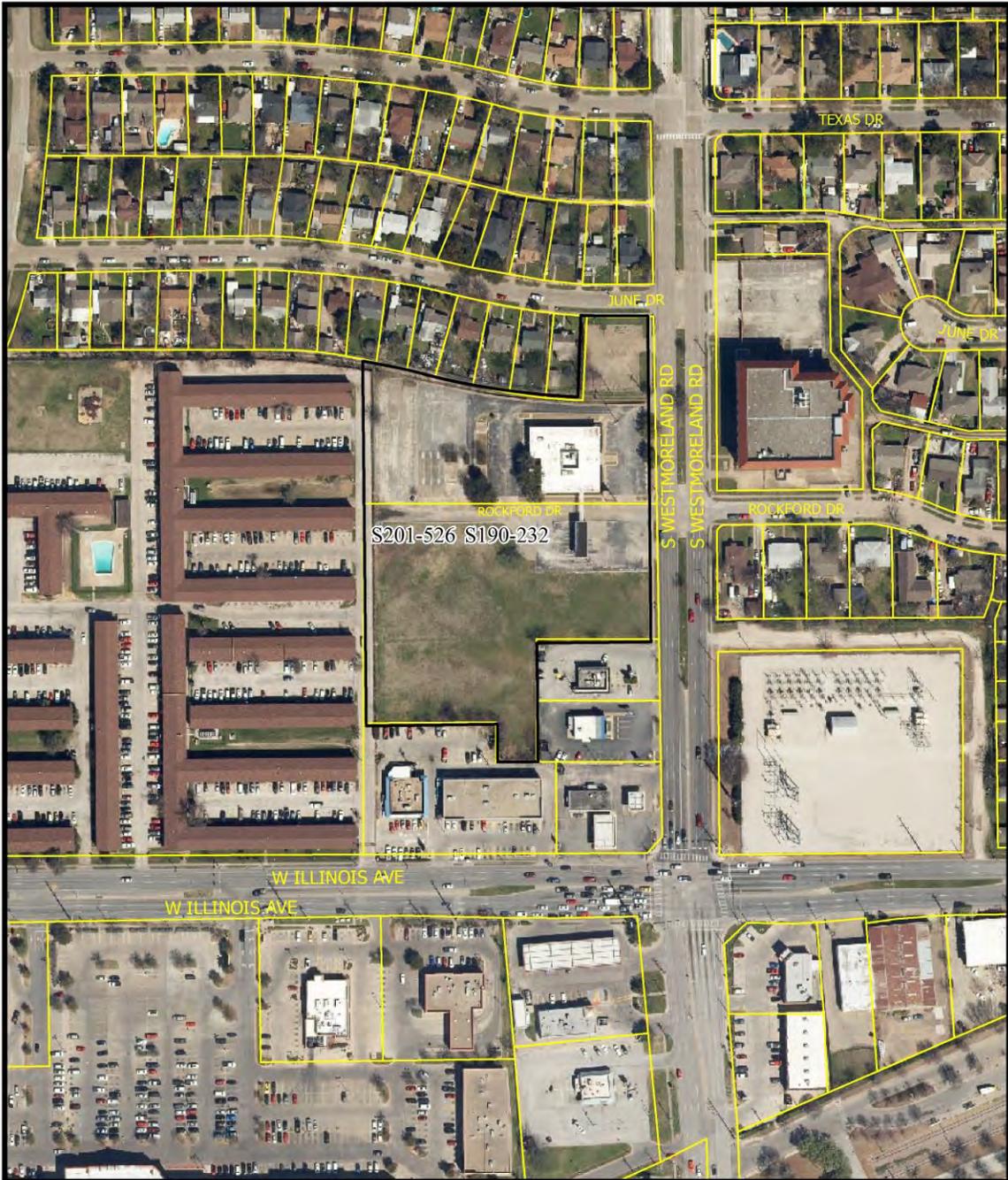
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ZONING MAP

- Area of Request
- Recent History

Case no: S201-526

Date: 11/13/2020



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AERIAL MAP

- Area of Request
- Recent History

Case no: S201-526

Date: 11/13/2020



- NOTES:
1. LOT 2R PLANNING AND DESIGN ARE SUBJECT TO THE CITY OF DALLAS PLANNING AND DESIGN REVIEW PROCESS.
 2. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 3. CONCEPTUAL PLANNING AND DESIGN ARE SUBJECT TO THE CITY OF DALLAS PLANNING AND DESIGN REVIEW PROCESS.
 4. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 5. ALL EASEMENTS AND RIGHTS RESERVED TO THE BANK OF THE SOUTHWEST.
 6. BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 7. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 8. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 9. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.
 10. THE BANK OF THE SOUTHWEST IS THE STATE PLANNING COMMISSION APPROVED PLANNING AND DESIGN REVIEW PROCESS.

NO.	STRUCTURE	AREA (SQ. FT.)	HEIGHT (FEET)
1	OFFICE BUILDING	100,000	10
2	RETAIL BUILDING	50,000	10
3	PARKING GARAGE	200,000	10
4	UTILITY BUILDING	10,000	10
5	LANDSCAPING	10,000	10
6	WATER TREATMENT PLANT	10,000	10
7	WASTEWATER TREATMENT PLANT	10,000	10
8	STORAGE TANK	10,000	10
9	GENERATOR	10,000	10
10	TRANSFORMER	10,000	10

DATE: 01/15/2020
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PRELIMINARY PLAT
BANK OF THE SOUTHWEST
 LOT 2R, 3R AND 4R, BLOCK K19861
 BEING A PART OF
 ALL OF
 LOTS 2 & 3, BLOCK K19861
 BANK OF THE SOUTHWEST
 OUT OF THE
 JAMES MCCOMBS SURVEY, ABSTRACT NO. 888
 CITY OF DALLAS, DALLAS COUNTY, TEXAS
 ENGINEERING NUMBER 3117
 SHEET 1 OF 2

- LEGEND**
- 1. DOWNSIDE EASEMENT
 - 2. SIDEWALK
 - 3. DRIVEWAY
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FILE NUMBER: S201-527**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Deloache Avenue at Edgemere Road, northwest corner**DATE FILED:** November 5, 2020**ZONING:** R-10(A)**CITY COUNCIL DISTRICT:** 13 **SIZE OF REQUEST:** 1.15-acre**MAPSCO:** 25U**OWNER:** Montana Amorosa Revocable Trust

REQUEST: An application to create one 1.15-acre (50,037-square foot) lot from a tract of land in City Block 5469 on property located on Deloache Avenue at Edgemere Road, northwest corner.

SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

STAFF RECOMMENDATION: Section 51A-8.503 states that “lots must conform in width, depth and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

This request is in a residential zoning district R-10(A) Single Family District. The lot is being created from tracts of land that has never been platted before; therefore, it does not qualify as a residential replat and can be approved on the consent agenda.

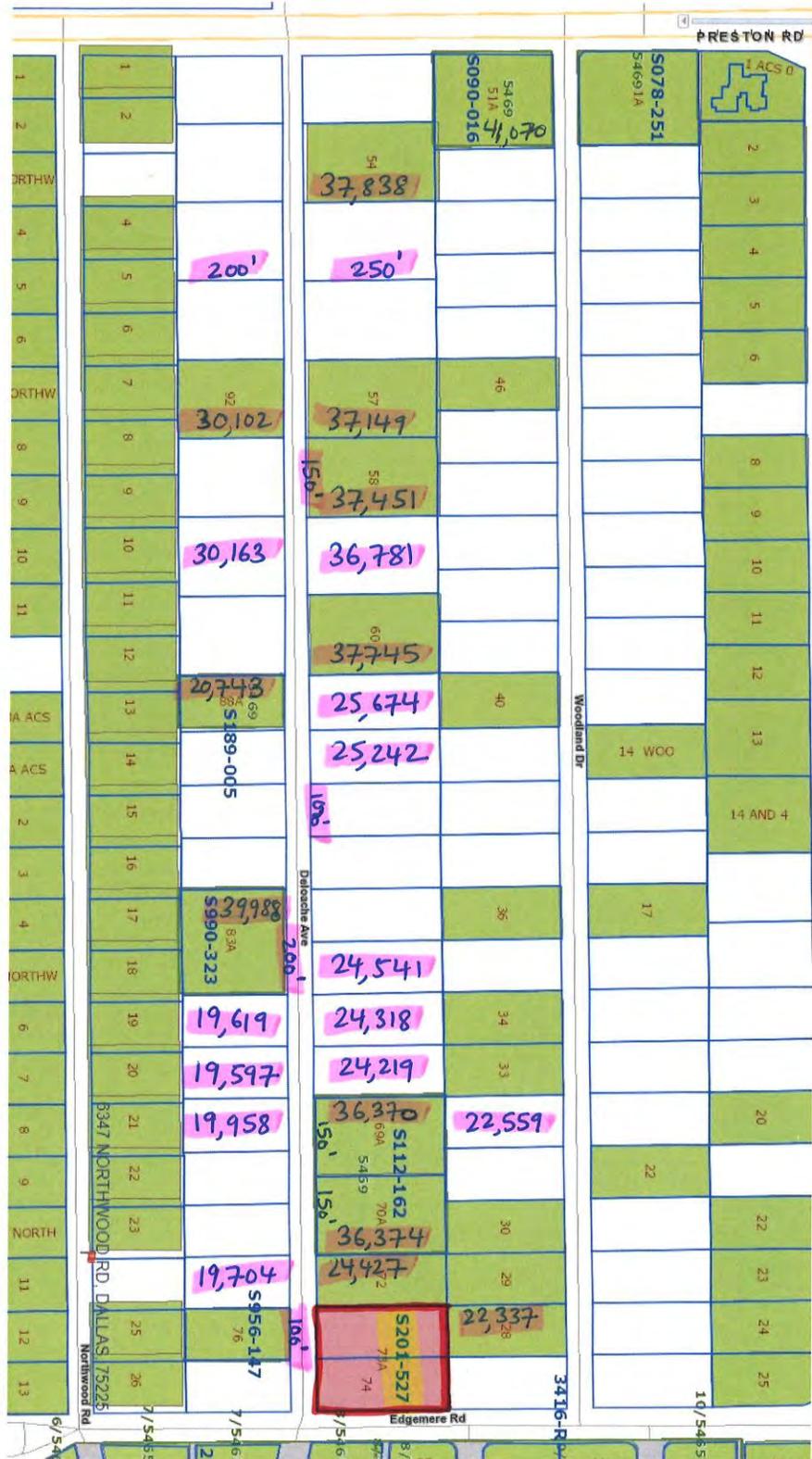
- The properties to the northline of Deloache Avenue have widths ranging in size from 100 feet to 150 feet and lot areas ranging in size from 24,219 square feet to 37,838 square feet and are zoned R-10(A) Single Family District. *(please refer to the existing area analysis map)*
- The properties to the southline of Deloache Avenue have widths ranging in size from 100 feet to 200 feet and lot areas ranging in size from 19,597 square feet to 39,988 square feet and are zoned R-10(A) Single Family District. *(please refer to the existing area analysis map)*
- S112-162 was a request west of the present request to replat a 1.721 acre tract of land containing all of Lots 69, 70, and 71 of an unrecorded subdivision in City Block 5469 into two 0.860 acre lots on property located at 6307, 6315 and 6323 Deloache Avenue, west of Edgemere Drive. The request was approved July 19, 2012 and recorded January 28, 2013. *(please refer to the existing area analysis map)*
- S990-323 was a request southwest of the present request to create one 39,988.77 square foot lot. The request was approved August 24, 2000 and recorded October 4, 2000. *(please refer to the existing area analysis map)*

The request lies in an R-10(A) Single Family District which has a minimum lot area requirement of 10,000 square feet. The request is to create one 50,037-square foot lot. The proposed lot has width of 200 feet which is similar to the lot width of the property (S990-323) on the southline of Deloache Avenue. Staff finds that there is a variation in lot width and lot area within the immediate vicinity of the request and concludes that there is no established lot pattern; and the request is in compliance with Section 51A-8.503 and also with the requirements of the R-10(A) Single Family District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts

- with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
 14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
 15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Deloache Avenue. Section 51A-8.602(c).
 16. On the final plat, dedicate a minimum 5-foot by 5-foot corner clip (via fee simple or street easement) at Deloache Avenue and Edgemere Road. Section 51A-8.602(d)(1)
 17. On the final plat, show how all adjoining right-of-way was created.
 18. On the final plat, show recording information on all existing easements within 150 feet of property.
 19. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
 20. On the final plat, show/list prior plat on map, in legal, and /or title block.
 21. On the final plat, verify width of right-of-way of Deloache Avenue, east of Edgemere Road.
 22. On the final plat, identify the property as Lot 73A in City Block 5469. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



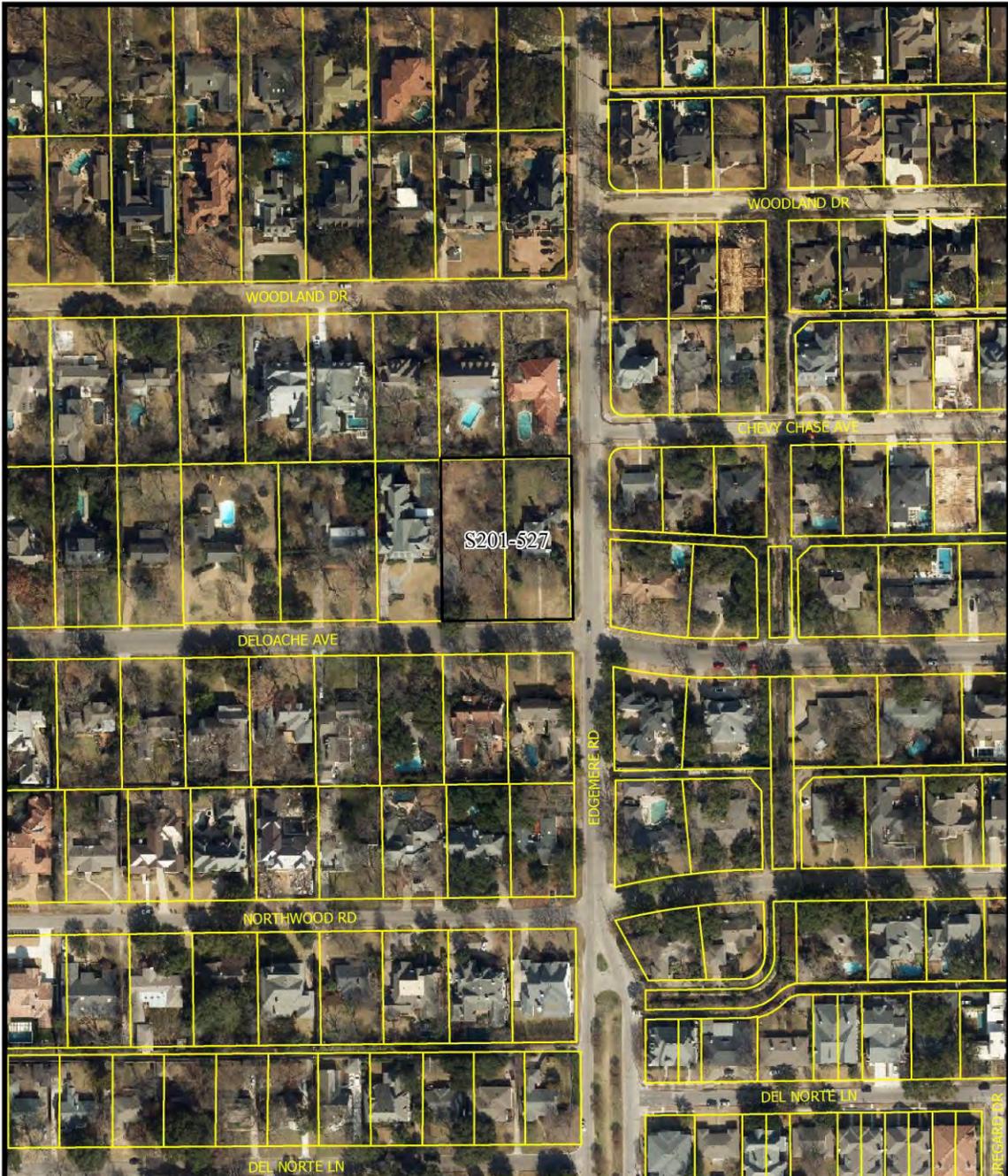


ALL AREAS ARE IN SQUARE FEET

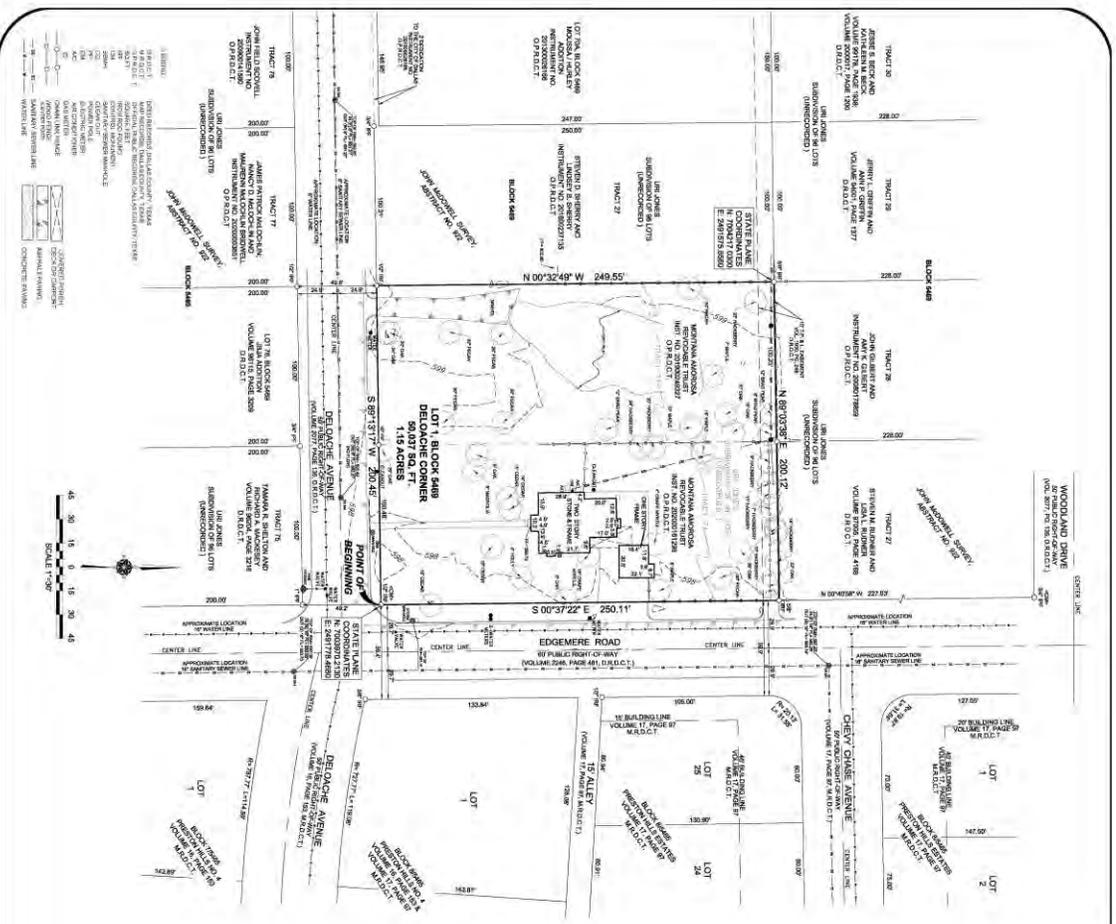


EXISTING AREA ANALYSIS MAP

S201-527



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OWNER COMMENTS

2017/12/15/2018

1. The site owner of the subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land. The subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land. The subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land.

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VICINITY MAP - NOT TO SCALE

OWNER'S NOTES

1. The subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land. The subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land. The subject parcel of land is located in the City of Dallas, Texas, and is the owner of the subject parcel of land.

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PRELIMINARY PLAT

DELOACHE CORNER

LOT 1, BLOCK 548B

JOHN McDOWELL SURVEY, ABSTRACT NO. 822
CITY OF DALLAS, DALLAS COUNTY, TEXAS
CITY PLAN NO. 5881561

DATE: 08/03/2018 (SCALE: 1"=40')

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-528**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Lovers Lane, east of Taos Road**DATE FILED:** November 5, 2020**ZONING:** PD 326 (Area C)**PD LINK:** <http://www.dallascityattorney.com/51P/Articles%20Supp%2046/ARTICLE%20326.pdf>**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 0.358-acre**MAPSCO:** 34C**OWNER:** West Lovers, LLC

REQUEST: An application to replat a 0.358-acre tract of land containing all of Lots 16 and 17 in City Block 2/4493 to create one lot on property located on Lovers Lane, east of Taos Road.

SUBDIVISION HISTORY:

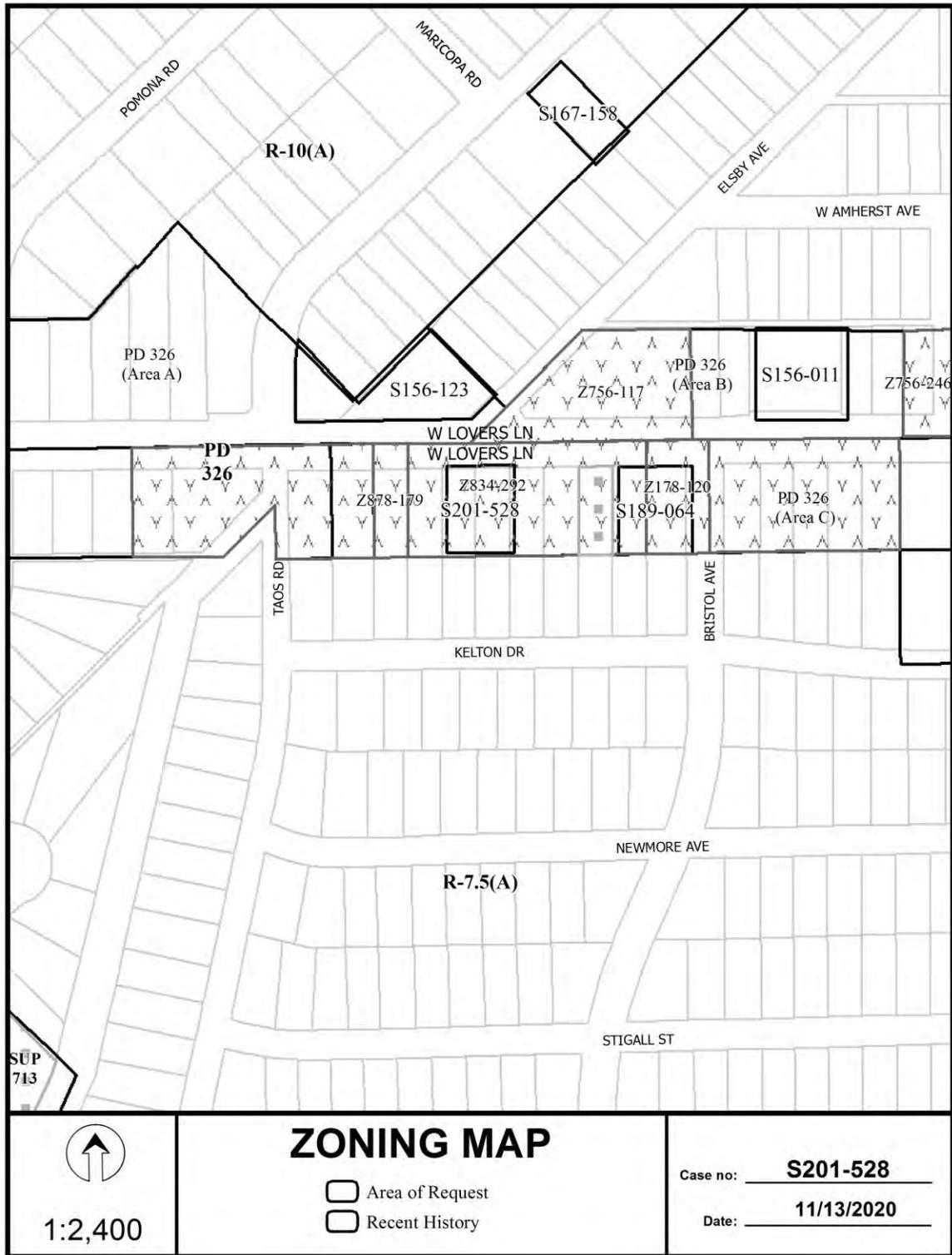
1. S189-064 was a request east of the present request to create a 0.390-acre tract of land containing all of Lots 21 and 22 in City Block 2/4993 on property located on Lovers Lane at Bristol Avenue, southwest corner. The request was approved December 13, 2018 and recorded May 29, 2020.
2. S167-158 was a request north of the present request to replat a 0.276-acre tract of land containing part of Lot 6 in City Block E/4975 to create one lot on property located at 4402 Taos Road. The request was approved May 5, 2017 and recorded August 27, 2018.
3. S156-123 was a request north of the present request to replat a 0.6510-acre tract of land to create one lot from the remainder of Lot 1 in City Block E/4975, and all of Lot 1 in City Block A/5679 on property fronting on Lovers Lane between Taos Road and Elsby Avenue. The request was approved April 7, 2016 and recorded June 3, 2020.
4. S156-011 was a request northeast of the present request to replat a 0.495-acre tract of land containing all of Lots 12, 13, and 14 in City Block I/5685 into one lot on property located at 4519 Lovers Lane, west of Thelma Street. The request was approved October 23, 2015 and recorded September 28, 2017.

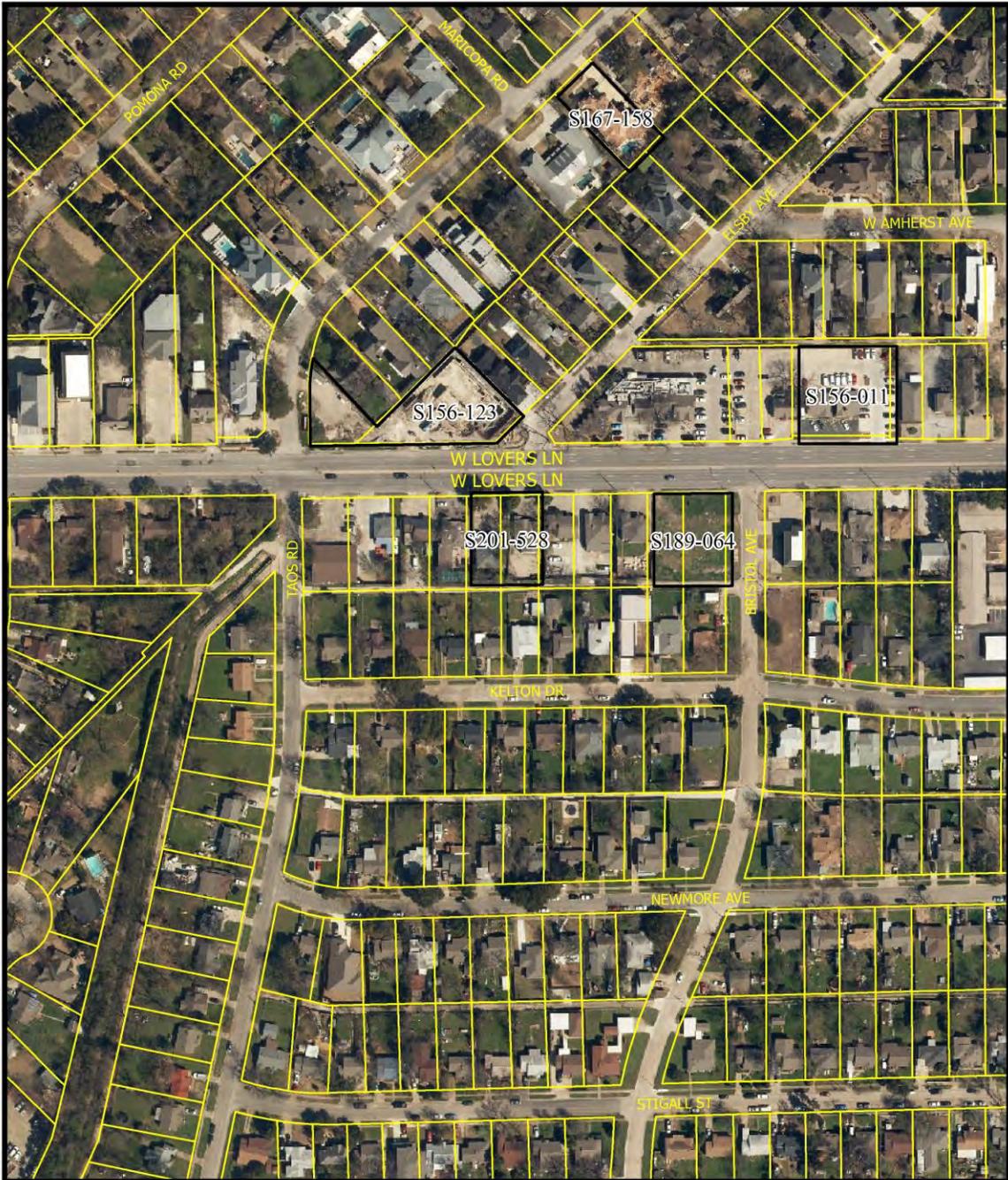
STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of PD 326 (Area C); therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.

2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 7.5 feet of right-of-way (via fee simple) from the established center line of Alley. Section 51A 8.602(c).

16. On the final plat, dedicate 45 feet of right-of-way (via fee simple) from the established center line of Lovers Lane. Section 51A 8.602(c).
17. On the final plat, need Lien Holder's Subordination Agreement.
18. On the final plat, show recording information on all existing easements within 150 feet of property.
19. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
20. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
21. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Wastewater main improvement is required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
23. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
24. On the final plat, identify the property as Lot 16A in City Block 2/4493. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).





 1:2,400	<h2>AERIAL MAP</h2> <p> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History </p>	Case no: <u> S201-528 </u> Date: <u> 11/13/2020 </u>
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CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-529**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** on Ferguson Road at Riek Road, east corner**DATE FILED:** November 5, 2020**ZONING:** NO(A)**CITY COUNCIL DISTRICT:** 7 **SIZE OF REQUEST:** 1.7394-acre**MAPSCO:** 47G**OWNER:** Lone Star Credit Union

REQUEST: An application to replat a 1.7394-acre tract of land containing part of Lot 3 in City Block 3/7046 to create one lot on property located on Ferguson Road at Riek Road, east corner.

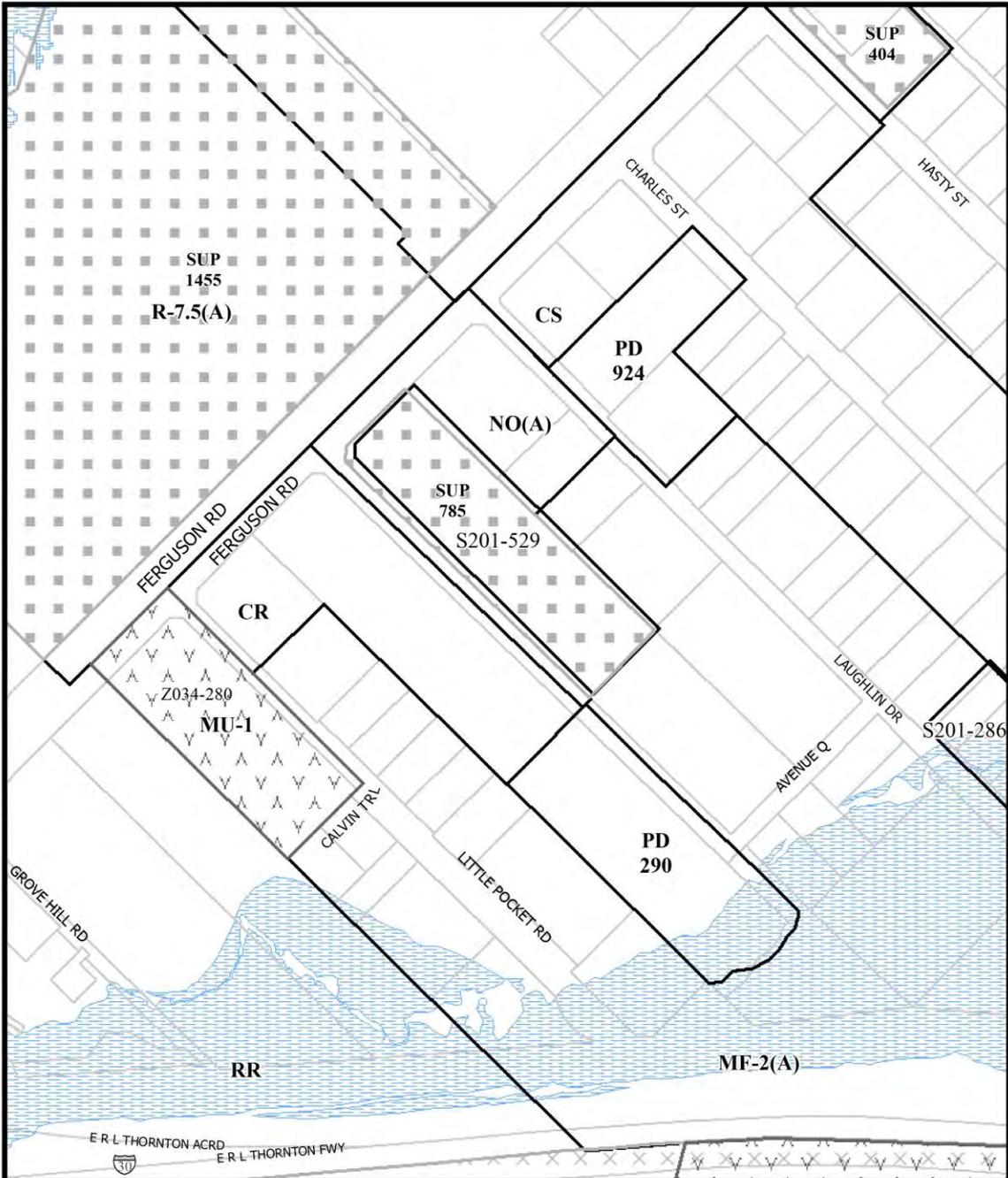
SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the NO(A) Neighborhood Office District; therefore, staff recommends approval subject to compliance with the following conditions:

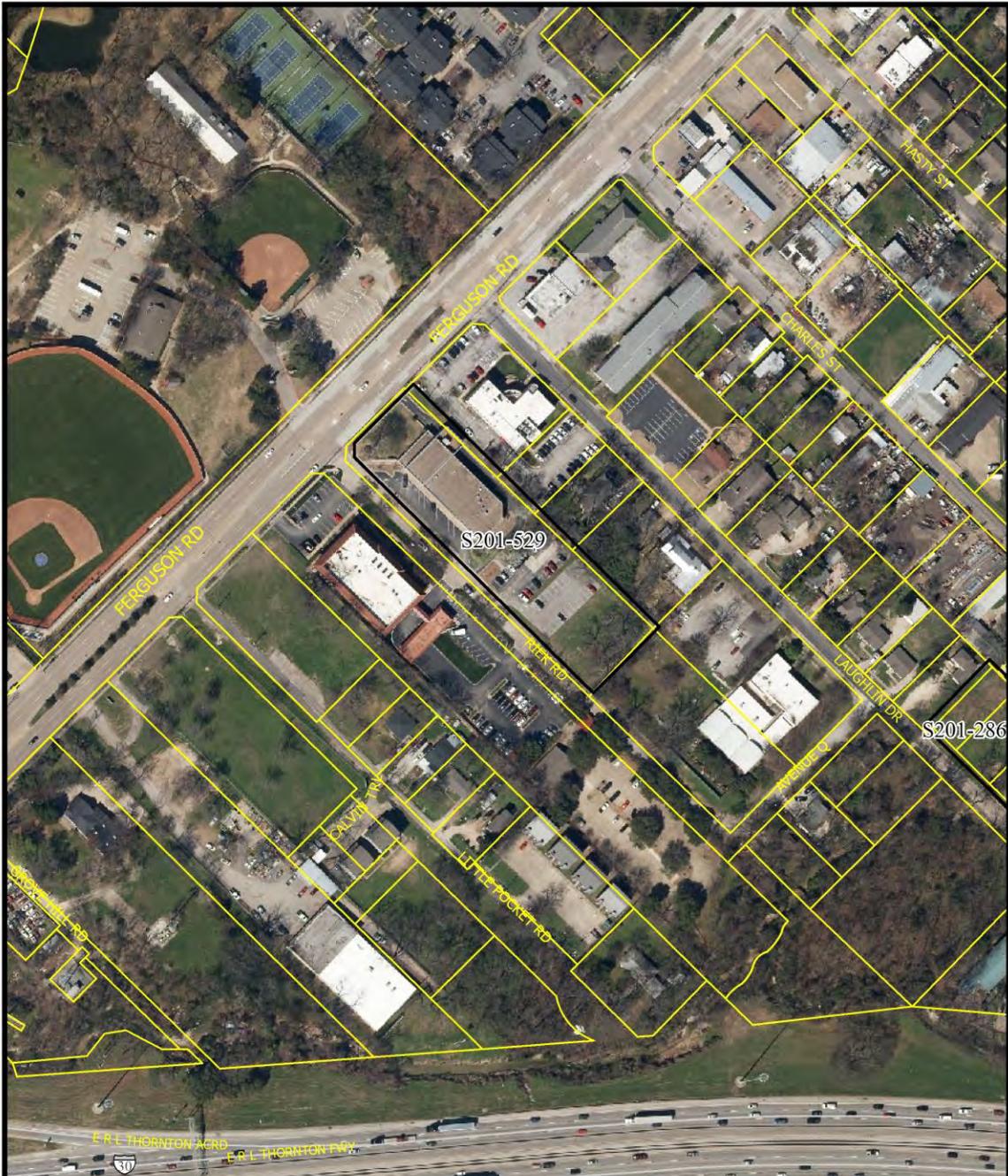
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Riek Road. Section 51A 8.602(c).
16. On the final plat, show how all adjoining right-of-way was created.
17. On the final plat, show recording information on all existing easements within 150 feet of property.
18. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
19. On the final plat, need new/different plat name.
20. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
21. Water and wastewater main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.

23. On the final plat, identify the property as Lot 1 in City Block 3/7046. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:2,400	<h2>ZONING MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: S201-529 Date: 11/13/2020
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LOCATION: Belt Line Road at Dallas Parkway, southeast corner**DATE FILED:** November 5, 2020**ZONING:** RR**CITY COUNCIL DISTRICT:** 11 **SIZE OF REQUEST:** 2.586-acres**MAPSCO:** 14D**OWNER:** Rox Trep Tollway, L.P.

REQUEST: An application to replat a 2.586-acre tract of land containing all of Lot 3 in City Block 2/8708 to create one 0.258-acre lot and one 2.328-acre lot on property located on Belt Line Road at Dallas Parkway, southeast corner.

SUBDIVISION HISTORY:

1. S189-027 was a request located on the present request to replat a 2.5855-acre tract of land containing part of Lot 3 in City Block 2/8708 to create one 0.2543-acre lot, and one 2.3312-acre lot on property located on Dallas Parkway at Belt Line Road, northeast corner. The request was approved November 15, 2018 and withdrawn July 29, 2019.

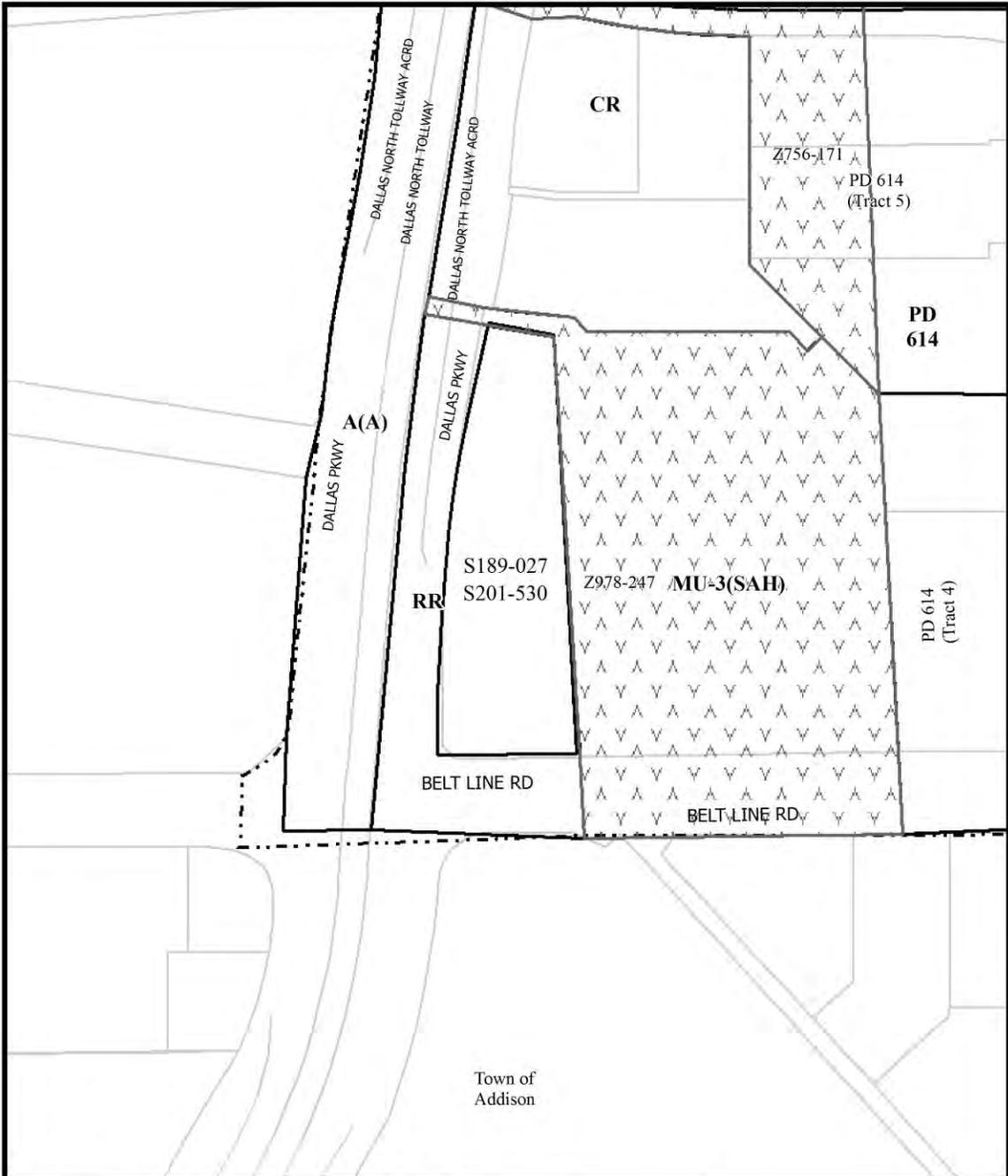
STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the RR Regional Retail District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."

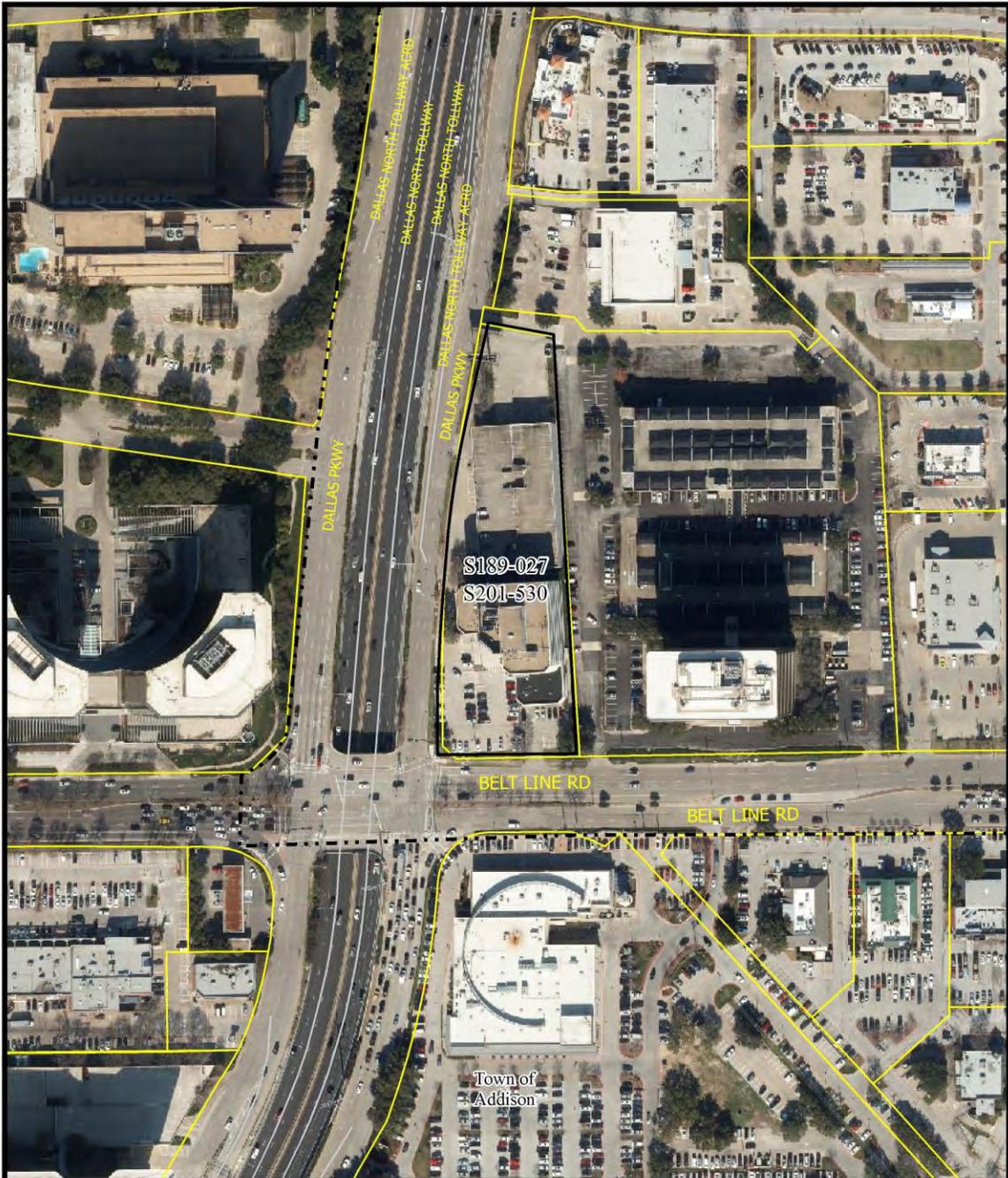
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is two.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 65 feet of right-of-way (via fee simple) from the established center line of Belt Line Road. Section 51A 8.602(c).
16. On the final plat, dedicate a minimum 20-foot by 20-foot corner clip (via fee simple or street easement) at Belt Line Road and Dallas Parkway. Section 51A-8.602(d)(1)
17. TXDOT approval may be required for any driveway modifications or new access.
18. On the final plat, need Lien Holder's Subordination Agreement.
19. On the final plat, show how all adjoining right-of-way was created.
20. On the final plat, show distances/width across all adjoining right-of-way.
21. On the final plat, show recording information on all existing easements within 150 feet of property.
22. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
23. On the final plat, verify the right-of-way of Dallas Parkway.
24. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering

plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

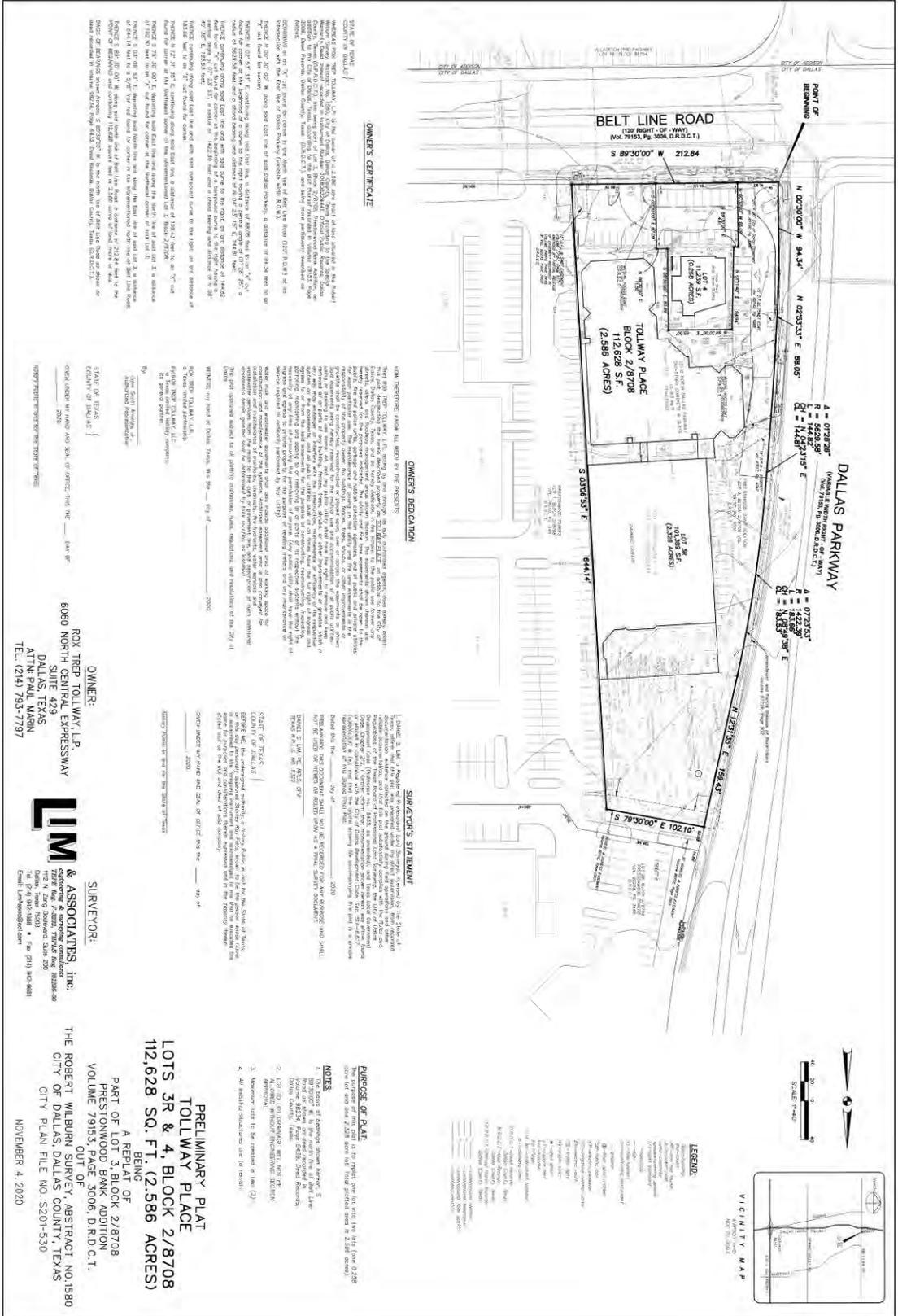
25. Water and wastewater main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
26. On the final plat, show and label "Dallas North Tollway". Section 51A-8.403(a)(1)(A)(xii)
27. On the final plat, identify the property as Lot 3A and Lot 3B in City Block 2/8708. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:2,400	<h2>ZONING MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-530 </u> Date: <u> 11/13/2020 </u>
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 1:2,400	<h2>AERIAL MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-530 </u> Date: <u> 11/13/2020 </u>
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CITY PLAN COMMISSION

THURSDAY, DECEMBER 3, 2020

FILE NUMBER: S201-531

SENIOR PLANNER: Sharmila Shrestha

LOCATION: Royal Lane, east of Grissom Lane

DATE FILED: November 5, 2020

ZONING: IR, PD 899 (Subdistrict 1)

PD LINK: <http://www.dallascityattorney.com/51P/Articles%20%20Supp%2048/ARTICLE%20899.pdf>

CITY COUNCIL DISTRICT: 6 **SIZE OF REQUEST:** 0.526-acre

MAPSCO: 23E

OWNERS: Asam Development, LLC, New World Jewelry Inc., New World Trade Center I, LTD., Steven Sohn

REQUEST: An application to create one 0.526-acre lot, one 0.587-acre lot, and one 12.353-acre lot from a 13.466-acre tract of land in City Blocks 6604 and 6605 on property located on Royal Lane, east of Grissom Lane.

SUBDIVISION HISTORY:

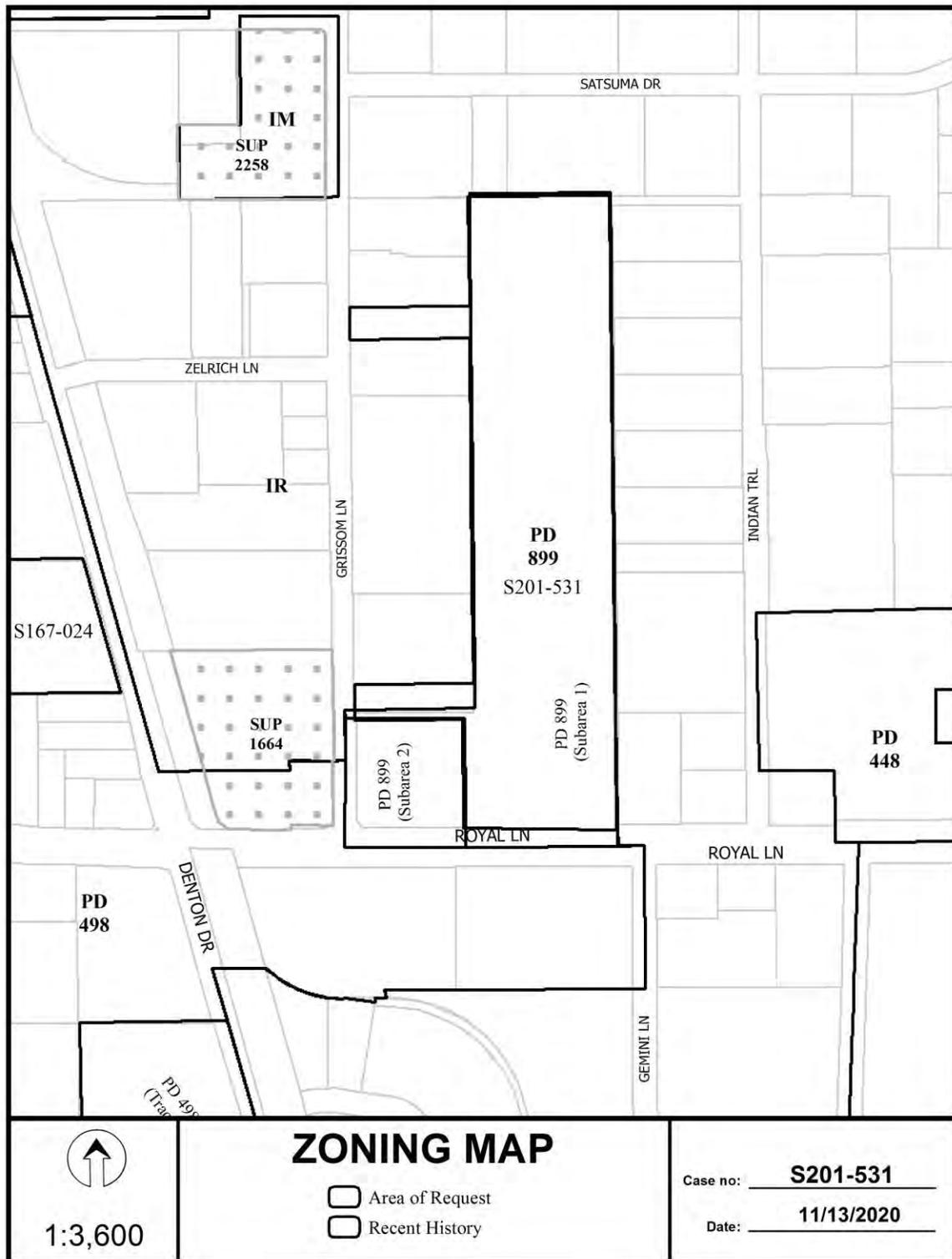
1. S167-024 was a request west of the present request to replat a 3.968-acre tract of land containing all of Lot 1 in City Block 6610 and part of City Block 6609 into one lot on property located on Royal Lane, between Harry Hines Boulevard and Denton Drive. The request was approved December 1, 2016 and was withdrawn.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the IR Industrial/Research District and PD 899 (Subdistrict 1); therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.

7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is three.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 50 feet of right-of-way (via fee simple) from the established center line of Royal Lane. Section 51A 8.602(c).
16. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Grissom Lane. Section 51A 8.602(c).
17. On the final plat, dedicate 15-foot by 15-foot alley sight easement at Royal Lane and Alley. Section 51A-8.602 (e)
18. On the final plat, dedicate 7.5 feet of right-of-way (via fee simple) from the established center line of Alley.
19. On the final plat, need Lien Holder's Subordination Agreement.
20. On the final plat, show how all adjoining right-of-way was created.
21. On the final plat, show distances/width across all adjoining right-of-way.
22. On the final plat, show recording information on all existing easements within 150 feet of property.

23. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
24. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
25. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
26. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
27. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
28. Capacity of existing wastewater system is questionable. Submit proposed wastewater discharge (gpm) of development for further assessment.
29. Prior to final plat, verify Alley is 7.5 feet by Volume 6, Page 351. Contact Real Estate, if an abandonment is required.
30. On the final plat, identify the property as Lot 2, Lot 3, and Lot 4 in City Block A/6605. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



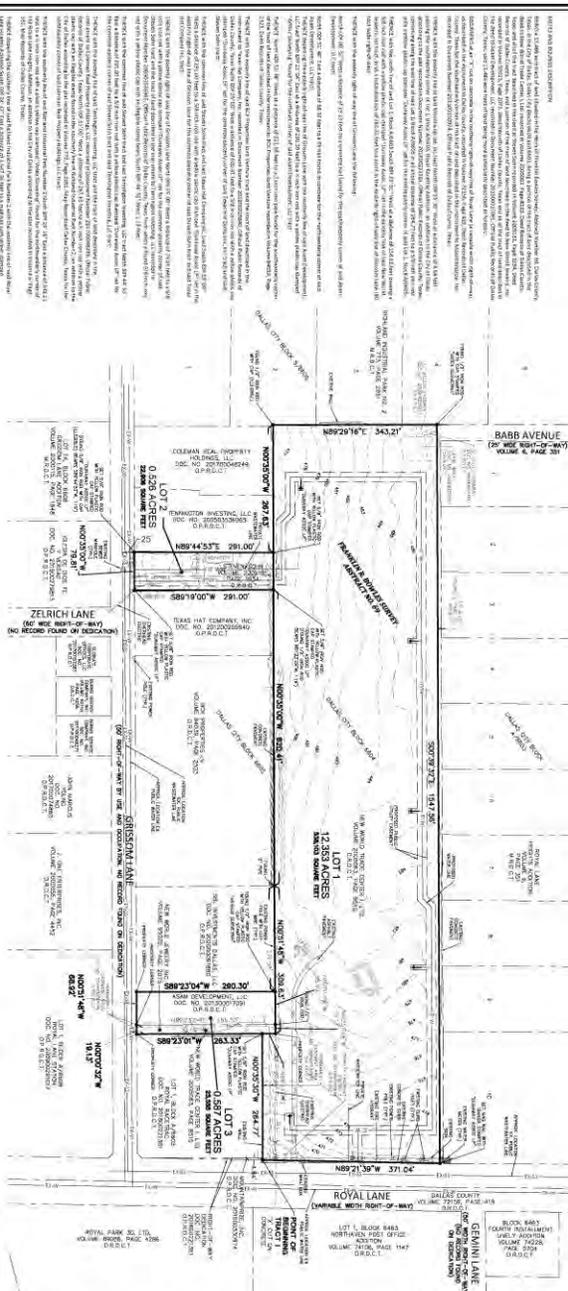


 1:3,600	<h2>AERIAL MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-531 </u> Date: <u> 11/13/2020 </u>
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TABLE 1 - LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING LOT LINES
(Symbol)	PROPOSED LOT LINES
(Symbol)	PROPOSED LOT 1
(Symbol)	PROPOSED LOT 2
(Symbol)	PROPOSED LOT 3
(Symbol)	PROPOSED LOT 4
(Symbol)	PROPOSED LOT 5
(Symbol)	PROPOSED LOT 6
(Symbol)	PROPOSED LOT 7
(Symbol)	PROPOSED LOT 8
(Symbol)	PROPOSED LOT 9
(Symbol)	PROPOSED LOT 10
(Symbol)	PROPOSED LOT 11
(Symbol)	PROPOSED LOT 12
(Symbol)	PROPOSED LOT 13
(Symbol)	PROPOSED LOT 14
(Symbol)	PROPOSED LOT 15
(Symbol)	PROPOSED LOT 16
(Symbol)	PROPOSED LOT 17
(Symbol)	PROPOSED LOT 18
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(Symbol)	PROPOSED LOT 96
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(Symbol)	PROPOSED LOT 98
(Symbol)	PROPOSED LOT 99
(Symbol)	PROPOSED LOT 100



GENERAL NOTES:

1. THIS PRELIMINARY PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
2. THE CITY OF DALLAS HAS REVIEWED THIS PLAN AND HAS DETERMINED THAT IT COMPLIES WITH THE CITY'S ZONING ORDINANCES.
3. THE ENGINEER HAS REVIEWED THIS PLAN AND HAS DETERMINED THAT IT COMPLIES WITH THE CITY'S ZONING ORDINANCES.
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DUNAWAY

550 Babb Avenue • Suite 400 • Fort Worth, Texas 76107
 FIRM REGISTRATION 1008910

OWNER: [Name]

ENGINEER: [Name]

DATE: [Date]

PROJECT: [Project Name]

LOCATION: [Address]

SCALE: [Scale]

LEGEND:

- EXISTING LOT LINES
- PROPOSED LOT LINES
- PROPOSED LOT 1
- PROPOSED LOT 2
- PROPOSED LOT 3
- PROPOSED LOT 4
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- PROPOSED LOT 100

CITY PLAN FILE NUMBER: [Number]

ENGINEERING NUMBER: [Number]

THE PURPOSE OF THIS PRELIMINARY PLAN IS TO CREATE 3 LOTS FROM A 13.466 ACRE TRACT OF LAND

PRELIMINARY PLAT OF BLOCK 6604, LOTS 1-3 THE STANDARD AT ROYAL LANE ADDITION

APPROVED BY: [Signature]

DATE: [Date]

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-532**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Crouch Road at Lancaster Road, northwest corner**DATE FILED:** November 6, 2020**ZONING:** PD 1040 (Tract 1, 2, 3, and 4)**PD LINK:** Not available**CITY COUNCIL DISTRICT:** 8 **SIZE OF REQUEST:** 63.458-acres**MAPSCO:** 65R**OWNERS:** Julia Ann Adams, Arsia Ahulia Adams, Chammelia Deborah Adams Ahlborn, Gloria Marina Adams**REQUEST:** An application to create 4 lots ranging in size from 3.402 acre to 33.264 acre from a 63.458-acre tract of land in City Block 6895 on property located on Crouch Road at Lancaster Road, northwest corner.**SUBDIVISION HISTORY:** There has been no recent platting activity within close proximity to this request.**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the PD 1040 (Tract 1, 2, 3, and 4); therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments

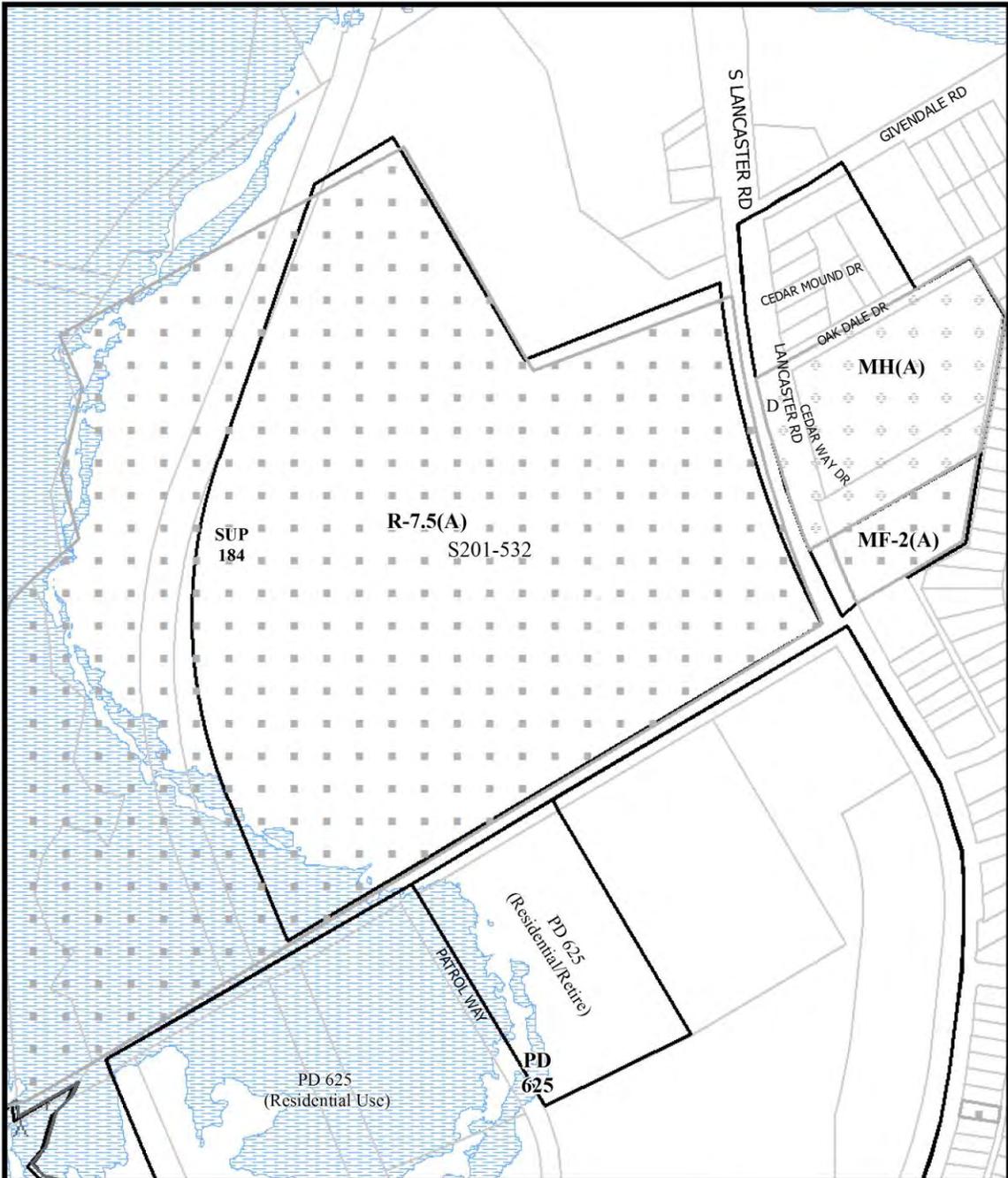
must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is four.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 53.5 feet of right-of-way (via fee simple) from the established center line of Lancaster Road. Section 51A 8.602(c).
16. On the final plat, dedicate 40 feet of right-of-way (via fee simple) from the established center line of Crouch Road. Section 51A 8.602(c).
17. On the final plat, dedicate 80 feet of right-of-way (via fee simple) for Redbird Lane.
18. On the final plat, dedicate a minimum 10-foot by 10-foot corner clip (via fee simple or street easement) at Lancaster Road and Crouch Road. Section 51A-8.602(d)(1)
19. On the final plat, dedicate a minimum 10-foot by 10-foot corner clip (via fee simple or street easement) at Lancaster Road and Crouch Road. Section 51A-8.602(d)(1)
20. A larger corner clip may be requested during engineering plan review to accommodate an adequate turning radius, or to maintain public appurtenances within the area of the corner clip. Section 51A-8.602 (d) (1)
21. TXDOT approval may be required for any driveway modifications or new access.
22. Prior to the final plat, coordinate with Public Works Department for the Crouch Road Street Reconstruction project (2017 Bong Program PB17VA19).
23. Prior to the final plat, coordinate with Senior Transportation Planner Kimberly Smith for the alignment of Redbird Road.

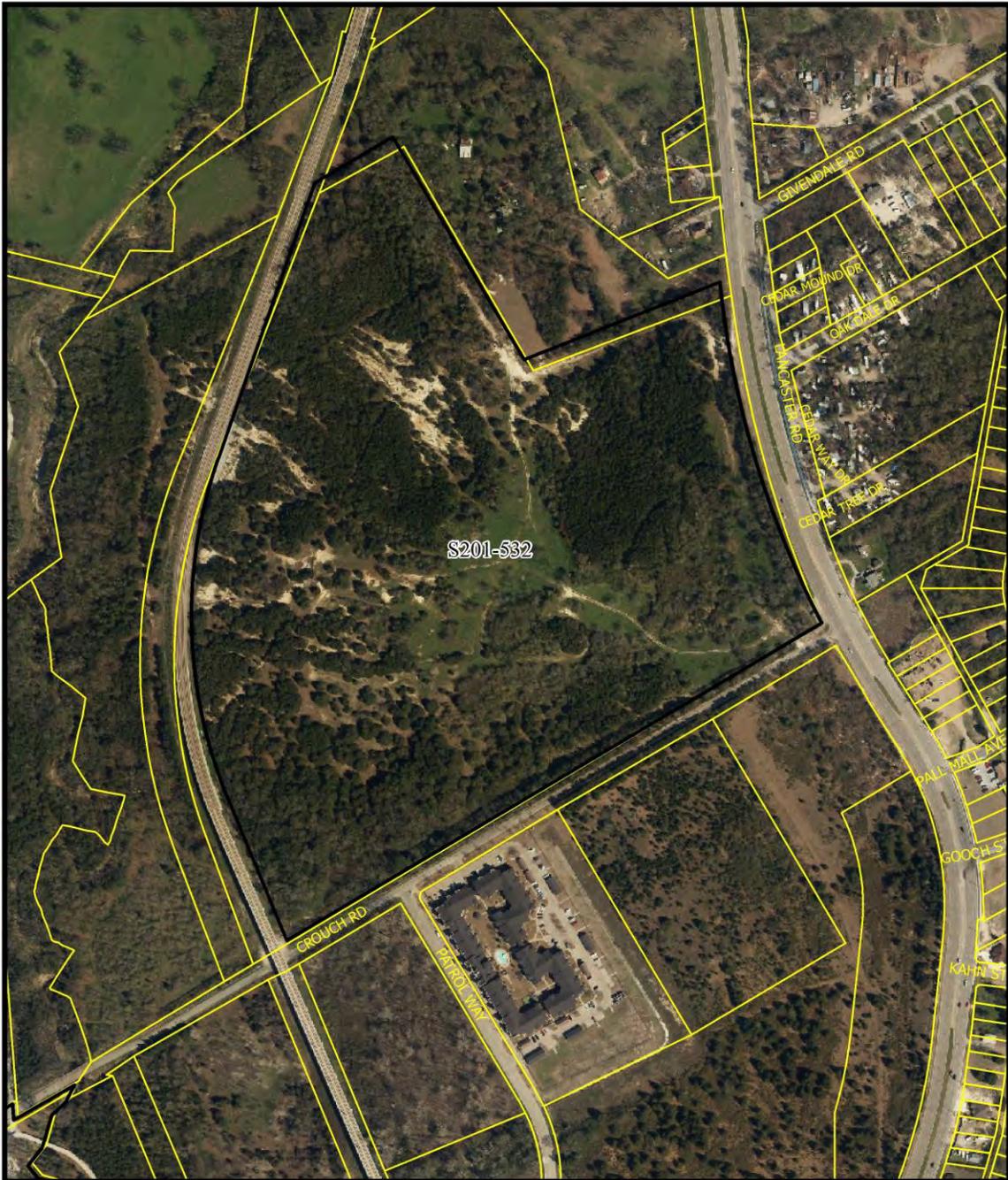
24. Within the boundaries of the proposed plat, the owner must construct all thoroughfares and minor streets. Section 51A-8.604 (b)(1)
25. On the final plat, determine the 100-year water surface elevation across this addition.
26. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.
27. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
28. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
29. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.
30. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
31. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
32. On the final plat, show how all adjoining right-of-way was created.
33. On the final plat, show distances/width across all adjoining right-of-way.
34. On the final plat, show recording information on all existing easements within 150 feet of property.
35. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
36. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
37. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
38. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
39. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas

Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.

40. Capacity of existing wastewater system is questionable. Submit proposed wastewater discharge (gpm) of development for further assessment.
41. On the final plat, change "Lancaster Road" to "Lancaster Road (F.K.A. State Highway No. 342)". Section 51A-8.403(a)(1)(A)(xii)
42. Prior to the final plat, contact the Addressing division for help selecting an appropriate name for the new thoroughfare dedication. Section 51A-8.403(a)(1)(A)(xiv), Section 51A-8.506(e)
43. On the final plat, identify the property as Lot 1, Lot 2, Lot 3, and Lot 4 in City Block A/6895. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:4,800	<h2>ZONING MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-532 </u> Date: <u> 11/13/2020 </u>
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S201-532



1:4,800

AERIAL MAP

- Area of Request
- Recent History

Case no: S201-532

Date: 11/13/2020



VICINITY MAP
of the site



1. The proposed development is shown on the site plan, including proposed streets, parking, and other features.
2. The proposed development is shown on the site plan, including proposed streets, parking, and other features.
3. The proposed development is shown on the site plan, including proposed streets, parking, and other features.
4. The proposed development is shown on the site plan, including proposed streets, parking, and other features.
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6. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

6. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

7. The proposed development is shown on the site plan, including proposed streets, parking, and other features.



880 Bakery Avenue • Suite 400 • Fort Worth, Texas 76107
FIRM REGISTRATION 1009100



TABLE OF LOTS

LOT NUMBER	AREA (ACRES)	AREA (SQ FT)
1	20.494	892,719
2	33.204	1,444,361
3	6.298	274,341
4	6.298	274,341

TABLE OF LOTS

1. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

2. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

3. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

4. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

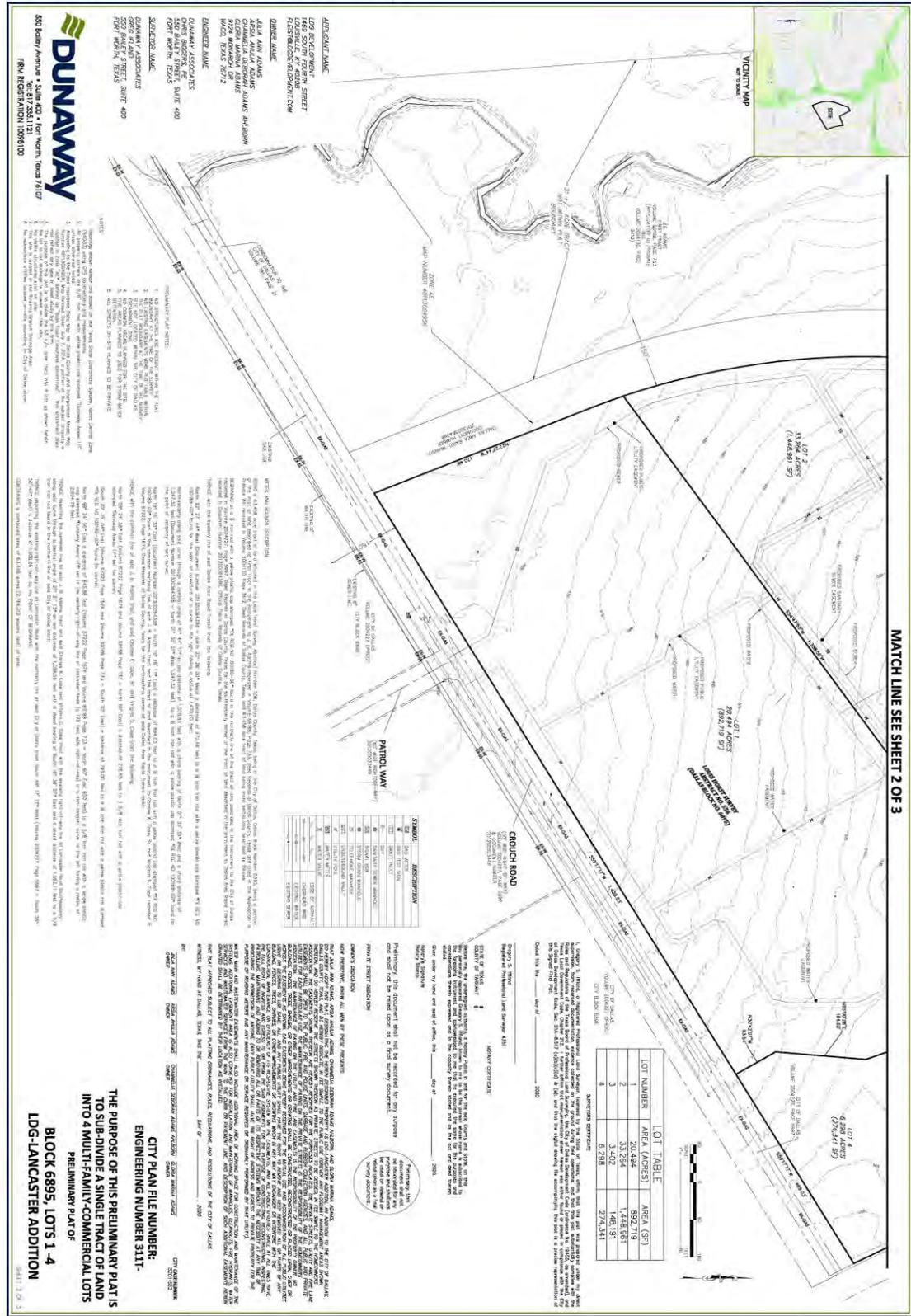
5. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

6. The proposed development is shown on the site plan, including proposed streets, parking, and other features.

CITY PLAN FILE NUMBER:
ENGINEERING NUMBER 3117-
THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SUB-DIVIDE A SINGLE TRACT OF LAND INTO 4 MULTI-FAMILY-COMMERCIAL LOTS

PRELIMINARY PLAT OF
BLOCK 6895, LOTS 1-4
LDG-LANCASTER ADDITION

APPLICANT NAME: 1489 SOUTH FORTWORTH STREET, FORT WORTH, TEXAS 76104
ENGINEER NAME: DUNAWAY & ASSOCIATES, 880 BAKERY AVENUE, SUITE 400, FORT WORTH, TEXAS 76107



DUNAWAY
 555 Bolder Avenue • Suite 400 • Fort Worth, Texas 76107
 817.333.1121
 FIRM REGISTRATION 1009810

ASSOCIATE NAME
 LDG DESIGN GROUP
 1669 SOUTH ROBINSON STREET
 FLEETWOOD/ROBINSON CORNER

CLIENT NAME
 ALMA ANNA ADAMS
 ALMA ANNA ADAMS
 6204 W. WINDY HILLS DRIVE
 WINDY HILLS 76122

OWNER NAME
 DUNAWAY ASSOCIATES
 555 BOLDER AVENUE, SUITE 400
 FORT WORTH, TEXAS

PROJECT NAME
 6204 WINDY HILLS DRIVE
 6204 WINDY HILLS DRIVE
 6204 WINDY HILLS DRIVE

REVISIONS

NO.	DATE	DESCRIPTION
1	01/11/2020	ISSUED FOR PERMITS
2	01/11/2020	ISSUED FOR PERMITS
3	01/11/2020	ISSUED FOR PERMITS
4	01/11/2020	ISSUED FOR PERMITS
5	01/11/2020	ISSUED FOR PERMITS
6	01/11/2020	ISSUED FOR PERMITS
7	01/11/2020	ISSUED FOR PERMITS
8	01/11/2020	ISSUED FOR PERMITS
9	01/11/2020	ISSUED FOR PERMITS
10	01/11/2020	ISSUED FOR PERMITS

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

STANDARD SPECIFICATIONS

NO.	DESCRIPTION
1	CONCRETE
2	ASPHALT
3	PAVEMENT
4	GRASS
5	LANDSCAPE
6	UTILITIES
7	WATER
8	SEWER
9	STORM
10	TELEPHONE
11	CABLE
12	POWER
13	TELEVISION
14	INTERNET
15	DATA
16	VOICE
17	VIDEO
18	OTHER

THE PURPOSE OF THIS PRELIMINARY PLATS TO SUB-DIVIDE A SINGLE TRACT OF LAND INTO A MULTI-FAMILY-COMMERCIAL LOTS PRELIMINARY PLAT OF

BLOCK 6895, LOTS 1-4

LDG-LANCASTER ADDITION

SECTION 5: GENERAL NOTES

1. CONCEPT 1: This is a conceptual site plan. It is not a final plan and should not be used for construction or other purposes without the approval of the City of Dallas. The City of Dallas reserves the right to modify or cancel this plan at any time without notice.

2. CONCEPT 2: This is a conceptual site plan. It is not a final plan and should not be used for construction or other purposes without the approval of the City of Dallas. The City of Dallas reserves the right to modify or cancel this plan at any time without notice.

3. CONCEPT 3: This is a conceptual site plan. It is not a final plan and should not be used for construction or other purposes without the approval of the City of Dallas. The City of Dallas reserves the right to modify or cancel this plan at any time without notice.

4. CONCEPT 4: This is a conceptual site plan. It is not a final plan and should not be used for construction or other purposes without the approval of the City of Dallas. The City of Dallas reserves the right to modify or cancel this plan at any time without notice.

5. CONCEPT 5: This is a conceptual site plan. It is not a final plan and should not be used for construction or other purposes without the approval of the City of Dallas. The City of Dallas reserves the right to modify or cancel this plan at any time without notice.

SECTION 6: CITY PLAN NUMBER

ENGINEERING NUMBER 3111

CITY PLAN NUMBER

ENGINEERING NUMBER 3111

CITY PLAN NUMBER

ENGINEERING NUMBER 3111

SECTION 7: LOT TABLE

LOT NUMBER	AREA (ACRES)	AREA (SQ FT)
1	20.484	892,719
2	33.264	1,448,961
3	3.402	148,191
4	3.930	171,541

SECTION 8: CITY PLAN NUMBER

ENGINEERING NUMBER 3111

CITY PLAN NUMBER

ENGINEERING NUMBER 3111

CITY PLAN NUMBER

ENGINEERING NUMBER 3111

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-533**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Regal Row, at the terminus of Premier Row**DATE FILED:** November 6, 2020**ZONING:** IR**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 2.871-acres**MAPSCO:** 32V**OWNER:** Cardinal Management, LLC, Dalal Real Estate, LLC

REQUEST: An application to replat a 2.871-acre tract of land in City Block 51/7940 to create one 0.851-acre lot and one 2.019-acre lot on property located on Regal Row, at the terminus of Premier Row.

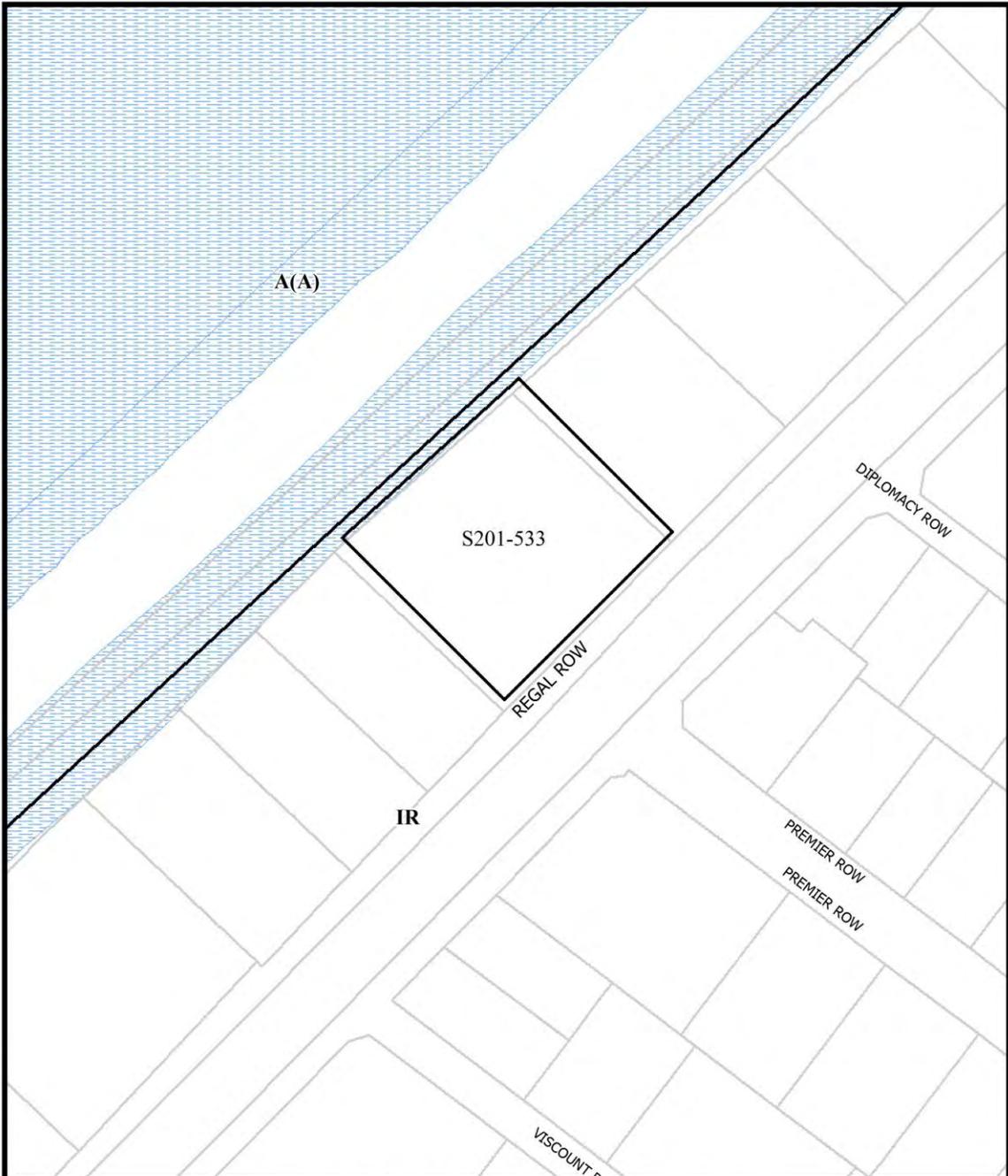
SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

STAFF RECOMMENDATION: Staff has determined that the request complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is two.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 53.5 feet of right-of-way (via fee simple) from the established center line of Regal Row. Section 51A 8.602(c).
16. On the final plat, determine the 100-year water surface elevation across this addition.
17. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.
18. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
19. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
20. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.
21. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
22. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).

23. Location is in Nobles Branch Sump. Water Surface Elevation (WSE)=407. All construction for any proposed development must be above the WSE. Any improvements proposed in the areas where the existing elevation is below the WSE requires a fill permit applied for and approved by DWU Floodplain Management Department. A minimum finish floor elevation for those areas will have to be established during the process.
24. On the final plat, need Lien Holder's Subordination Agreement.
25. On the final plat, show distances/width across all adjoining right-of-way.
26. On the final plat, show recording information on all existing easements within 150 feet of property.
27. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
28. Water and wastewater main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
29. On the final plat, identify the property as Lot 1 and Lot 2 in City Block 51/7940. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).



 1:2,400	<h2>ZONING MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: S201-533 Date: 11/13/2020
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1:2,400

AERIAL MAP

- Area of Request
- Recent History

Case no: **S201-533**

Date: **11/13/2020**

CITY PLAN COMMISSION**THURSDAY, DECEMBER 3, 2020****FILE NUMBER:** S201-522**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Villars Street, southeast of San Jacinto Street**DATE FILED:** November 5, 2020**ZONING:** PD 298 (Subarea 6)**PD LINK:** <http://www.dallascityattorney.com/51P/Articles%20Supp%2052/ARTICLE%20298.pdf>**CITY COUNCIL DISTRICT:** 14 **SIZE OF REQUEST:** 0.4218-acre **MAPSCO:** 45H**OWNER:** Subdivisions Realty 11, LLC

REQUEST: An application to replat a 0.4218-acre tract of land containing part of Lots 8 through 14 in City Block 511 to create two 9,188-square foot lots on property located on Villars Street, southeast of San Jacinto Street.

SUBDIVISION HISTORY:

1. S201-513 was a request on the same property as the present request to replat a 0.4218-acre tract of land containing part of Lots 8 through 14 in City Block 511 to create two 9,188-square foot lots on property located on Villars Street, southeast of San Jacinto Street. The request was withdrawn October 29, 2020.
2. S189-052 was a request north of the present request to replat a 0.61-acre tract of land containing all of Lots A, B, and D, and part of Lot C in City Block 643 to create one 0.459-acre lot and one 0.147-acre lot on property located on San Jacinto Street at Washington Avenue, south corner. The request was approved December 13, 2018 but has not been recorded.
3. S189-040 was a request west of the present request to create one, 1.086-acre lot from a tract of land in City Block 513 on property located on San Jacinto Street between McCoy Street and Villars Street. The request was approved December 13, 2018 but has not been recorded.
4. S178-274 was a request northwest of the present request to create one 0.683-acre lot from a tract of land in City Block 597 on property located between Ross Avenue and Roseland Avenue, south of Washington Avenue. The request was approved August 16, 2018 and recorded December 19, 2019.
5. S178-173 was a request north of the present request to create a 4.024-acre lot from a tract of land containing all of City Block 514 on property bounded by Washington Avenue, San Jacinto Street, Villars Street, and Ross Avenue. The request was approved May 3, 2018 but has not been recorded.
6. S178-157 was a request northwest of the present request to replat a 0.464-acre tract of land containing part of City Blocks 597 and 1/599 to create one 0.464-acre

lot on property located on Ross Avenue, southwest of Washington Avenue. The request was approved April 19, 2018 and recorded June 28, 2019.

7. S167-091 was a request northeast of the present request to create one 0.692-acre lot from a tract of land located in City Blocks 641 and 644 on property located on Washington Avenue at San Jacinto Street, east quadrant. The request was approved February 16, 2017 and recorded August 21, 2017.

PROPERTY OWNER NOTIFICATION: On November 17, 2020, 88 notices were sent to property owners within 200 feet of the proposed plat.

STAFF RECOMMENDATION: Section 51A-8.503 states that “lots must conform in width, depth and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

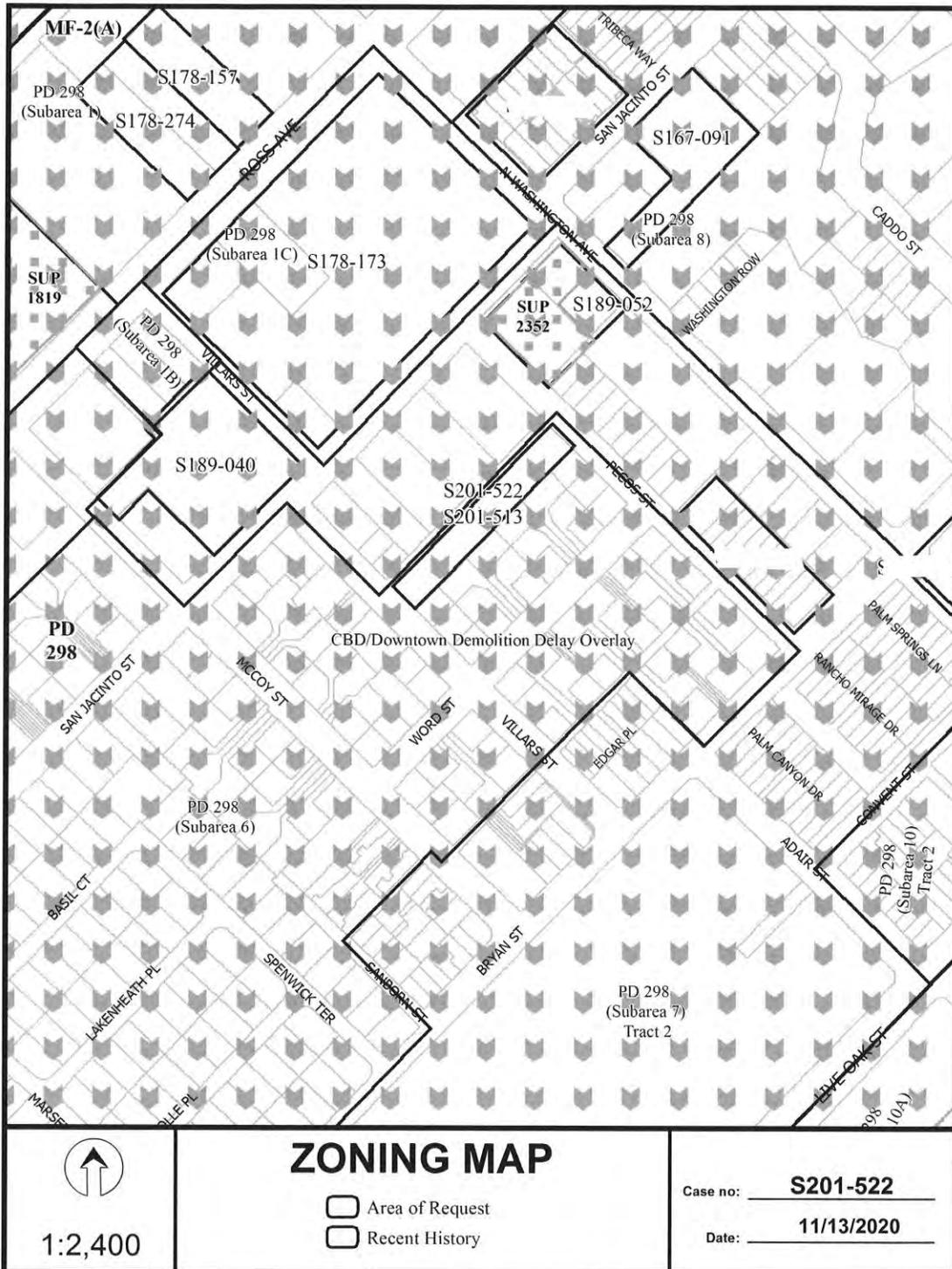
- The properties to the southeast of the request are developed as flag lots with lot areas ranging in size from 1,992 square feet to 3,599 square feet and lot widths ranging in size from 10 feet to 54 feet with different street frontages. The properties are zoned PD 298 (Subarea 6). *(please refer to the existing area analysis map)*
- The properties to the northeast of the request have lot widths ranging in size from 30 feet to 145 feet and lot areas ranging in size from 2,128 square feet to 14,775 square feet and are zoned PD 298 (Subarea 7). *(please refer to the existing area analysis map)*
- The properties to the northwest of the request have lot widths ranging in size from 52 feet to 100 feet and have lot areas ranging in size from 1,693 square feet to 17,571 square feet and are zoned PD 298 (Subarea 7). *(please refer to the existing area analysis map)*
- The request lies in PD 298 (Subarea 6) which has no minimum lot size requirement. The request is to create two residential lots from a remainder portion of the Lots 8 through 14 in City Block 511. The proposed two lots have different street frontages, one lot with Pecos Street frontage and the other lot with Villars Street frontage. The proposed lots have widths of 50 feet each and areas of 9,188 square feet each.

Staff finds that there is not any established lot pattern within the immediate vicinity of the area; and the request is in compliance with Section 51A-8.503 and also with the requirements of PD 298 (Subarea 6); therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.

2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is two.
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
14. Submit drainage, paving, etc. plans prepared by a licensed (TX) Professional Engineer to Permit Center, Oak Cliff Municipal Center (i.e. non-311T). Section 51A-8.102 (c); 8.601 (b)(4), (5), (6), (7), (8), (9)
15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established centerline of Pecos Street & Villars Street Sections 51A-8.602(c), 51A-8.604(c) and 51A-8.611(e).
16. On the final plat, dedicate a 15-foot by 15-foot alley sight easement at the intersection of Pecos Street & the alley. Section 51A-8.602(e),

17. On the final plat, dedicate a 15-foot by 15-foot alley sight easement at the intersection of Villars Street & the alley. Section 51A-8.602(e),
18. On the final plat, show how all adjoining right-of-way was created.
19. On the final plat, show recording information on all existing easements within 150 feet of property.
20. On the final plat, show all additions or tracts of land within 150 feet of property with recording information.
21. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
22. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
23. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
24. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
25. On the final plat, change “(Ewing Avenue per plat)” to “(F.K.A. Ewing Avenue)”. Section 51A-8.403(a)(1)(A)(xii)
26. On the final plat, change “(Villa Street per plat)” to “(F.K.A. Villa Street)”. Section 51A-8.403(a)(1)(A)(xii)
27. On the final plat, identify the property as Lot 8A and Lot 11A in City Block 511. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).





 1:2,400	<h2>AERIAL MAP</h2> <ul style="list-style-type: none"> <input type="checkbox"/> Area of Request <input type="checkbox"/> Recent History 	Case no: <u> S201-522 </u> Date: <u> 11/13/2020 </u>
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 1:2,400	<h2 style="text-align: center;">NOTIFICATION</h2> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px;">200'</div> <div>AREA OF NOTIFICATION</div> </div> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px;">88</div> <div>NUMBER OF PROPERTY OWNERS NOTIFIED</div> </div>	Case no: S201-522 Date: 11/13/2020
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11/09/2020

Notification List of Property Owners

S201-522

88 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	3624 SAN JACINTO ST	SUBDIVISIONS REALTY 11 LLC
2	1521 VILLARS ST	MAYFIELD ANTIE SHARIE
3	1517 VILLARS ST	KNIGHT ERICA N
4	3512 SAN JACINTO ST	REEST CAPITAL PARTNERS LP
5	3604 SAN JACINTO ST	MCMILLAN MORGAN
6	1518 VILLARS ST	KH SOLUTIONS INC
7	3600 SAN JACINTO ST	ELDORADO PROPERTIES INC
8	1516 VILLARS ST	MALHOTRA VIKAS
9	3700 SAN JACINTO ST	3700 SAN JACINTO LLC
10	1515 N WASHINGTON AVE	MOORE J G & CO INC
11	3515 WORD ST	USKOVICH MICHAEL
12	3506 SAN JACINTO ST	SMITH GREGORY
13	3510 SAN JACINTO ST	HOWARD JOSHUA
14	1540 MCCOY ST	CRAIG CHRISTOPHER R
15	1536 MCCOY ST	JACOB NITIN
16	1532 MCCOY ST	SHEETS JANE & MANOLITO HERNANDO
17	1528 MCCOY ST	NGUYEN CHARLIE
18	1515 VILLARS ST	FLYNN EUGENE III
19	1520 MCCOY ST	DUMONT NICHOLAS R
20	1524 MCCOY ST	HIGGINS FAMILY LIVING TRUST
21	1508 MCCOY ST	SMITH J WAYNE & SHARON A
22	3507 WORD ST	CHAMBERLAIN VIRGINIA
23	1512 MCCOY ST	MASON KENNETH RANDALL
24	1516 MCCOY ST	MOSER MICHAEL B
25	1507 VILLARS ST	EVANS RICHARD JR &
26	1503 VILLARS ST	GAFFNEY CARMEN G

11/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	1429 VILLARS ST	BENEST ALAN T
28	3602 WORD ST	SISK MICHAEL
29	3606 WORD ST	CARPENTER DAVID
30	3610 WORD ST	MALONEMILLER LAURA
31	3614 WORD ST	Taxpayer at
32	3618 WORD ST	EP LLC
33	3622 WORD ST	VETTER JUDY M
34	3626 WORD ST	VETTER JUDY M
35	3630 WORD ST	GHOLSTON JAMES L
36	3634 WORD ST	OFFUTT DIANNA
37	3638 WORD ST	LOVING LORETTA M
38	3642 WORD ST	SPOSI MICHAEL
39	3646 WORD ST	PALLASCH JAYNE
40	3650 WORD ST	DAVIS KATHRYN W
41	3654 WORD ST	WIESNER TREVOR
42	1502 VILLARS ST	SMITH PAUL D
43	1504 VILLARS ST	MEDFORD JOEL DAVID JR
44	1508 VILLARS ST	WELLS ZACHARY LEO &
45	3615 WORD ST	LORIEGA ROMULO LEBRILLA &
46	3611 WORD ST	BLACK HAROLD
47	3607 WORD ST	CAPPIELLO THOMAS J
48	3627 WORD ST	MICHEL DONNIE
49	3623 WORD ST	RUIZ DAVID M VAZQUEZ &
50	3619 WORD ST	VEGA ROBERTO
51	3639 WORD ST	ELLIOTT PAUL M
52	3635 WORD ST	LORIEGA FRANZ
53	3631 WORD ST	KARATEPEYAN ALAIN B
54	3647 WORD ST	HALLAC RAMI R
55	3643 WORD ST	HUNT EDWARD T
56	1511 PECOS ST	DUKE RICHARD & CYNTHIA
57	1507 PECOS ST	GOEBEL BERNARD A

11/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	3651 WORD ST	ZIMMERMAN RYAN
59	1503 PECOS ST	RODRIGUE PAUL D
60	1511 N WASHINGTON AVE	MOORE J G & COMPANY INC
61	1510 PECOS ST	MOORE CINDY L
62	1508 PECOS ST	NOLEN MARK H
63	1506 PECOS ST	WHITMEYER ROBIN M & ARTHUR L
64	1504 PECOS ST	SHELDON SARA WINCORN &
65	1502 PECOS ST	ARNOLD MICHAEL JR & VICKI G
66	1518 PECOS ST	ROEY RICHARD C
67	1516 PECOS ST	GIL ANA SERAFIN &
68	1514 PECOS ST	KURUVILLA ABRAHAM
69	1512 PECOS ST	SU GAN
70	1500 PECOS ST	GALLEGOS ELIZABETH
71	1500 PECOS ST	COBB RICHARD
72	1500 PECOS ST	LUNDY JAMES C
73	1500 PECOS ST	TONY BRYAN
74	1500 PECOS ST	DUQUETTE COLIN
75	1500 PECOS ST	BURCHAM BRIAN DOUGLAS
76	1500 PECOS ST	GUDIEL CYNTHIA MARIA &
77	1500 PECOS ST	NEWMAN DAVID JR
78	1500 PECOS ST	JENN COURTNEY MARIE &
79	1500 PECOS ST	RODGVELLER ALI
80	1500 PECOS ST	MAUL JOSEPH & CRISTA
81	1500 PECOS ST	PRIJIC ZLATKO & OLHA
82	1500 PECOS ST	JACOBSON PATRICK & CIARA NICOLE
83	1500 PECOS ST	SYMBALISTY STEPHEN
84	1500 PECOS ST	KONG JUN H & SARAH
85	1500 PECOS ST	THURMAN LLOYD DENNIS II & ELIZABETH J
86	1500 PECOS ST	WEEKS ROBERT & KATHY
87	1500 PECOS ST	TING HARRY
88	1500 PECOS ST	BARNETT JOHN T &

FILE NUMBER: D201-001 **DATE FILED:** October 2, 2020

LOCATION: North line of Royal Lane, east of Grissom Lane

COUNCIL DISTRICT: 6 **MAPSCO:** 23-E

SIZE OF REQUEST: ± 12.35 acres **CENSUS TRACT:** 96.10

REPRESENTATIVE: Robert Baldwin; Baldwin Associates

OWNER/APPLICANT: New World Trade Center I, LTD / LDG Development

REQUEST: An application for a development plan within Subarea 1 of Planned Development District No. 899.

SUMMARY: On December 11, 2013, the Dallas City Council established Planned Development District No. 899 by Ordinance No. 29219.

The request seeks the approval of a development plan for a proposed 300-unit multifamily development. The development will be comprised of four, four-story structures at a maximum height of 50 feet. The individual buildings will each have a footprint of 37,500-square-feet with an associated open-air amenity area adjacent to each structure. The proposed gross-square-footage will total 600,000 square feet. A five percent reduction (the maximum reduction allowed for providing bicycle parking under Sec. 51A-4.314(d)) in required number of parking stalls (710 stalls) is being proposed for providing 175 Class I bicycle parking racks (675 stalls will remain) which will be allocated throughout the development for resident use. Class I bicycle parking is defined as bicycle parking provided at a minimum two-and-a-half foot by six-foot area for each bicycle parking space, as determined under Sec. 51A-4.334(f).

STAFF RECOMMENDATION: Approval.

PLANNED DEVELOPMENT DISTRICT No. 899:

<http://www.dallascityattorney.com/51P/Articles%20%20Supp%2048/ARTICLE%20899.pdf>

PDD No. 899 Exhibits:

http://www.dallascityattorney.com/51P/exhibits_cont.html#a899

List of Officers

New World Trade Center I, LTD (Owners)

Brand & Tiffany Investments, Inc.

Steven Sohn; President

LDG Development (Applicant)

Chris Dischinger; Co-Principal

Mark Lechner; Co-Principal

Lisa Becker; Chief Financial Officer

Scott Brian; Director of Development

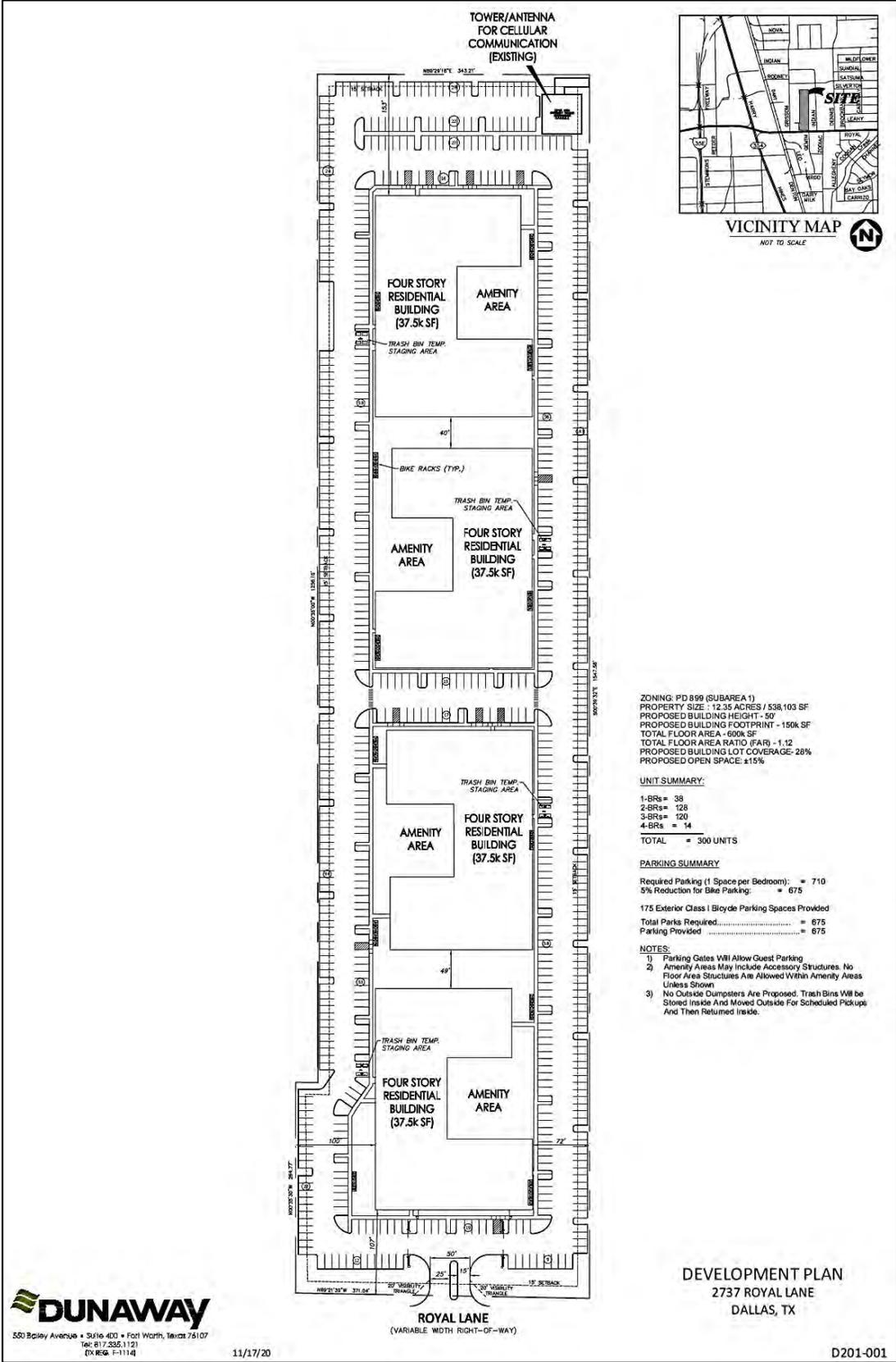
Jake Brown; Development Manager

Nick Chitwood; Executive Vice President

Justin Hartz; Director of Development

Zac Linsky; Development Manager

Proposed Development Plan



VICINITY MAP
NOT TO SCALE

ZONING: PD 899 (SUBAREA 1)
 PROPERTY SIZE : 12.35 ACRES / 538,103 SF
 PROPOSED BUILDING HEIGHT - 50'
 PROPOSED BUILDING FOOTPRINT - 150k SF
 TOTAL FLOOR AREA - 600k SF
 TOTAL FLOOR AREA RATIO (FAR) - 1.12
 PROPOSED BUILDING LOT COVERAGE- 28%
 PROPOSED OPEN SPACE: ±15%

UNIT SUMMARY:
 1-BRs = 38
 2-BRs = 128
 3-BRs = 120
 4-BRs = 14
 TOTAL = 300 UNITS

PARKING SUMMARY
 Required Parking (1 Space per Bedroom) = 710
 5% Reduction for Bike Parking = 675
 175 Exterior Class I Bicycle Parking Spaces Provided
 Total Parks Required = 675
 Parking Provided = 675

- NOTES:
 1) Parking Gates Will Allow Guest Parking
 2) Amenity Areas May Include Accessory Structures. No Floor Area Structures Are Allowed Within Amenity Areas Unless Shown
 3) No Outside Dumpsters Are Proposed. Trash Bins Will be Stored Inside And Moved Outside For Scheduled Pickups And Then Returned Inside.

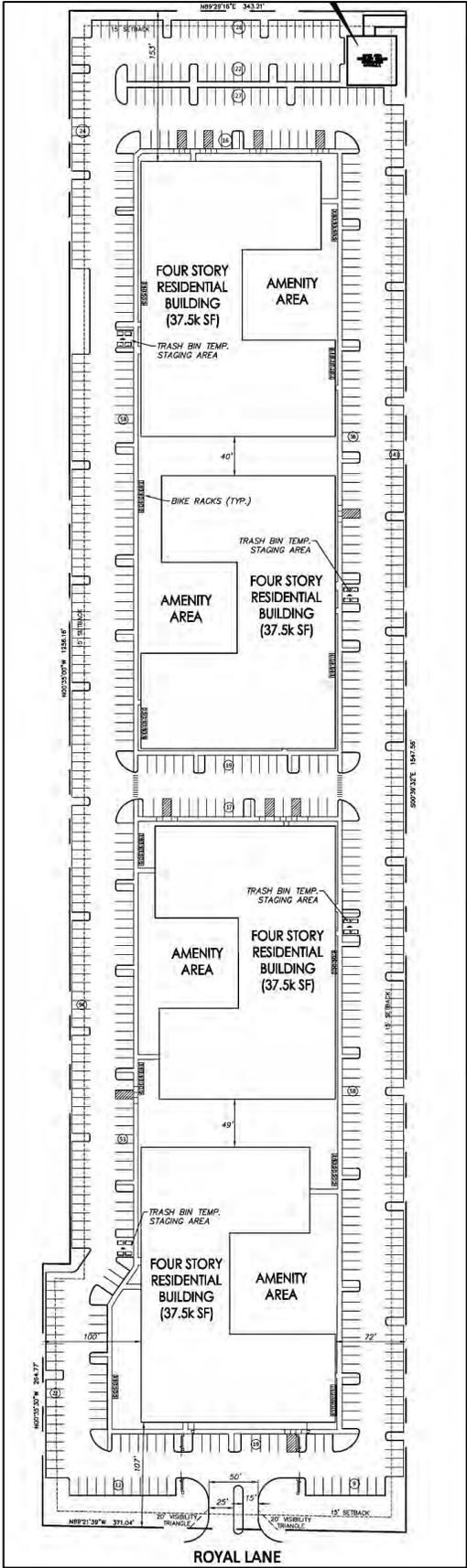
DEVELOPMENT PLAN
 2737 ROYAL LANE
 DALLAS, TX

DUNAWAY
 550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
 Tel: 817.325.1121
 TX REG. F-1114

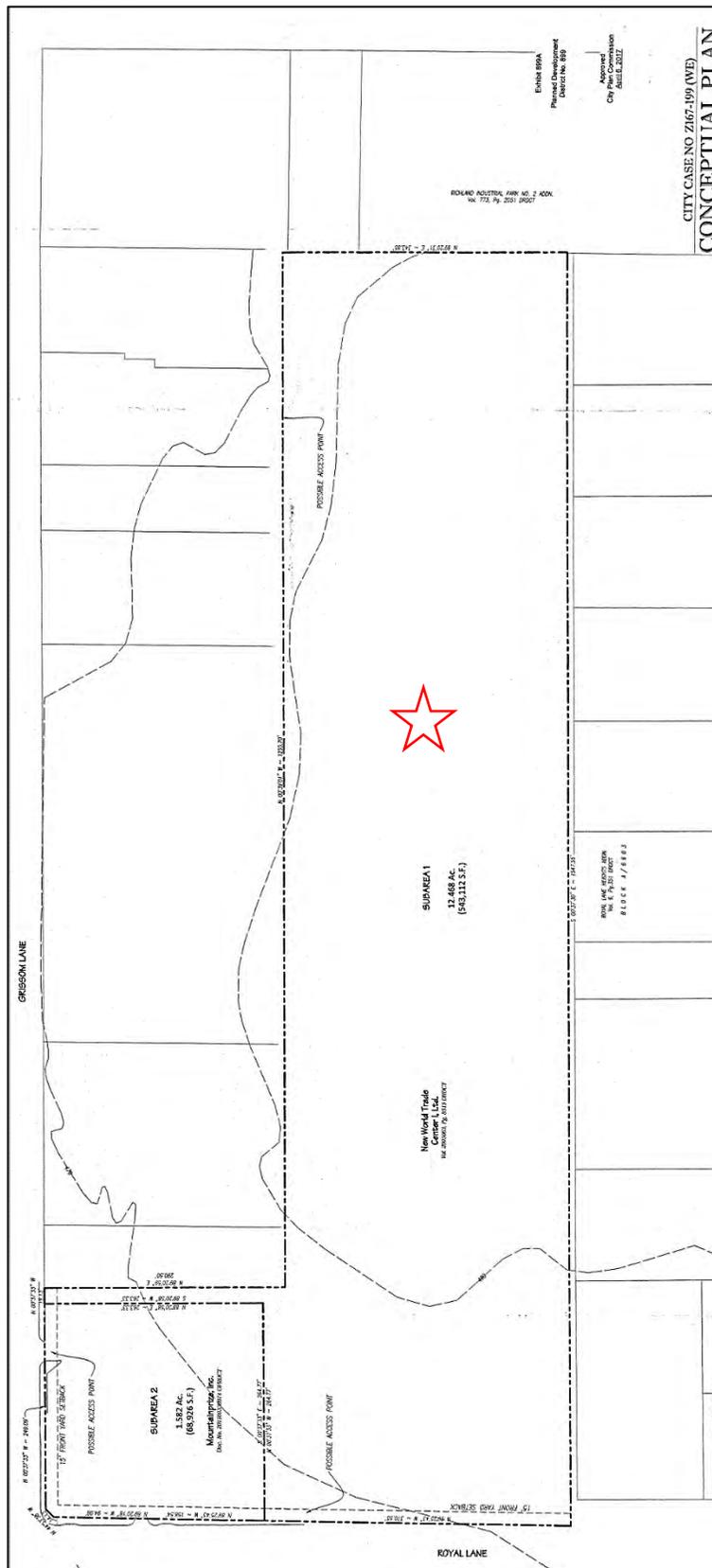
11/17/20

D201-001

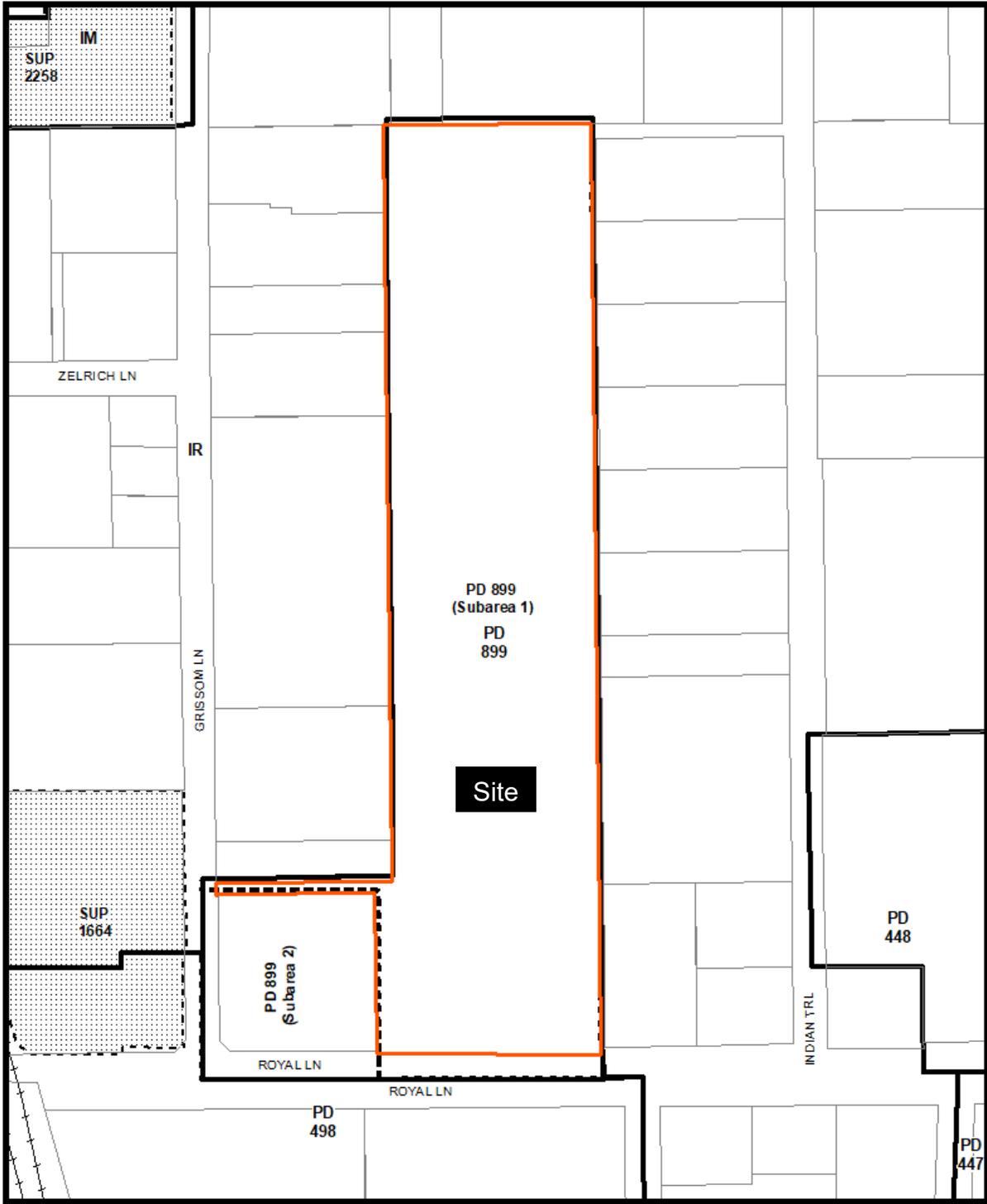
Proposed Development Plan - Enlarged



Conceptual Plan



Zoning Map



1:2,400

Zoning Map

Printed Date: 11/19/2020

Aerial Map



1:2,400

Aerial Map

Printed Date: 11/19/2020

FILE NUMBER: D190-004 **DATE FILED:** May 22, 2020

LOCATION: Northwest corner of Maple Avenue and Wolf Street

COUNCIL DISTRICT: 14 **MAPSCO:** 45 A

SIZE OF REQUEST: ± 3.37 acres **CENSUS TRACT:** 19.00

REPRESENTATIVE: Robert Baldwin, Baldwin Associates

OWNER/APPLICANT: 3001 Maple LP

REQUEST: An application for a development plan for a multifamily use on property zoned Planned Development Subdistrict No. 39 within Planned Development District No. 193, the Oaklawn Special Purpose District.

SUMMARY: On May 10, 2000, the Dallas City Council established Planned Development Subdistrict No. 39 within Planned Development District No. 193 by Ordinance No. 24254.

This request seeks the approval of a development plan after the previously approved Development Plan expired in 2010. The new development plan is for the renovation of the existing apartment building and the construction for a new multifamily building, new office building, and new restaurant pad sites with retail uses. The new retail, restaurant, and office uses will be located on the Maple/Wolf side of the property. The retail-restaurant uses are proposed in two new buildings and will be two stories. The existing seven-story apartment building will be expanded to include a new, attached nine-story office building that will fill in the existing void. The entire structure will be an office use after its renovation. The new multifamily use will be situated behind the office building at a proposed maximum height of 240 feet. The ground floor will have the parking garage, leasing and amenity office, and the residential tower above it.

STAFF RECOMMENDATION: Approval.

PLANNED DEVELOPEMNT DISTRICT No. 193:

[http://www.dallascityattorney.com/51P/Articles%20Supp%209/Div%20S-39%20\[Part%20II%20PD%20193\].pdf](http://www.dallascityattorney.com/51P/Articles%20Supp%209/Div%20S-39%20[Part%20II%20PD%20193].pdf)

PDD No. 193 Exhibits:

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2030/Exhibit%20595A.pdf>

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2030/Exhibit%20595B.pdf>

List of Officers

3001 Maple LP

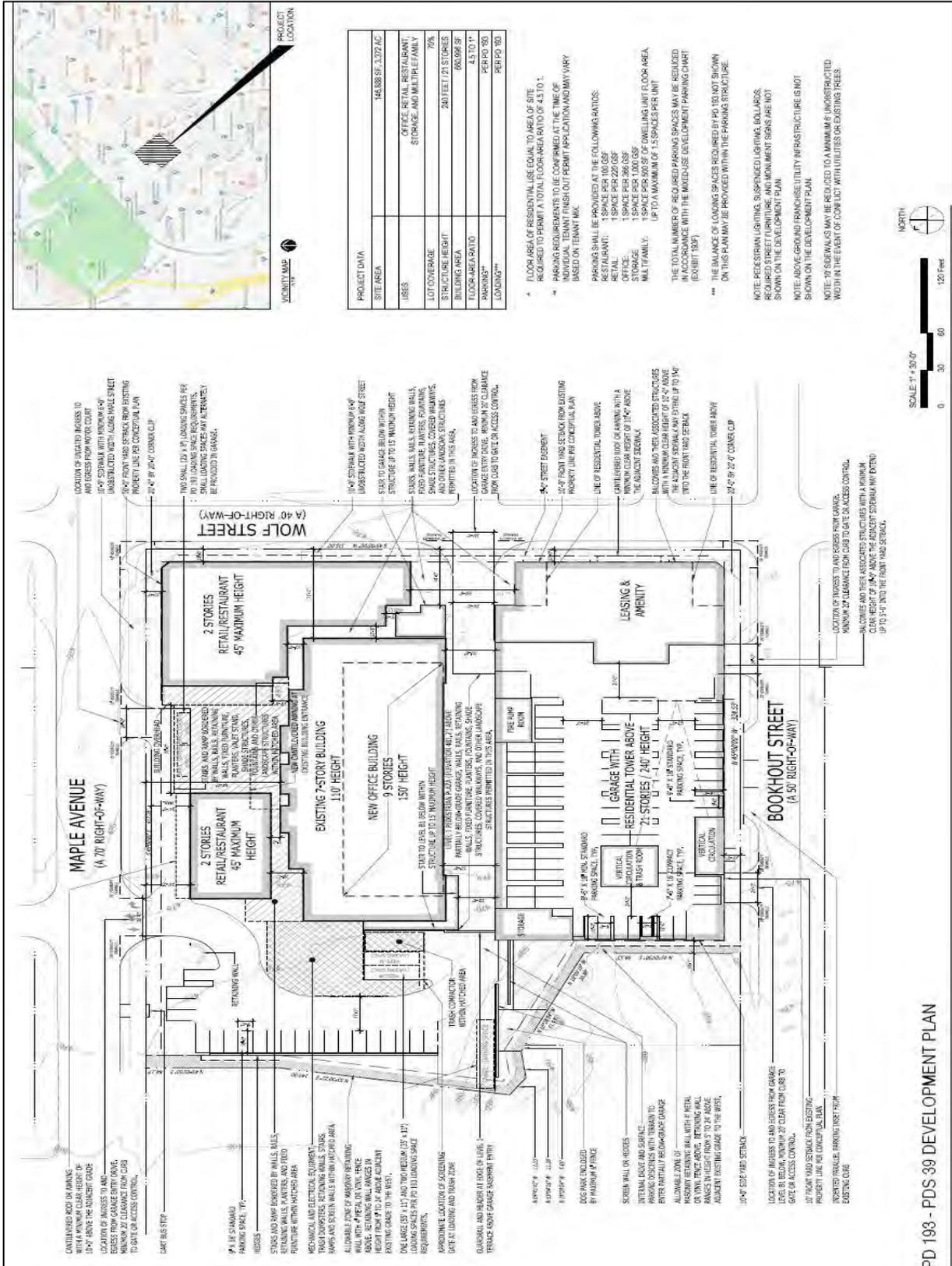
3001 Maple LP

3001 Maple Holdings LLC

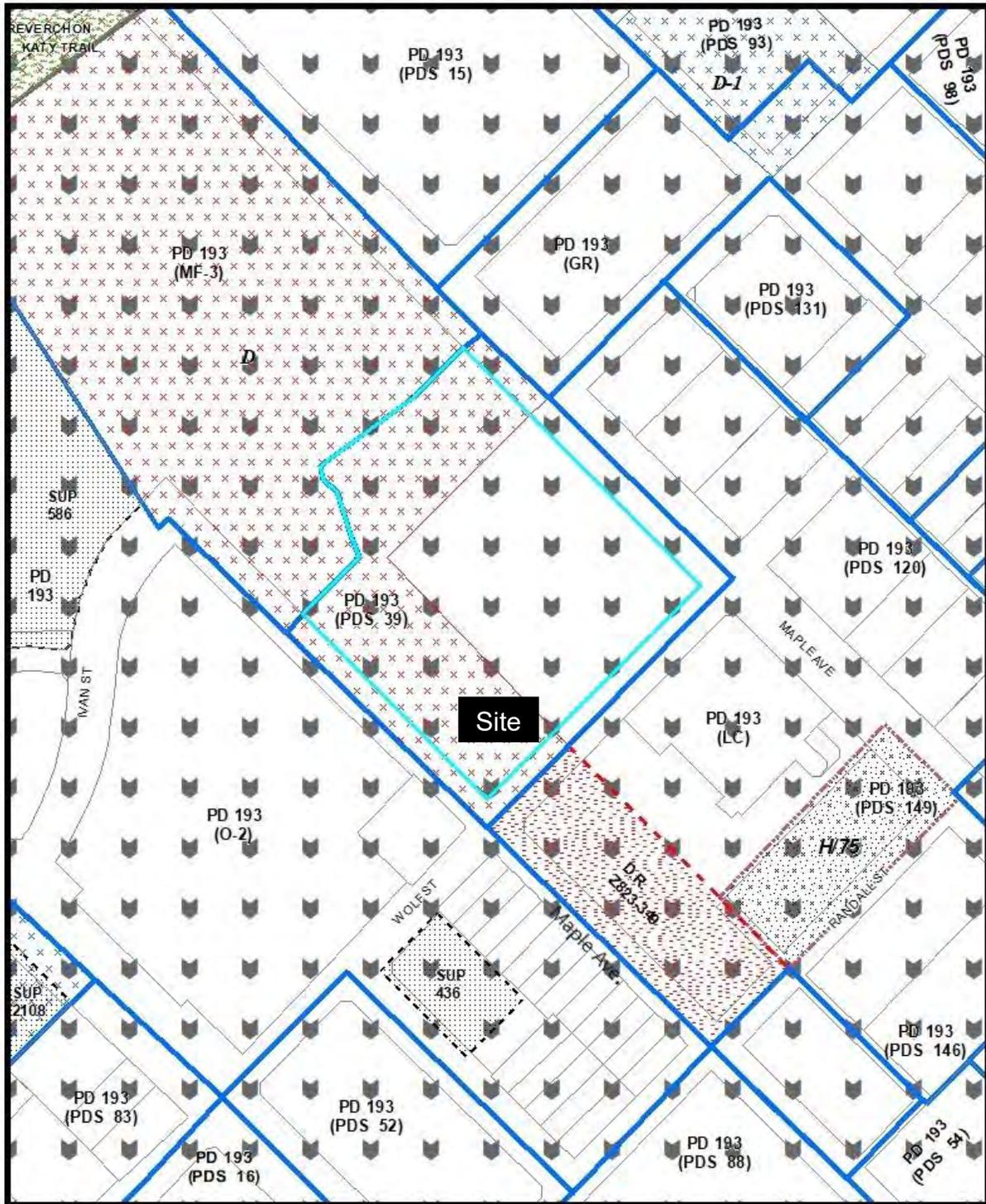
Hines Interests Limited Partnership

Hines Holdings, Inc.

Proposed Development Plan



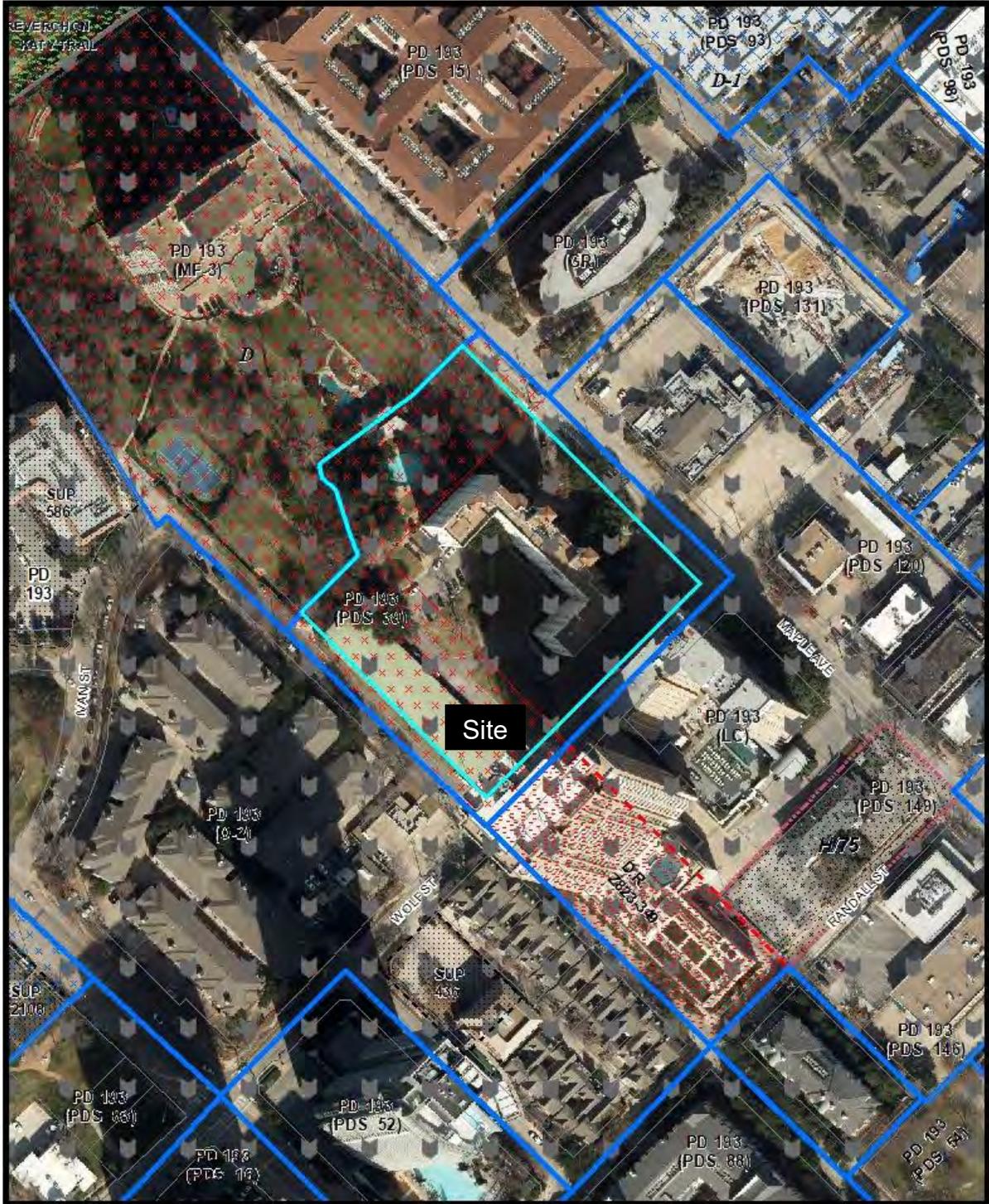
PD 193 - PDS 39 DEVELOPMENT PLAN



 1:1,800

Zoning Map

Printed Date: 11/18/2020



Printed Date: 11/18/2020

 1:1,800

Aerial Map

FILE NUMBER: D190-009 **DATE FILED:** September 11, 2020

LOCATION: Southeast side of Empire Central, at the terminus of Mohawk Drive

COUNCIL DISTRICT: 2 **MAPSCO:** 34 N

SIZE OF REQUEST: ± 1.9334 acres **CENSUS TRACT:** 4.06

REPRESENTATIVE: Kiesha Kay, Masterplan Texas

OWNER/APPLICANT: Mockingbird Venture Partners, LLC

REQUEST: An application for a development plan for a multifamily use on property zoned Subdistrict II-B within Planned Development District No. 759.

SUMMARY: On June 27, 2006, the Dallas City Council established Planned Development District No. 759 by Ordinance No. 26871.

This request seeks the approval of a development plan for a multifamily use. The proposed multifamily use will be comprised of a singular four-story building with a maximum height of 48 feet and a total building gross floor area of 89,900 square feet. The site will include 125 off street parking spaces, satisfying the 121-parking requirement for the building.

The Conceptual Plan indicates “No access to Empire Central from Subdistrict II-A.” Building Inspection determined that there is no restriction of accessing Subdistrict II-A from Subdistrict II-B. To ensure Subdistrict II-A does not access Empire Central through Subdistrict II-B, a controlled access gate and an access easement is required. To ensure this one-way traffic from Subdistrict II-A to Subdistrict II-B, staff asked the applicant to show the access gate on the plan with an indication of the one-way traffic pattern. However, the current plan shows a two-way drive between Subdistrict II-A and Subdistrict II-B. The access gate is shown further into the property. Staff asked the applicant to show an access gate at the edge of the property and remove the two-way drive indication to show compliance with the Conceptual Plan and Building Inspection’s interpretation. Staff is recommending approval of the plan with an indication that the driveway between Subdistrict IIA and IIB is one-way from Subdistrict II-B to Subdistrict II-A.

STAFF RECOMMENDATION: Approval, subject to a revised development plan.

PLANNED DEVELOPEMNT DISTRICT No. 759:

<http://www.dallascityattorney.com/51P/Missing%20Articles%20&%20Exhibits/ARTICLE%20759.pdf>

PDD No. 759 Exhibits:

<http://www.dallascityattorney.com/51P/Missing%20Articles%20&%20Exhibits/Exhibit%20759A.pdf>

List of Partners

West Love Multifamily, LLC

Manager - Slate Properties LLC: Reid Beucler

Proposed Development Plan



Wilder Bellshaw Architects
 11111 Old Columbia Road, Suite 100
 Columbia, MD 21046
 Phone: 410.326.1111
 Fax: 410.326.1112



SLATE
 6000 N. Green Street, Suite 105
 Falls Church, VA 22044
 Phone: 703.261.5000

Item	Quantity
1.00	1
2.00	2
3.00	3
4.00	4
5.00	5
6.00	6
7.00	7
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99.00	99
100.00	100

Slate Love West

Author: [Name]
 Title: [Title]
 Date: 2020

Drawing Name:
 Development Plan

Sheet Number

DEVELOPMENT PLAN
 Planned Development District
 No. PD Subzone I-18
 Date: 01/20/20

Site Data
 Zoning: PD 750 - Subdistrict IB
 Land Area: 84,200 SF / 1.9234 acres
 Uses: Multifamily
 Floor Area: Building A (4-story)
 Multifamily: 88,600 SF (Gross)'

Setbacks: EMPIRE CENTRAL: 15 FT
 SIDE YARDS: 5 FT
 FRONT YARDS: 10 FT
 Encroachments will include setback and exterior balconies at upper levels.

Height: Building height: 47'-0"
 (45' max. allowable height)

Density: New Construction: 113 Units TOTAL
 105 1BR units
 8 2BR units

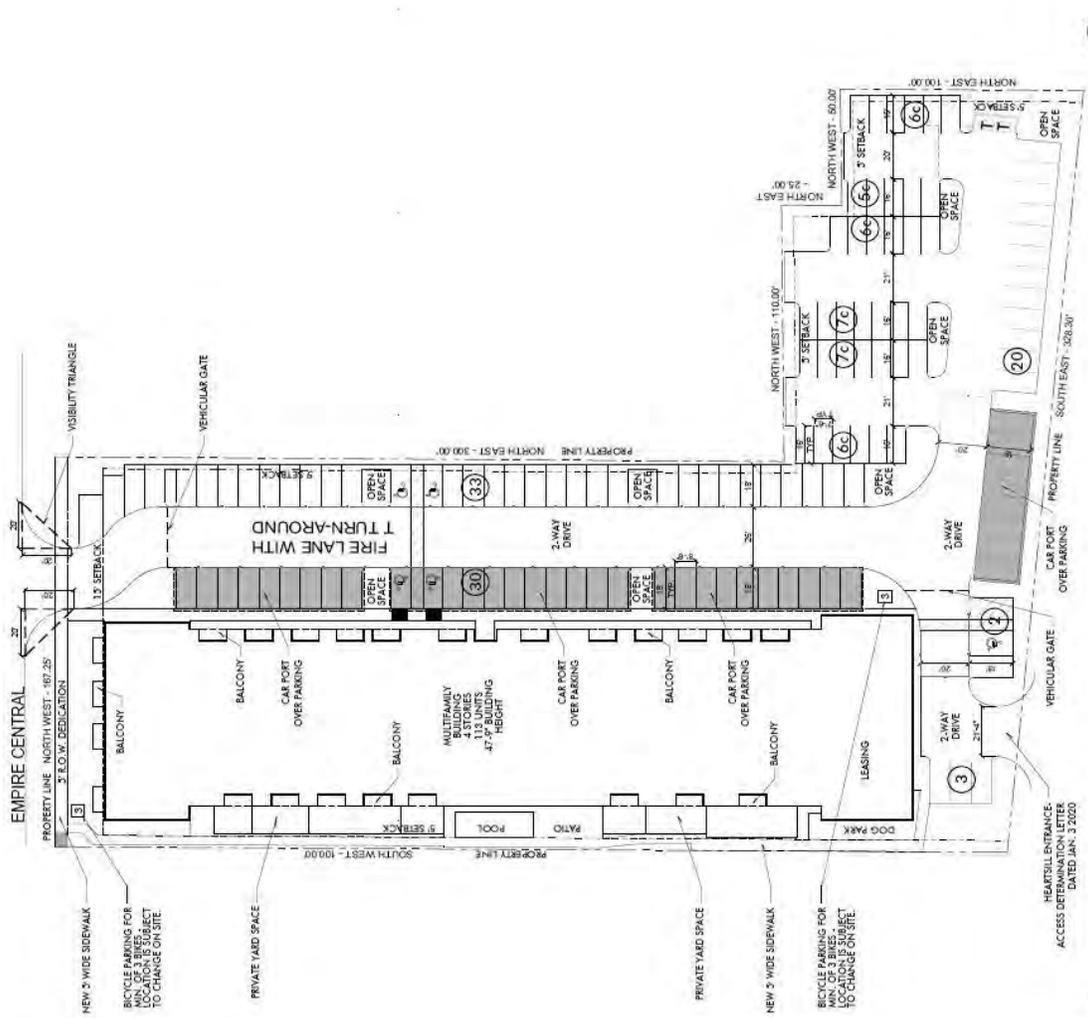
Number of Units: 113

Lot Coverage:
 Lot Coverage Not including Covered Parking: 31% current (80% Maximum allowable)
 Lot Coverage including Covered Parking: 39% current (80% Maximum allowable)

Parking:
 Parking Required:
 1 per E Unit: 77
 1 per 1BR Unit: 28
 2 per 2BR Unit: 16
 Total Parking Required: 121

Total provided Off-street parking:
 Regular Spaces: 83
 Handicap Spaces: 5
 Compact Spaces: 32
 Total Parking Provided: 120 (38 Covered Spaces)
 (31% compact spaces)

Bicycle Parking:
 Bicycle Parking Required (Ordinance 51A4.320): 5 Required
 1 per 25 vehicle parking spaces
 Bicycle Parking provided: 6 Provided



07 DEVELOPMENT PLAN
 SCALE: 1" = 20'-0"

HEAVY LINE ENTRANCE
 ACCESS DETERMINATION LETTER
 DATED JAN. 3, 2020

NORTH



 1:1,800

Aerial Map

Printed Date: 11/18/2020

FILE NUMBER: D190-011 **DATE FILED:** September 29, 2020

LOCATION: Northwest side of Watermill Road

COUNCIL DISTRICT: 6 **MAPSCO:** 11 A-K

SIZE OF REQUEST: ± 1.152 acres **CENSUS TRACT:** 141.27

REPRESENTATIVE: Gabrielle Collins, Pacheco Koch Consulting Engineers

OWNER/APPLICANT: CW Shoreline, Ltd., Cypress Waters Land A, Ltd., Trammel Crow No. 43, Ltd.

REQUEST: An application for a development plan and landscape plan for a police or fire station use on property zoned Subdistrict A within Planned Development District No. 741.

SUMMARY: On January 25, 2006, the Dallas City Council established Planned Development District No. 741 by Ordinance No. 26233.

This request seeks the approval of a development plan and landscape plan for a City of Dallas fire station. The 20,209 square foot building will include a fire station with 14 beds and will have a training tower.

STAFF RECOMMENDATION: Approval.

PLANNED DEVELOPEMNT DISTRICT No. 741:

<http://www.dallascityattorney.com/51P/Articles%20Supp%2045/ARTICLE%20741.pdf>

PDD No. 741 Exhibits:

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2045/Exhibit%20741A.pdf>

<http://www.dallascityattorney.com/51P/Articles%20Supp%2025/Exhibits/Ex741B.pdf>

<http://www.dallascityattorney.com/51P/Articles%20Supp%2025/Exhibits/Ex741C.pdf>

<http://www.dallascityattorney.com/51P/Articles%20Supp%2025/Exhibits/Ex741D.pdf>

<http://www.dallascityattorney.com/51P/Articles%20Supp%2025/Exhibits/Ex741E.pdf>

<http://www.dallascityattorney.com/51P/Missing%20Articles%20%20Exhibits/Ex741F.pdf>

<http://www.dallascityattorney.com/51P/Missing%20Articles%20%20Exhibits/Exhibit%20741G.pdf>

<http://www.dallascityattorney.com/51P/Missing%20Articles%20%20Exhibits/Exhibit%20741H.pdf>

<http://www.dallascityattorney.com/51P/Supp%2055/Exhibits/741I.pdf>

<http://www.dallascityattorney.com/51P/Supp%2055/Exhibits/741J.pdf>

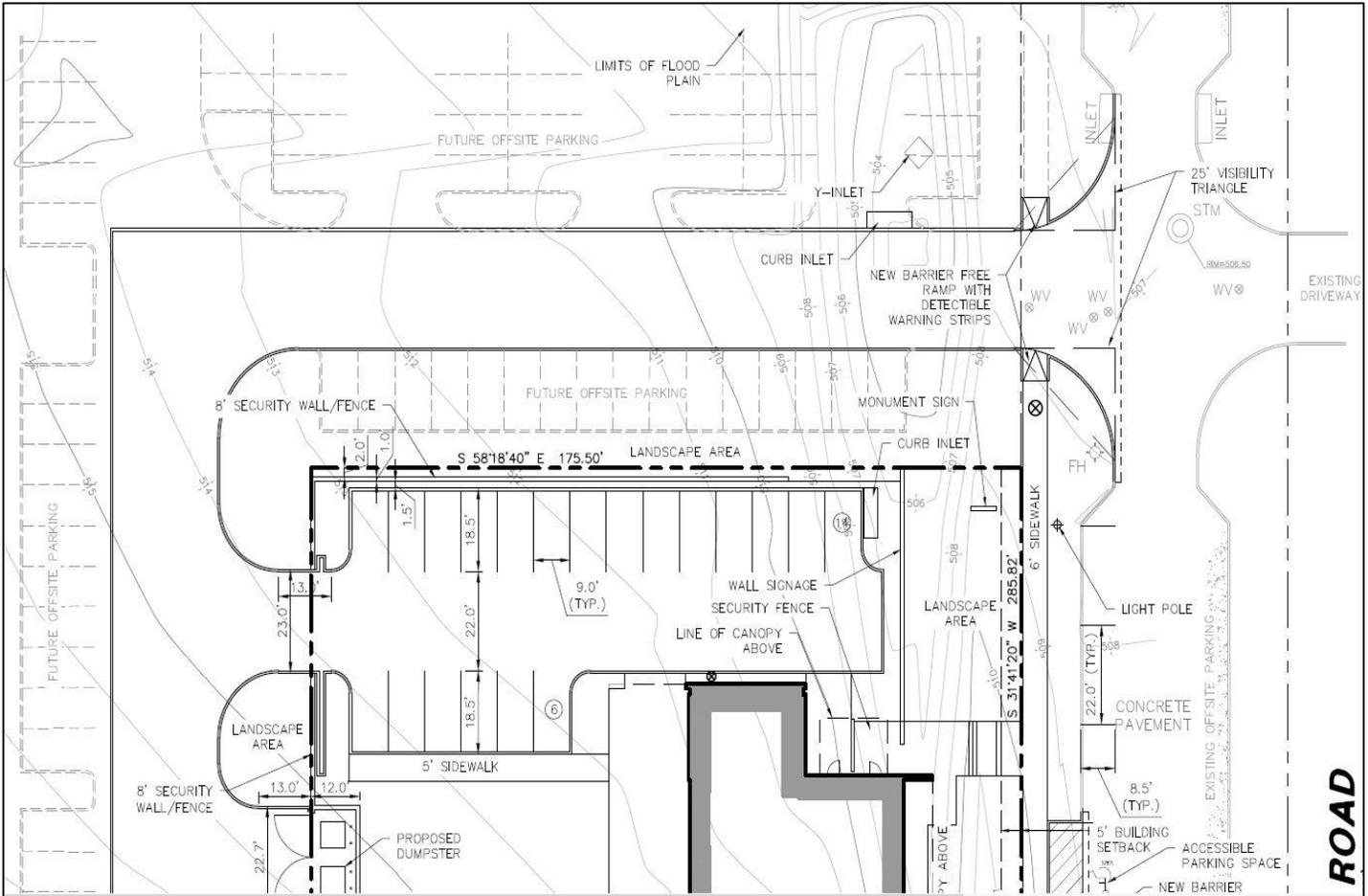
List of Officers

The CW Shoreline Land, Ltd., is a Texas limited partnership. Its general partner is Billingsley 380 North GP, LLC, a Texas limited liability company and the limited partners are Billingsley Holdings ASB II, LLC, Billingsley Cornell Capital, LP, The Anne Sumner Billingsley Trust II, The LB LPB Trust, Billingsley Berkshire Partners, Ltd., and Crow-Billingsley Luna Road, Ltd.

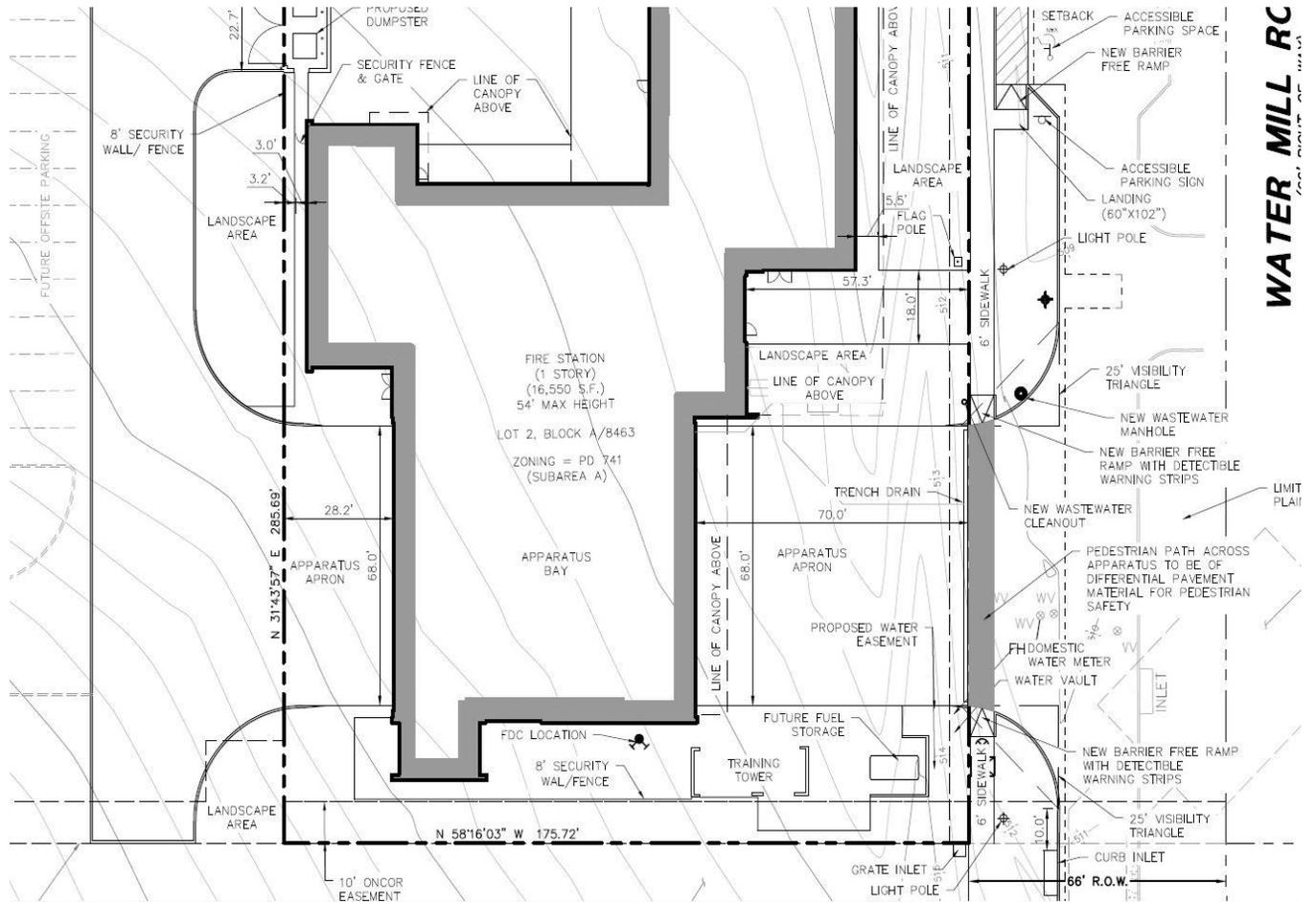
The Cypress Waters Land A, Ltd., is a Texas limited partnership. Its general partner is Billingsley 380 North GP, LLC, a Texas limited liability company and the limited partner is The Anne Sumner Billingsley Trust II.

The Trammell Crow Company No. 43, Ltd., is a Texas limited partnership. Its general partner is Henry GP, LLC, a Texas limited liability company and the limited partner is Billingsley Holdings ASB II, LLC.

Proposed Development Plan - Enlarged

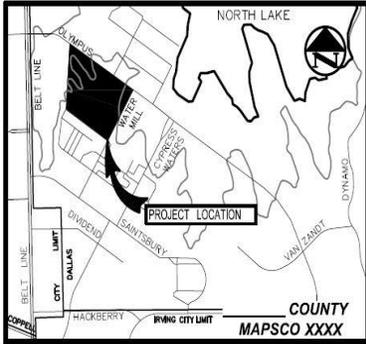


Proposed Development Plan - Enlarged Continued



WATER MILL RC

Proposed Development Plan - Enlarged Continued



VICINITY MAP
(NOT TO SCALE)

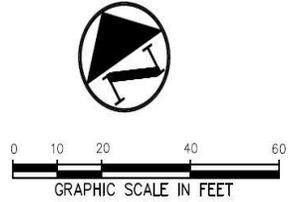
ALL DIMENSIONS ARE TO
BACK-OF-CURB UNLESS
OTHERWISE NOTED.

SITE DATA SUMMARY CHART	
ZONING:	PD 741 - SUBAREA A
CURRENT USE:	VACANT
PROPOSED USE:	FIRE STATION
LOT AREA:	1.152 AC - 50,180 SF
BUILDING SQUARE FOOTAGE:	16,500 SF
BUILDING SQUARE FOOTAGE W/ ROOF COVERAGE:	20,209 SF
BUILDING HEIGHT (FEET + STORES):	1 STORY (54' MAX)
LOT COVERAGE:	40%
TOTAL BUILDING AREA:	20,209 SF
FLOOR AREA RATIO:	.40
TOTAL PARKING REQ'D (1 SPACE/BED + 5 SPACES):	19 SPACES
PARKING PROVIDED (SURFACE PARKING):	
REGULAR PARKING (OFFSITE) (8'X22'):	3 SPACES
REGULAR PARKING (9'X18'):	20 SPACES
ACCESSIBLE PARKING:	1 SPACE (OFFSITE ON WATERMILL)
TOTAL SURFACE PARKING:	24 SPACES
IMPERVIOUS AREA:	39,107 S.F.
NUMBER OF BEDS:	14 BEDS

NOTES

1. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
2. EAST BUILDING FACE IS ALIGNED TO THE S31°41'20"W PROPERTY LINE.
3. SETBACKS ARE AS FOLLOWS:

FRONT 5'
SIDE 0'
REAR 0'



LEGEND

BL	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CH	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
SIGN	TRAFFIC SIGN
IRS	1/2-INCH IRON ROD
(C.M.)	W/"PACHECO KOCH" CAP SET
---	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
#	COORDINATE DESIGNATION
X	PROPOSED FENCE
---	FIRE LANE
.....	GRADE BREAKS
---	SWALES
---	PEDESTRIAN WALKWAY
---	(MATERIAL TYPE PENDING RAS APPROVAL)

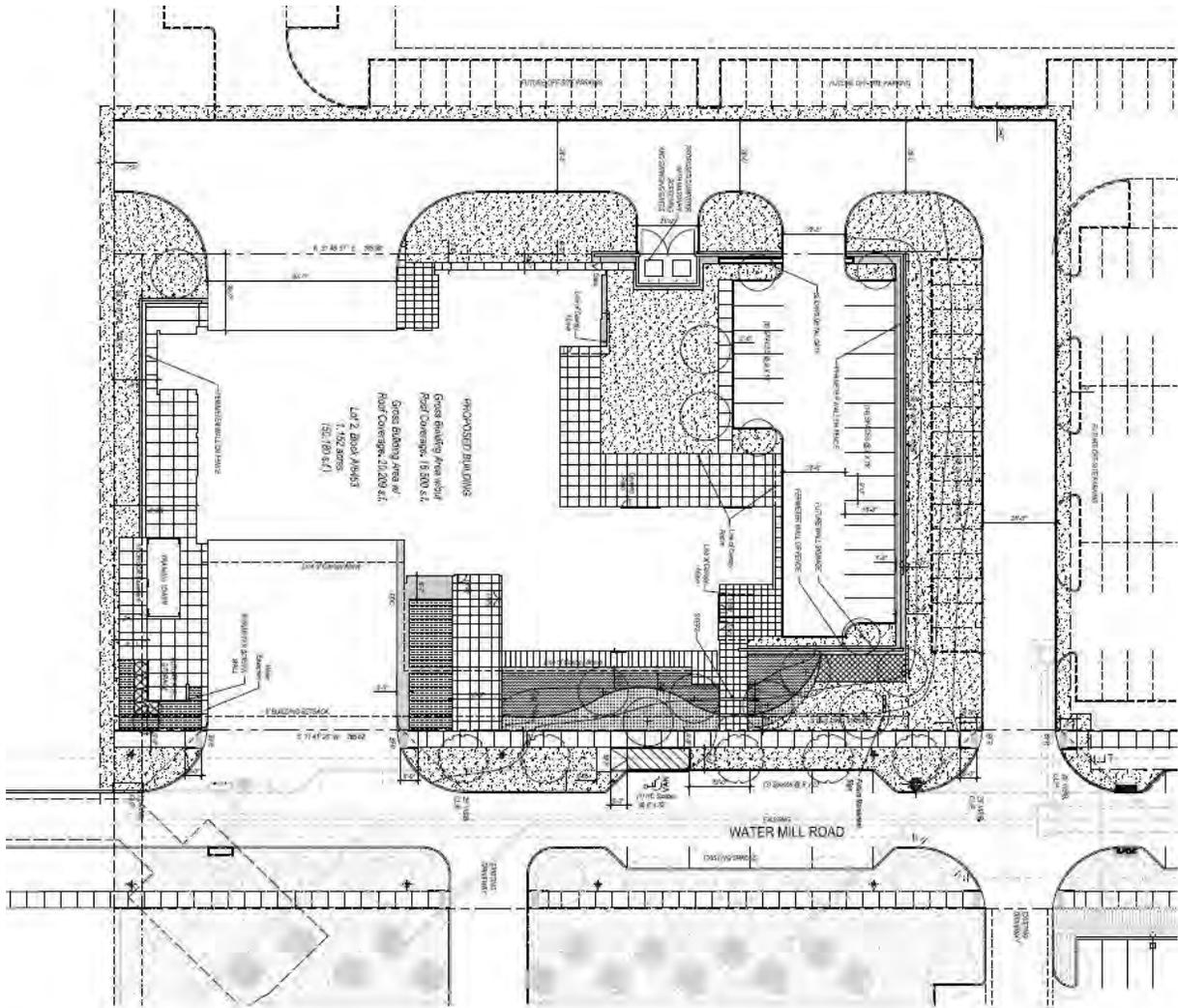
THIS SPACE RESERVED - BLDG INSPECTION

THIS SPACE RESERVED - ENGINEERING

Proposed Development Plan - Enlarged Continued

P.D. 741 SUB-AREA A CUMULATIVE TABLE										
PROJECT NAME	USE	DEVELOPMENT PLAN NO.	CPC APPROVAL	LAST AMENDMENT	LOT AREA	BUILDING AREA	FAR	BUILDING FOOTPRINT	GARAGE FOOTPRINT	LOT COVERAGE
					SF	SF		SF	SF	
CYPRESS WATERS MF1	MULTIFAMILY	D101-017	8/8/2011	7/15/2014						
LOT 1, BLOCK A/8465					239,970	178,589	0.74	66,467		28%
LOT 1, BLOCK B/8465					271,351	225,278	0.83	98,490		36%
LOT 1, BLOCK C/8465					63,404	32,682	0.52	24,074		38%
LOT 1, BLOCK D/8465					129,840	60,236	0.46	41,975		32%
LOT 1, BLOCK E/8465					311,265	240,208	0.77	104,668		34%
PARSONS GREEN	MULTIFAMILY	D134-030	11/20/2014							
LOT 1, BLOCK J/8465					139,001	32,000	0.23	32,000		23%
LOT 2, BLOCK D/8465					450,410	233,840	0.52	140,685		31%
THE SOUND MF	MULTIFAMILY	D156-019	9/15/2016							
BLOCK A					144,605	552,282	3.84	67,056	47,906	80%
BLOCK B					145,520	436,539	2.99	76,356	27,006	71%
BLOCKS C & D	MULTIFAMILY	D167-034								
BLOCK C					153,362	455,655	2.97	75,796	37,734	74%
BLOCK D					145,395	411,080	2.83	79,083	28,384	74%
8951 CYPRESS WATERS	OFFICE	D123-018	7/11/2013	10/29/2014	544,817	180,710	0.33	105,300		19%
8840 CYPRESS WATERS	OFFICE	D123-021	7/11/2013	10/29/2014	392,126	163,939	0.42	56,945		15%
8950 CYPRESS WATERS	OFFICE	D123-021	7/11/2013	10/29/2014	482,199	175,036	0.36	59,332	89,425	31%
9001 CYPRESS WATERS	OFFICE	D134-034	11/6/2014		354,335	215,119	0.61	56,694	84,077	40%
3001 HACKBERRY ROAD	OFFICE	D145-011	5/21/2015	10/28/2015	855,669	332,043	0.39	87,251	84,334	20%
9111 CYPRESS WATERS	OFFICE	D145-032	11/5/2015	7/13/2017	462,503	225,000	0.49	57,350	58,620	25%
9121 WATERMILL ROAD	OFFICE	D156-013	6/2/2016		138,956	32,000	0.23	32,000	-	23%
3100 OLYMPUS BLVD	OFFICE	D156-016	8/4/2016		366,323	255,000	0.70	52,500	86,360	38%
3200 OLYMPUS BLVD	OFFICE	D178-006	4/19/2018	3/19/2019	403,634	260,269	0.64	52,736	70,984	31%
3201 OLYMPUS BLVD		D167-032								
Lot 1R	OFFICE				298,847	256,000	0.86	50,318	92,029	48%
Lot 2	MULTIFAMILY				28,099	34,113	1.21	13,039		46%
Lot 3	MULTIFAMILY				28,277	45,058	1.59	19,865		70%
9797 ROMBAUER	OFFICE	D156-018	10/6/2016		623,634	250,000	0.40	63,358	-	10%
3000 OLYMPUS BLVD	OFFICE	D167-013	4/6/2016		363,523	217,000	0.60	53,719	79,778	37%
PENA PARK	PRIVATE RECREATION AREA	D167-014	4/27/2017		52,726	-	0.00	-		0%
THE SOUND RETAIL PH.1	OFFICE/RETAIL	D167-011	2/16/2017		69,685	30,129	0.43	20,970		30%
THE SOUND RETAIL PH. 2	COMMERCIAL PARKING	D167-031	10/19/2017		86,878	14,593	0.17	14,593		17%
3401, 3501, & TH OLYMPUS BLVD		D178-021	11/1/2018	4/29/2019						
LOT 1	OFFICE				221,592	201,000	0.91	40,543		18%
LOT 2	OFFICE/PARKING				352,525	201,000	0.57	40,517	128,906	48%
LOT 3	MULTIFAMILY				19,208	23,319	1.21	7,773		40%
SAGE HILL	MULTIFAMILY	D189-011	8/15/2019							
LOT 2B, BLOCK A/8467					643,300	430,084	0.67	169,275		26%
LOT 1, BLOCK D/8467					128,471	104,522	0.81	51,170		40%
3003 OLYMPUS		D189-014								
LOT 1, BLOCK N/8466	OFFICE/PARKING				221,214	322,377	1.46	32,796		15%
LOT 2, BLOCK D/8466	MULTIFAMILY				73,124	104,058	1.42	51,170		48%
HASTINGS END	MULTIFAMILY	D189-017	11/2/2019		342,711	544,733	1.59	139,587	43756	54%
9000 CYPRESS WATERS	OFFICE				341,214	182,294	0.78	45,459	70721	34%
FIRE STATION 58	FIRE STATION	D190-011			50,180	20,209	0.40	16,500	3,709	40%
DEVELOPED AREA					10,139,893	7,677,994	0.76	2,197,410	1,030,020	32%

Proposed Landscape Plan



LANDSCAPE NOTES

1. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
2. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
3. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
4. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
5. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
6. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
7. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
8. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
9. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
10. All trees to be planted in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.

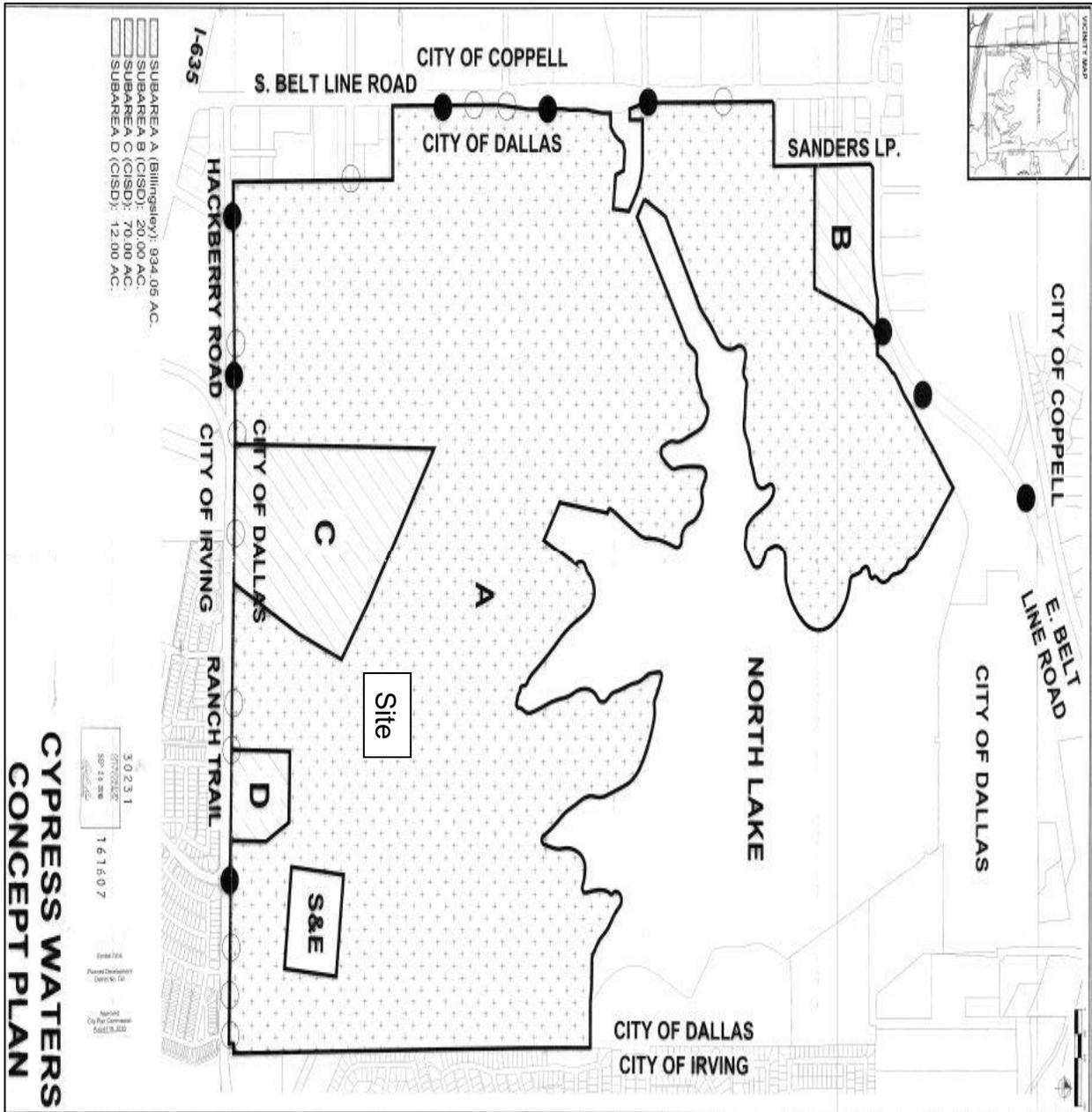
PLANTING BED NOTES

1. All planting beds to be installed in accordance with the City of Dallas Tree Ordinance and the Texas Native Plant Society's guidelines.
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GRAPHIC LEGEND

- 1" Caliper Tree
- 1/2" Caliper Tree
- 1/4" Caliper Tree
- 1/8" Caliper Tree
- 1/16" Caliper Tree
- 1/32" Caliper Tree
- 1/64" Caliper Tree
- 1/128" Caliper Tree
- 1/256" Caliper Tree
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Conceptual Plan





 1:2,400

Zoning Map

Printed Date: 11/19/2020



Printed Date: 11/19/2020

 1:2,200

Aerial Map

FILE NUMBER: Z190-133(CT) **DATE FILED:** November 12, 2019
LOCATION: Northwest corner of Ravenview Road and Garden Grove Drive
COUNCIL DISTRICT: 8 **MAPSCO:** 69 A G
SIZE OF REQUEST: Approx. 2.225 acres **CENSUS TRACT:** 171.01

REPRESENTATIVE: Cody Crannell, CCM Engineering

OWNER/APPLICANT: APDC Holdings, LLC and Benigno Morales and Alicia Morales

REQUEST: An application for a R-10(A) Single Family district on property zoned an NS(A)-D-1 Neighborhood Service District with a D-1 Liquor Control Overlay.

SUMMARY: The purpose of this request is to allow for the applicant to construct seven dwellings on the subject site.

STAFF RECOMMENDATION: Approval with retention of the D-1 Liquor Control Overlay.

BACKGROUND INFORMATION:

- The area of request is zoned an NS(A) Neighborhood Service District with a D Liquor Control Overlay and is currently comprised of one undeveloped lot and one lot developed with a single-family dwelling.
- The applicant proposes to develop the site with seven single family lots on the subject site.

Zoning History: There has been one zoning change for the area of request in the past five years.

1. **Z189-291** On October 3, 2018, the City Plan Commission denied an application for an R-5(A) Residential District on property zoned an R-10(A) Single Family District and NS(A)-D-1 Neighborhood Service District with a D-1 Liquor Control Overlay on property located on the north corner of Garden Grove Drive and Ravenview Road.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Ravenview Road	Principal Arterial	107 feet	107 feet
Garden Grove Drive	Local	50 feet	50 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS:

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

ECONOMIC ELEMENT

GOAL 2.5

FOSTER A CITY OF GREAT NEIGHBORHOODS

Policy 2.5.2 Ensure that existing and future residential areas are appropriately linked in order to enhance economic development and urban design benefits.

GOAL 5.3 ESTABLISH WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

NEIGHBORHOOD PLUS PLAN

GOAL 4.3 Enhance neighborhood desirability by improving infrastructure, housing stock, recreation and safety.

GOAL 5.1 Encourage a wider range of well-designed and affordable housing types as a response to emerging homeownership preferences.

WEST KLEBERG COMMUNITY PLAN

The West Kleberg Community Plan was adopted in April 2007. It is generally located south of Interstate 20 and bounded on the east by Stark Road and Dallas city limit; on the south by Seagoville city limit and the Dallas County; and on the west by St. Augustine and Haymarket Roads.

The residential build-out for Sub-area 1 would be 66.4% medium and 22.4% large lot development, with the remaining build-out at 9.1% for commercial and 2.1% for mix us development. Based on these figures, the forecast would generate 2,174 new housing units and 1,305,406 new commercial square footage which translates into 2,122 new households and 1,479 new jobs.

Land Use and Zoning

LUZ 1.1 The City should support neighborhood efforts to maintain the residential character of the West Kleberg area with new and infill residential development densities that maintain its existing rural densities.

Land Use:

	Zoning	Land Use
Site	NS(A) Neighborhood Service District with D Liquor Control Overlay	Undeveloped Single Family
North	NS(A) Neighborhood Service District with D Liquor Control Overlay R-10(A) Residential District	Undeveloped
East	NS(A) Neighborhood Service District with D Liquor Control Overlay	Undeveloped
South	NS(A) Neighborhood Service District with D Liquor Control Overlay	Single Family
West	R-10(A) Residential District	Single Family

Land Use Compatibility:

The site is zoned an NS(A) Neighborhood Service District with a D Liquor Control Overlay and is currently comprised of one undeveloped lot and one lot developed with a single-family dwelling. South and west of the site are single family dwellings and north and west of the site are undeveloped. The R-10(A) Single Family District is compatible with the single-family dwellings to the west and south of the property. Many of the lots within the abutting NS(A) District are developed with single-family dwellings. Developing the area with single family dwellings would not be deleterious to the nature of the surrounding properties and neighborhood.

The applicant proposes to subdivide the subject site into seven lots to be developed with single family dwellings. The single-family dwelling on the west portion of the area of request will remain on the property. The addition of the seven lots to the area creates more rooftops, develops more of the land in an undeveloped area, and allows the more attractive area to draw the commercial entities that the area plan seeks.

Staff supports the R-10(A) single Family District as the area is largely comprised of single-family dwellings.

Development Standards:

<u>DISTRICT</u>	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
Existing - NS(A)	15'	20' from Residential	No max	35' for gables, hip or gambrel roof 30' for other	50%		Retail Personal Service
Proposed - R-10(A)	30'	Side: SF: 6' Other: 10' Rear: SF: 6' Other: 15'	No Max	30'	45%		Single family

Parking:

Off-street parking and loading requirements must comply with the Dallas Development Code as amended. The parking requirement for a single-family use in an R-10(A) District is two parking spaces per dwelling.

Landscaping:

For the proposed development, compliance with Article X will be required.

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The portion of the request site is within an “F” MVA Category; it is also in proximity to a “F” MVA Cluster to the northwest, west, and southwest of the subject site.

Z190-133(CT)

List of Partners

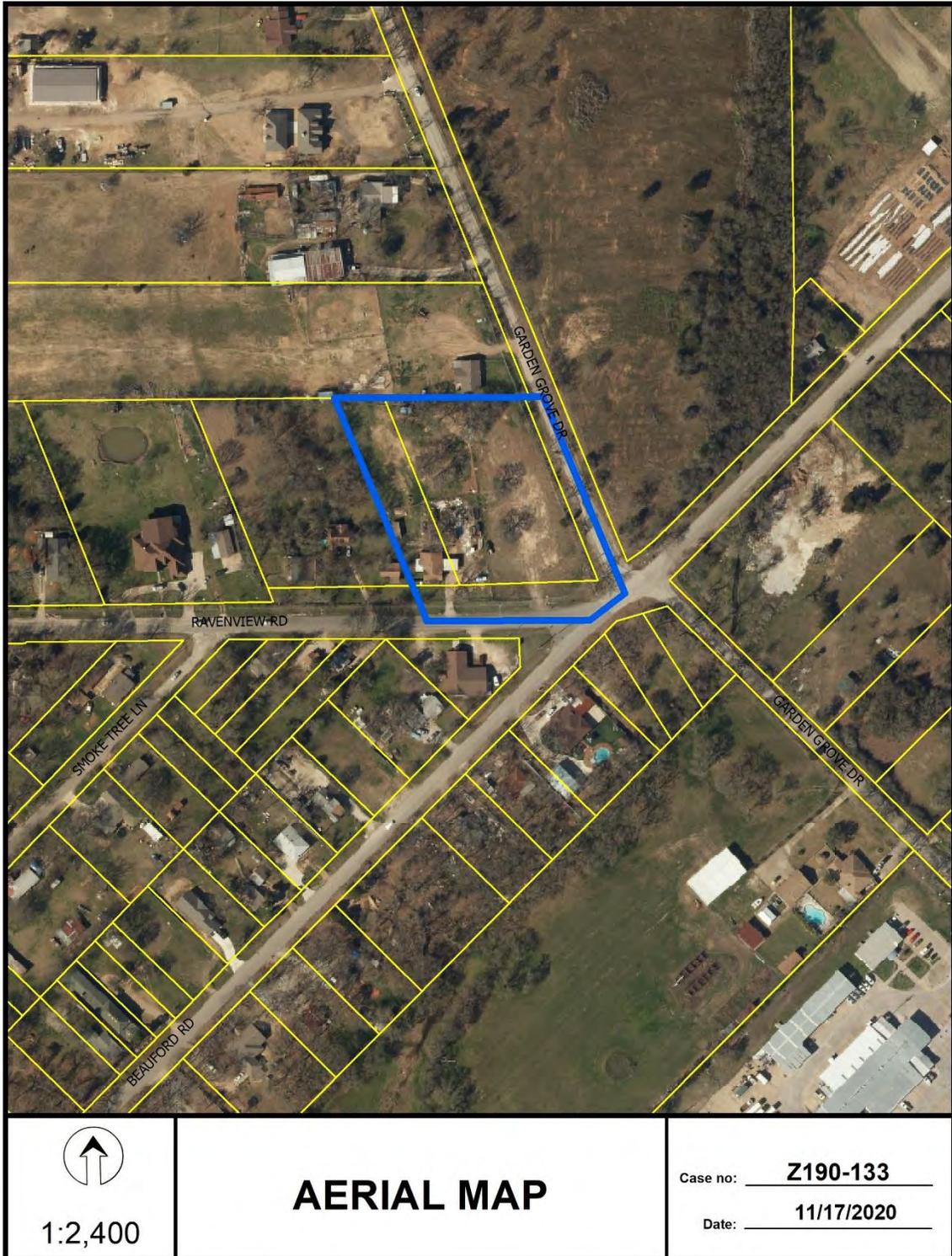
APDC Holdings, LLC

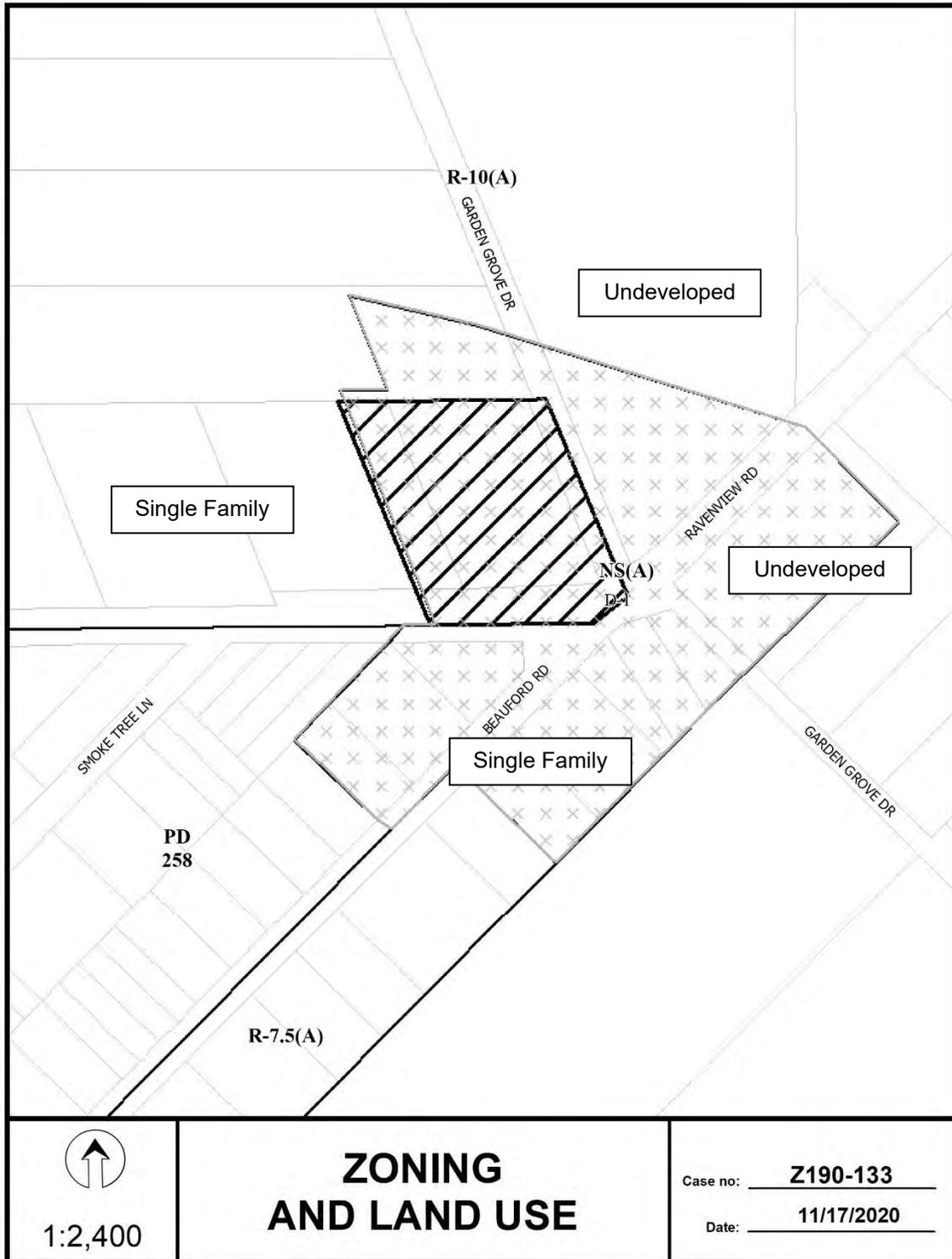
Amit Porat – Managing Partner

Doron Chen – Partner



 1:6,000	VICINITY MAP	Case no: Z190-133 Date: 11/17/2020
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1:2,400

ZONING HISTORY

Case no: Z190-133
Date: 11/17/2020

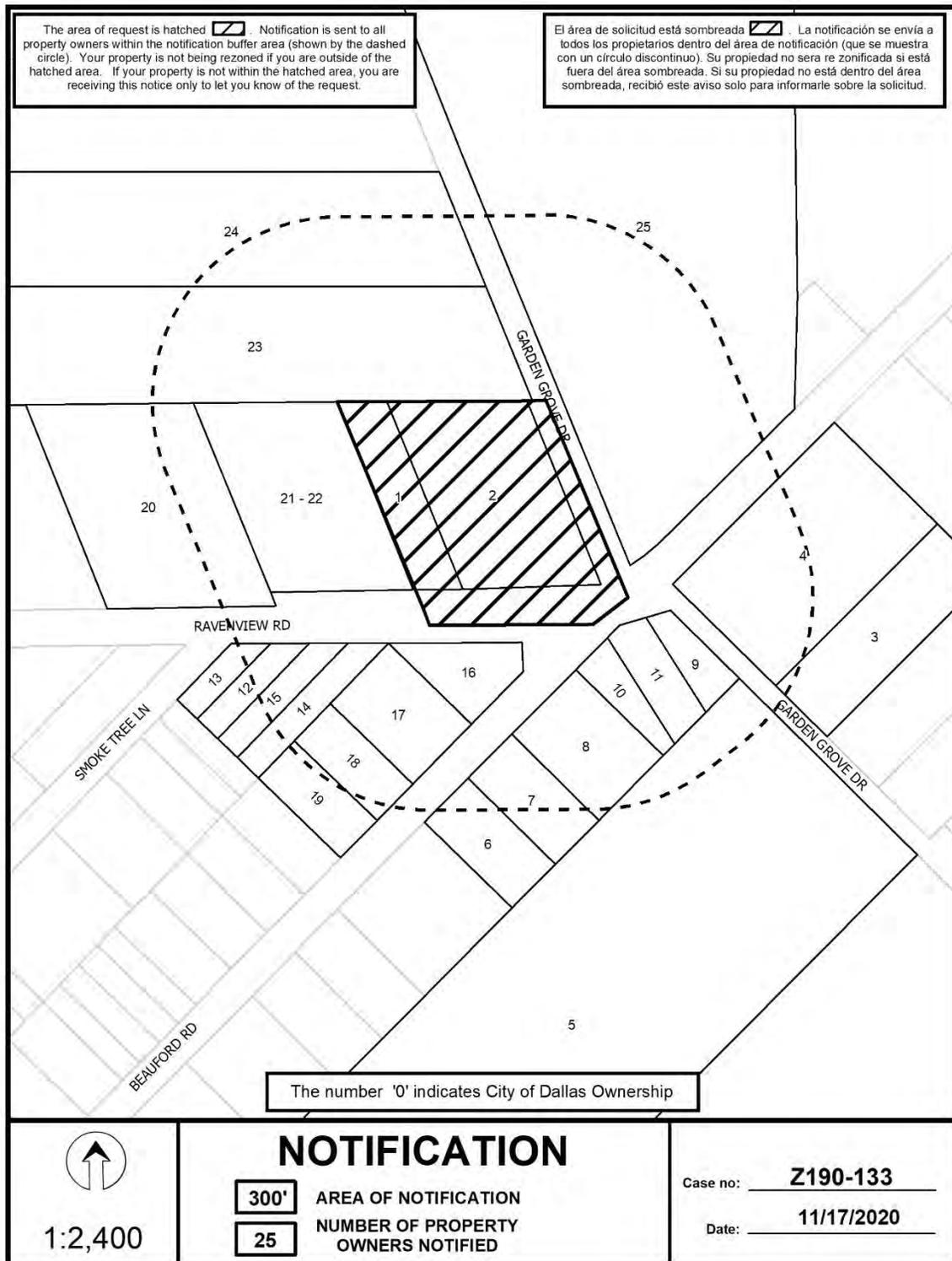


MVAC Cluster A B C D E F G H I NA

 1:6,000

Market Value Analysis

Printed Date: 11/17/2020



11/17/2020

Notification List of Property Owners***Z190-133******25 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	12335 RAVENVIEW RD	MORALES BENIGNO &
2	12335 RAVENVIEW RD	APDC HOLDINGS LLC
3	12707 GARDEN GROVE DR	ORTIZ PEDRO
4	12500 RAVENVIEW RD	FLORES ANTONIO &
5	12704 GARDEN GROVE DR	PRESLEY TERRY &
6	1528 BEAUFORD RD	WELLS FARGO BANK NA
7	1522 BEAUFORD RD	PARKER KIMBERLY
8	1516 BEAUFORD RD	Taxpayer at
9	12404 RAVENVIEW RD	VALLADARES ANTONIO LULE
10	1510 BEAUFORD RD	LAGOW DEV PROJECT LLC
11	12402 BEAUFORD RD	LAGOW DEVELOPMENT PROJECT LLC
12	12316 RAVENVIEW RD	HAYES MARION THOMAS &
13	12314 RAVENVIEW RD	MARTINEZ EFRAIN A
14	12324 RAVENVIEW RD	MAYA ANTONIO
15	12320 RAVENVIEW RD	MAYA LUIS
16	12328 RAVENVIEW RD	FULL GOSPEL BAPTIST
17	1511 BEAUFORD RD	SMITH JOHNNY D
18	1517 BEAUFORD RD	KAMY REAL PPTY TRUST
19	1523 BEAUFORD RD	RUBIO BERNARDO DIAZ
20	12311 RAVENVIEW RD	SALDIBAR JOSE M & CLAUDIA P
21	12321 RAVENVIEW RD	WALKER LAURA &
22	12321 RAVENVIEW RD	COLDIRON BARBARA ANN &
23	12336 GARDEN GROVE DR	Taxpayer at
24	12246 GARDEN GROVE DR	MOORE JAMES & BONNIE
25	12100 GARDEN GROVE DR	PALACIOS ANEL

FILE NUMBER: Z190-332(ND)

DATE FILED: August 11, 2020

LOCATION: Southwest corner of West Kiest Boulevard and Rio Grande Avenue

COUNCIL DISTRICT: 3

MAPSCO: 53 W

SIZE OF REQUEST: ± 6.957 acres

CENSUS TRACT: 108.03

REPRESENTATIVE: Ban Alali, Alias Architects, LLC

APPLICANT/OWNER: Centro Cristiano Para La Familia

REQUEST: An application for a Specific Use Permit for a child-care facility use on property zoned an R-10(A) Single Family District with Specific Use Permit No. 601 for a private school on a portion.

SUMMARY: The request site is occupied by a church campus [Centro Cristiano Para La Familia] The applicant proposes to use one of the existing buildings on the property to accommodate a child-care facility to serve approximately 157 children. No new structures or parking areas are proposed with this request.

STAFF RECOMMENDATION: Approval for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.

Background Information

- The property is developed with a church use consisting of two buildings. The applicant proposes to use have a 6,850 square foot child-care facility for approximately 157 children.
- The site has been used for church uses at least since 1986, per our records. The current operated has had a CO since May 2019.
- The subject site is zoned an R-10(A) Single Family District. The Development Code allows child-care facilities within an R-10(A) District subject to a Specific Use Permit.

Zoning History

There have been two recent zoning cases in the area within the past five years.

- 1. Z167-155** An application for a Planned Development District for single family uses on property zoned an R-10(A) Single Family District. The application was withdrawn prior to being heard at City Plan Commission.
- 2. Z167-229** On June 28, 2017, the City Council approved a Specific Use Permit for a tower/antenna for cellular communication on property zoned an R-7.5(A) Single Family District for a 10-year period with eligibility for automatic renewals for additional 10 year periods.

Thoroughfares

Thoroughfare/Street	Type	Existing / proposed ROW
Kiest Boulevard	Principal Arterial	100 feet
Rio Grande Avenue	Local	50 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested and determined that it will not significantly impact the surrounding roadway system.

The proposed drop-off and pick-up will occur in front of the building fronting Kiest Boulevard. Cars will enter on Kiest Boulevard and drop-off or pick-up and circle around

the building to exit onto Rio Grande Avenue. Three to four staff members will assist with the drop-off and pick-up. Parents will volunteer to help direct traffic during these times. Parking for parents wishing to take their children inside is available in the parking lot off of Kiest Boulevard.

Comprehensive Plans:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The applicant's request is consistent with the following goals and policies of the comprehensive plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

1.1.5.4 Provide appropriate transitions between non-residential uses and neighborhoods to protect stability and quality of life.

1.1.5.7 Ensure that neighborhoods are served by and accessible to neighborhood commercial areas, parks and open space, libraries and schools.

URBAN DESIGN ELEMENT

GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

5.3.1.5 Build neighborhood facilities, such as schools, libraries and community centers, within walking distance of transit stations and homes.

STAFF ANALYSIS

Surrounding Land Uses:

	Zoning	Land Use
Site	R-10(A), SUP No. 601	Church
North	R-7.5(A)	Cemetery, church
East	R-10(A)	Undeveloped
South	R-10(A), SUP No. 601	Undeveloped
West	R-10(A)	Undeveloped, Single-family

Land Use Compatibility:

The request site is developed with two buildings serving a church use. The applicant proposes to use a portion of the larger fronting Kiest Boulevard as a child-care facility for approximately 157 children. The applicant proposes an outdoor playground on the rear side of the property. There are 163 parking spaces on the property to serve the church and the proposed child-care facility.

The request site is surrounded by single family zoning on all sides with single family developed lots to the west. Further west and south are more single-family dwelling units. Across Kiest Boulevard is a cemetery and a church and across Rio Grande Avenue is an undeveloped lot that previously had a single-family structure on it.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The proposed SUP conditions include a five-year time limit with the eligibility for automatic renewals, hours of operation, floor area and parking, as well as provisions for maintenance and compliance with all federal and state regulations. The child-care facility is proposed to operate Monday through Friday, between 6:30 a.m. and 6:00 p.m.

Considering the reuse of an existing building within a church campus, the location on a major thoroughfare, the site configuration and the location of the building in relationship to available parking as well as the drop-off and pick-up queueing, and the proposed conditions and site plan, staff is in support of this request.

Parking:

Per Section 51A-4.203, the parking requirement for a child-care facility may be established by the SUP. The Development Code also recommends a parking ratio of one space per 500 square feet of floor area. The proposed child-care facility is required to provide 14 parking spaces. There are 163 parking spaces on the property to serve the church campus and the proposed child-care facility. The Development Code allows institutional uses within residential districts to share parking if located on the same lot.

Landscaping:

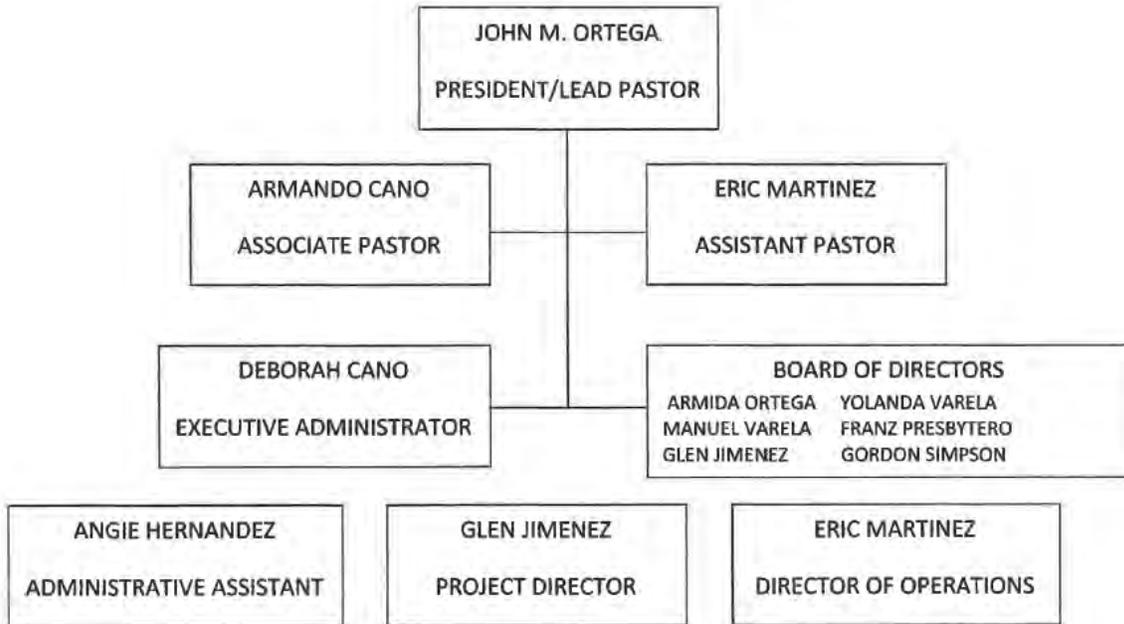
Landscaping must be provided in accordance with the landscaping requirements in Article X, as amended. No new construction or expansion is proposed with this request; therefore, the landscape requirements will not be triggered at this time.

Market Value Analysis:

Market Value Analysis (MVA), is a tool to aid residents and policymakers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Although the area of request is not within an identifiable MVA cluster, the immediate surrounding area is located within an “F” MVA cluster to the east, west, and south and a “G” MVA cluster to the north.

Partners/Principals/Officers:

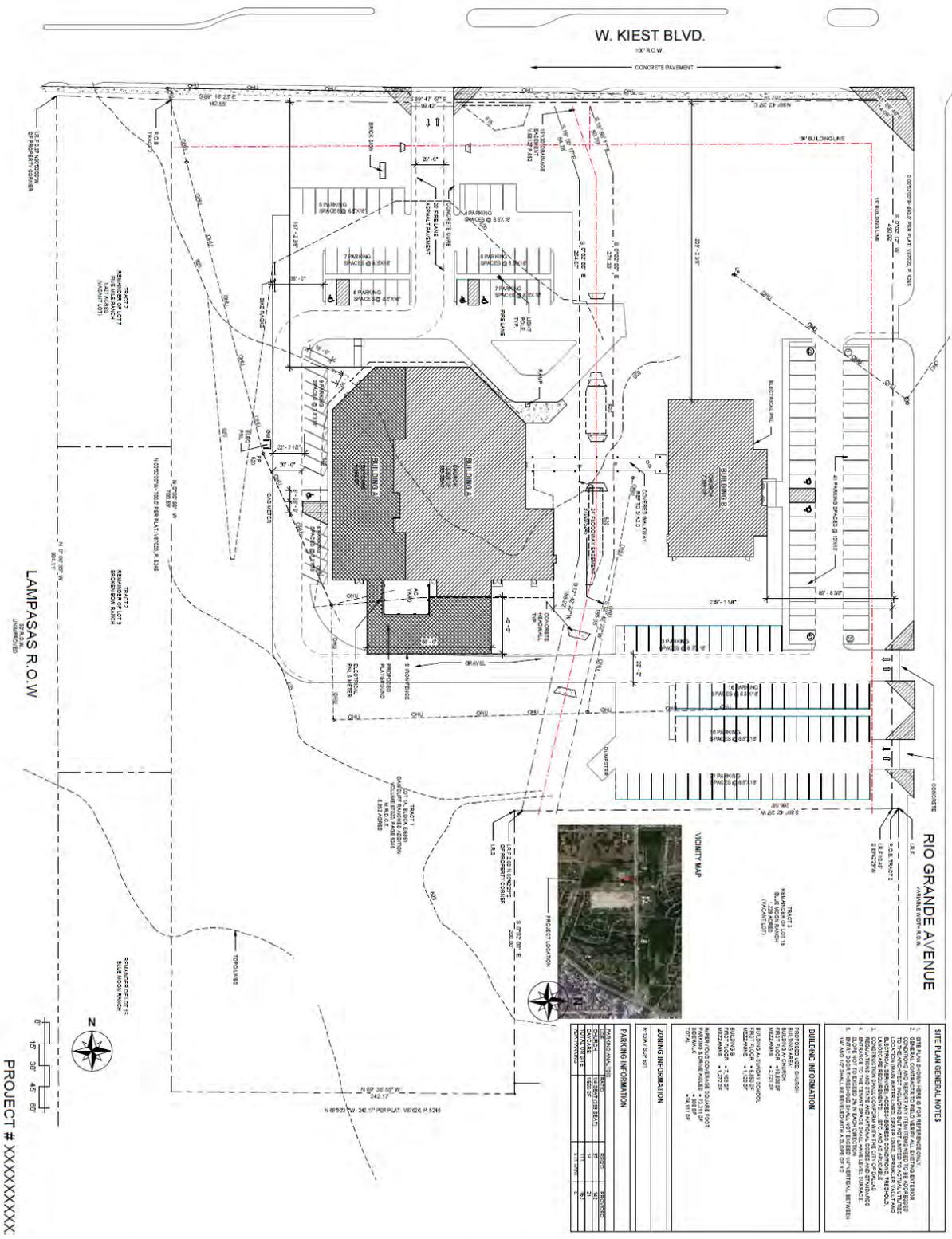
CENTRO CRISTIANO PARA LA FAMILIA



PROPOSED SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is a child-care facility.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on [five years from the passage of this ordinance] but is eligible for automatic renewal for additional five-year periods pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced.)
4. FLOOR AREA: The maximum floor area for a child-care facility is 6,850 square feet.
5. HOURS OF OPERATION: The child-care facility may only operate between 6:30 a.m. and 6:00 p.m., Monday through Friday.
6. PARKING: Parking must be located as shown on the attached site plan.
7. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

PROPOSED SITE PLAN



RIO GRANDE AVENUE

- SITE PLAN GENERAL NOTES**
1. SITE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE CITY ENGINEER'S REVIEW SHALL BE LIMITED TO TECHNICAL ASPECTS OF THE SITE PLAN AND SHALL NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE PROJECT OR BY THE NEGLIGENCE OF ANY PARTY.
 2. THE SITE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER WITH ALL NECESSARY INFORMATION TO ALLOW FOR A COMPLETE REVIEW OF THE SITE PLAN. THIS INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - a. A COPY OF THE CITY ENGINEER'S REVIEW AND APPROVAL.
 - b. A COPY OF THE CITY ENGINEER'S COMMENTS AND RESPONSES.
 - c. A COPY OF THE CITY ENGINEER'S CONDITIONS OF APPROVAL.
 - d. A COPY OF THE CITY ENGINEER'S REVISIONS.
 - e. A COPY OF THE CITY ENGINEER'S FINAL APPROVAL.
 3. THE SITE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER WITH ALL NECESSARY INFORMATION TO ALLOW FOR A COMPLETE REVIEW OF THE SITE PLAN. THIS INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
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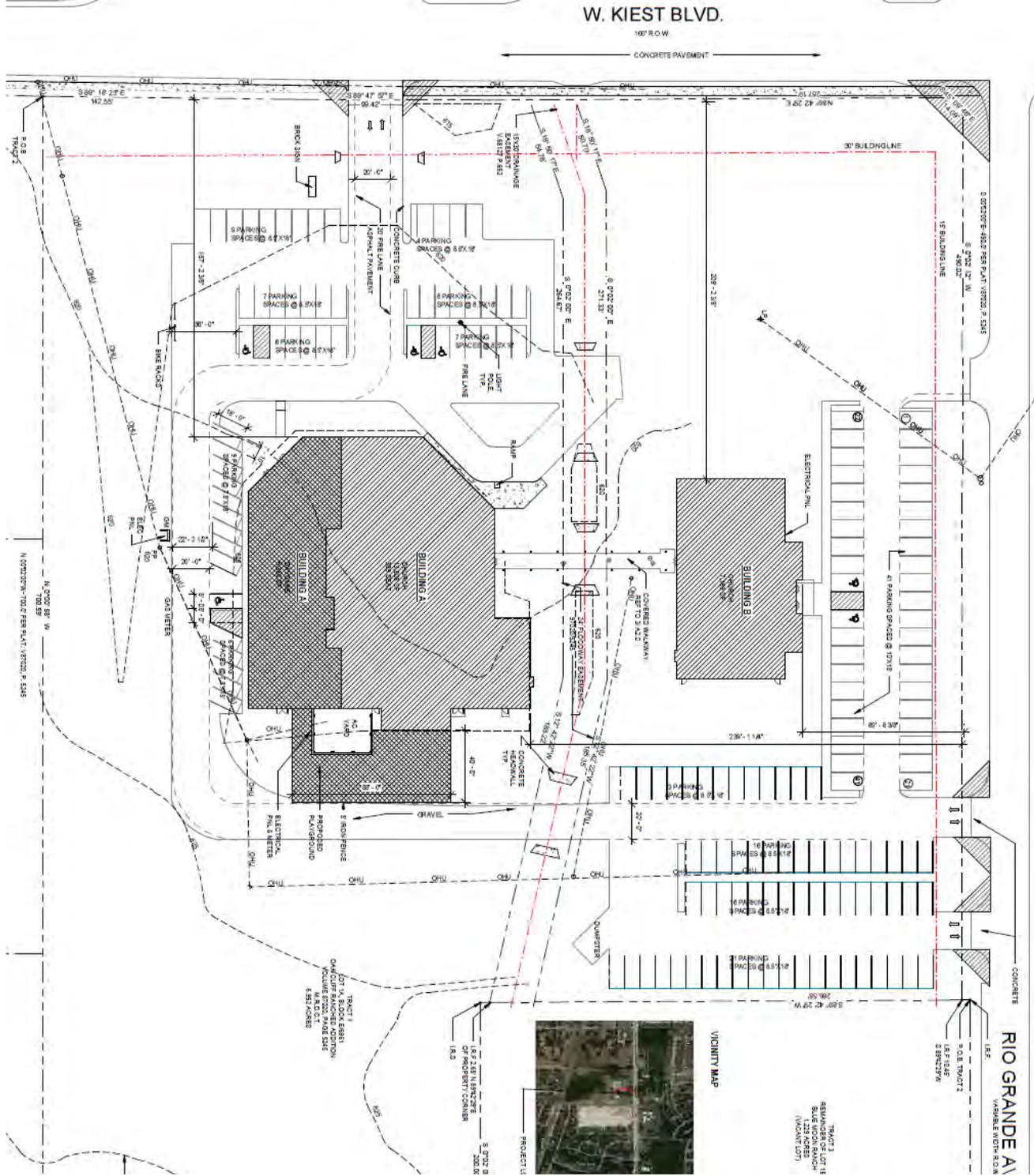
BUILDING INFORMATION

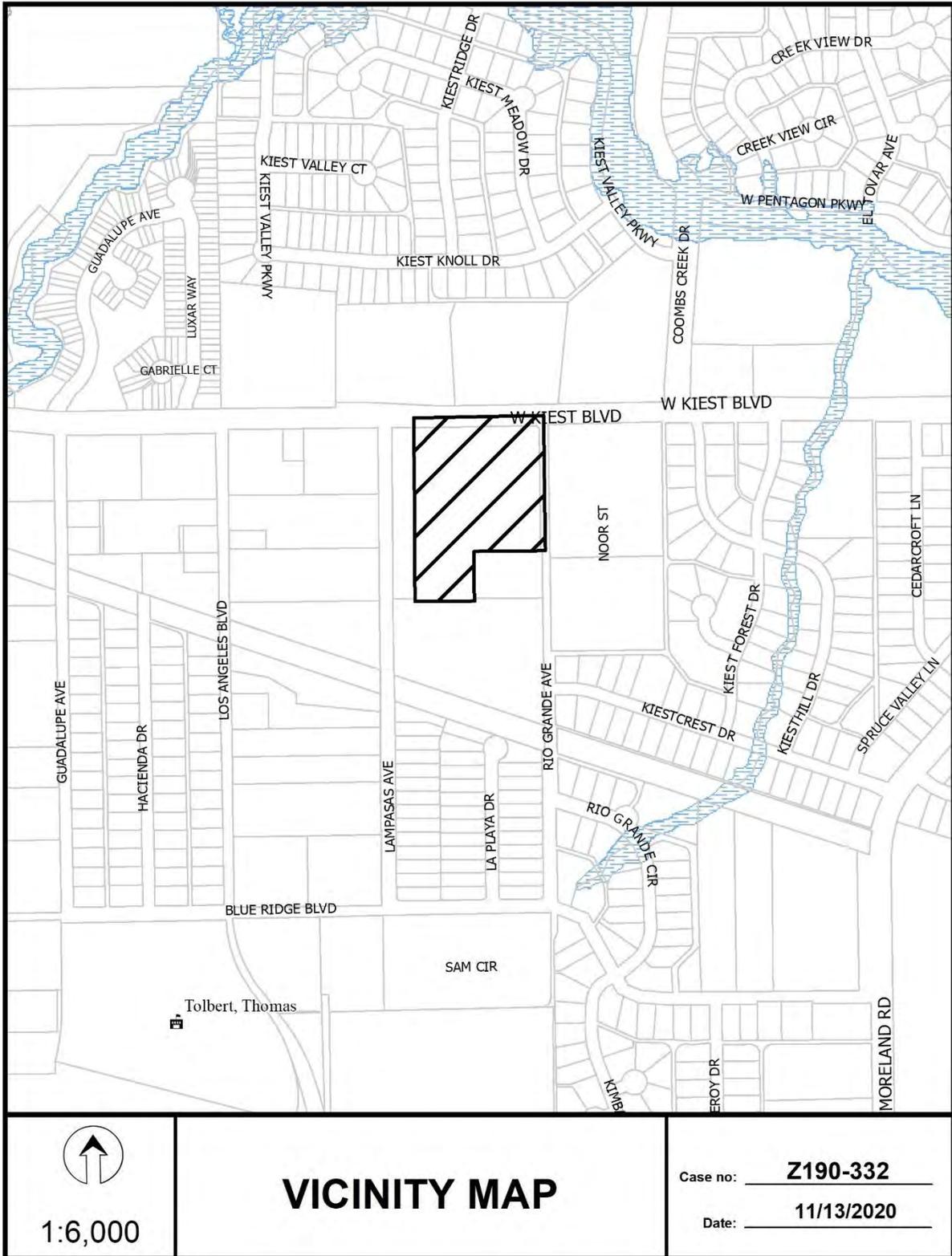
BUILDING	FLOOR	AREA (SQ FT)	VOLUME (CU FT)
BUILDING A	FIRST FLOOR	10,000	10,000
	SECOND FLOOR	10,000	20,000
	THIRD FLOOR	10,000	30,000
BUILDING B	FIRST FLOOR	5,000	5,000
	SECOND FLOOR	5,000	10,000
BUILDING C	FIRST FLOOR	20,000	20,000
	SECOND FLOOR	20,000	40,000
TOTAL		50,000	100,000

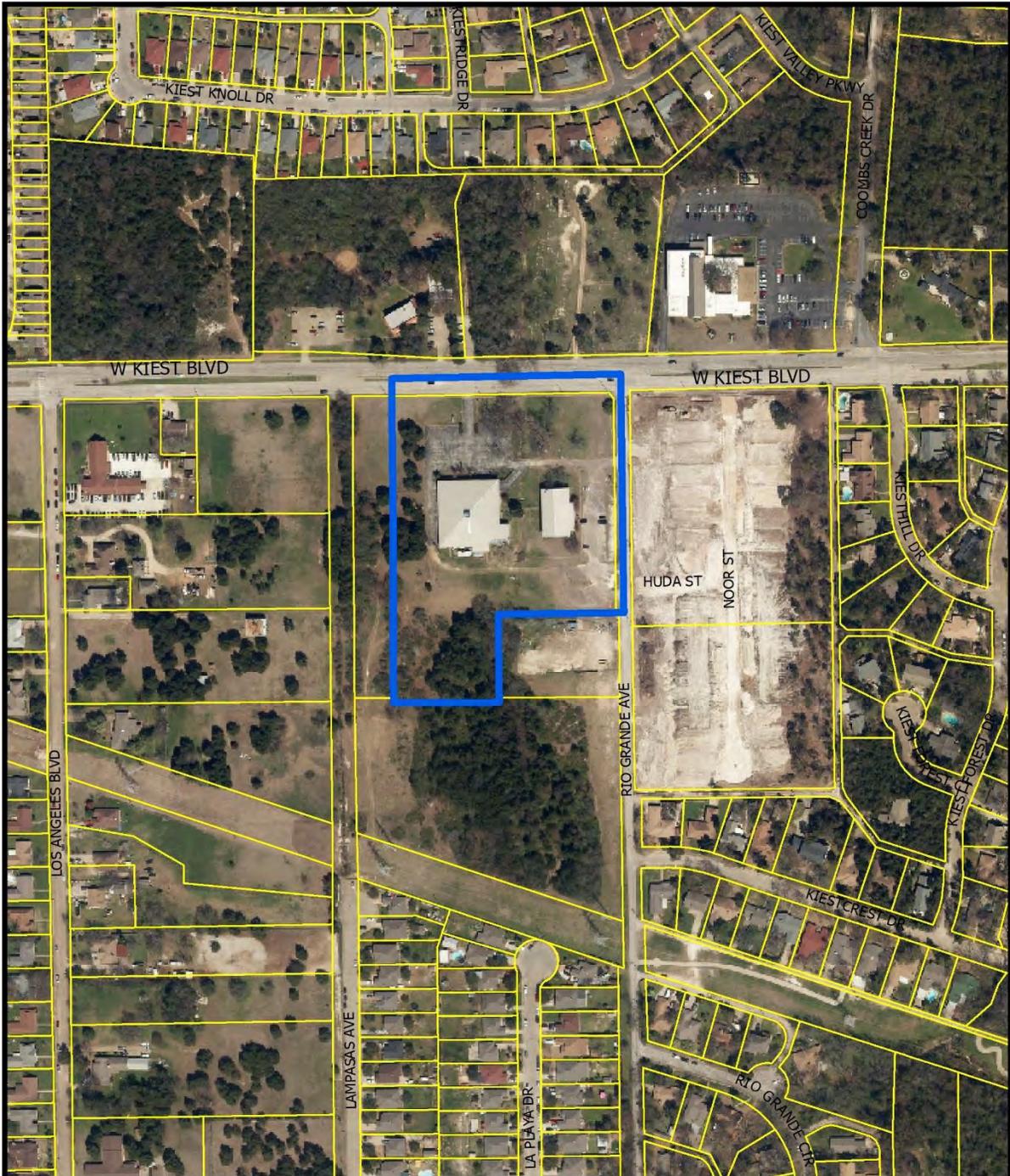
PARKING INFORMATION

TYPE	NUMBER	TOTAL
STANDARD	100	100
COMPACT	50	150
TOTAL	150	150

PROPOSED SITE PLAN (enlarged)





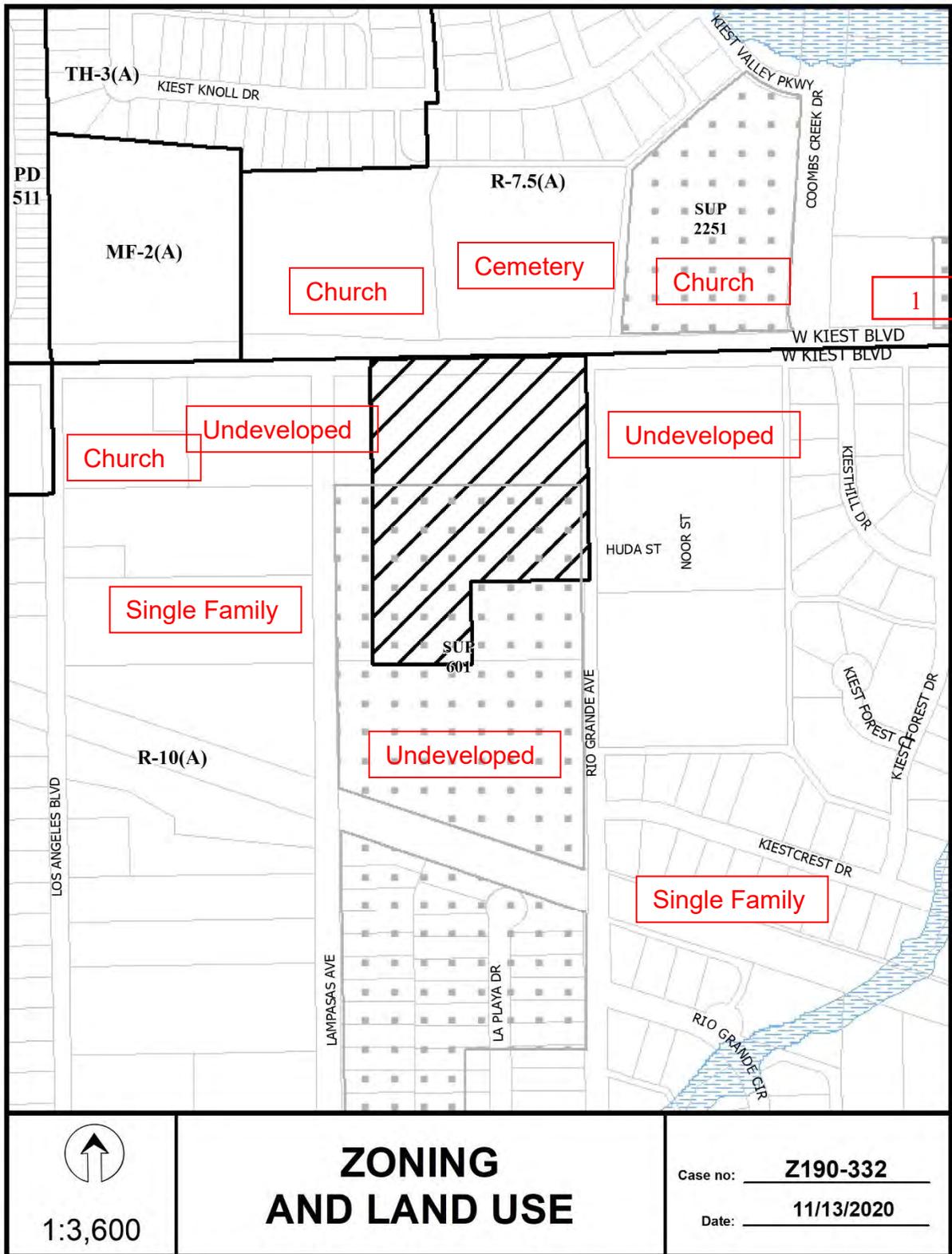


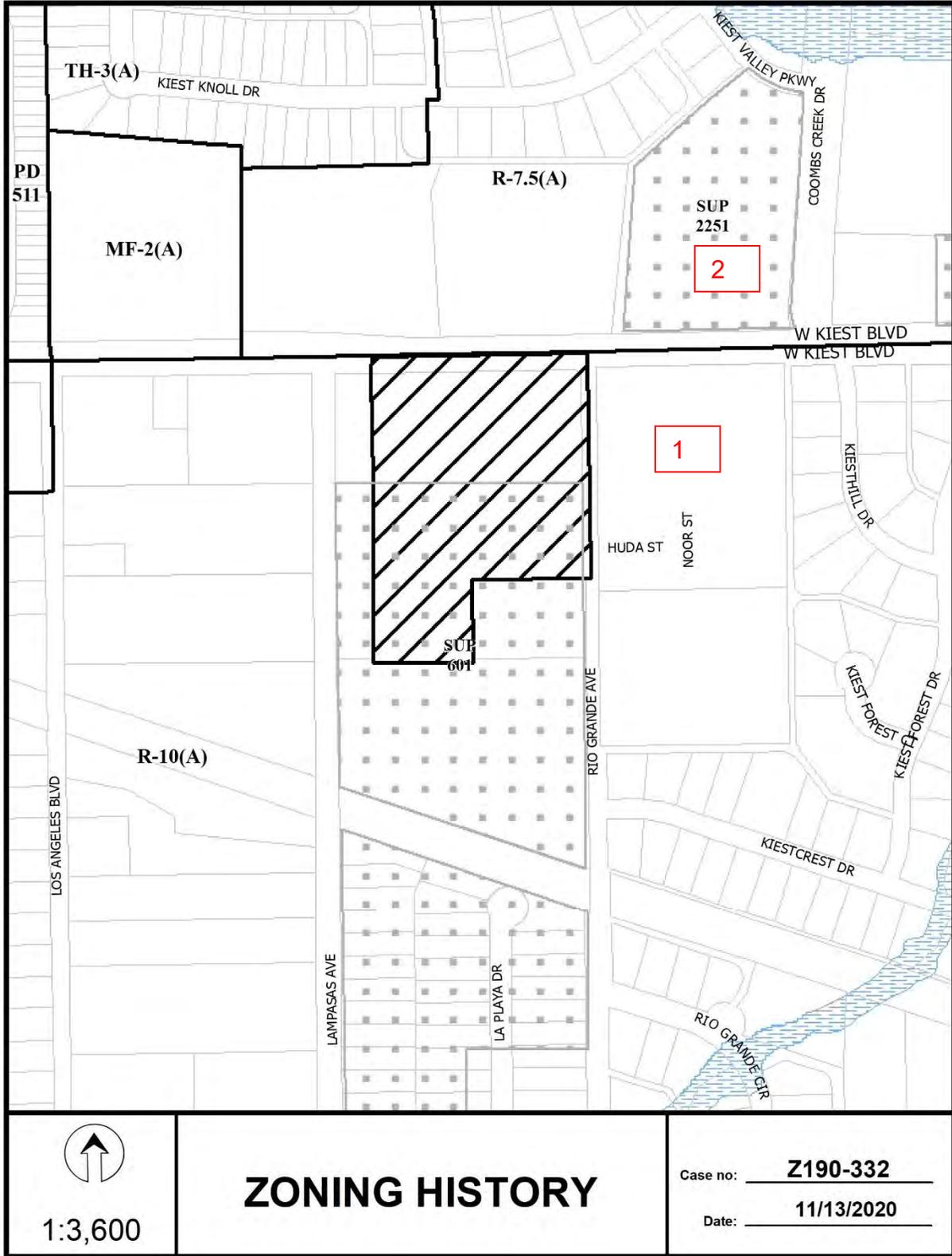
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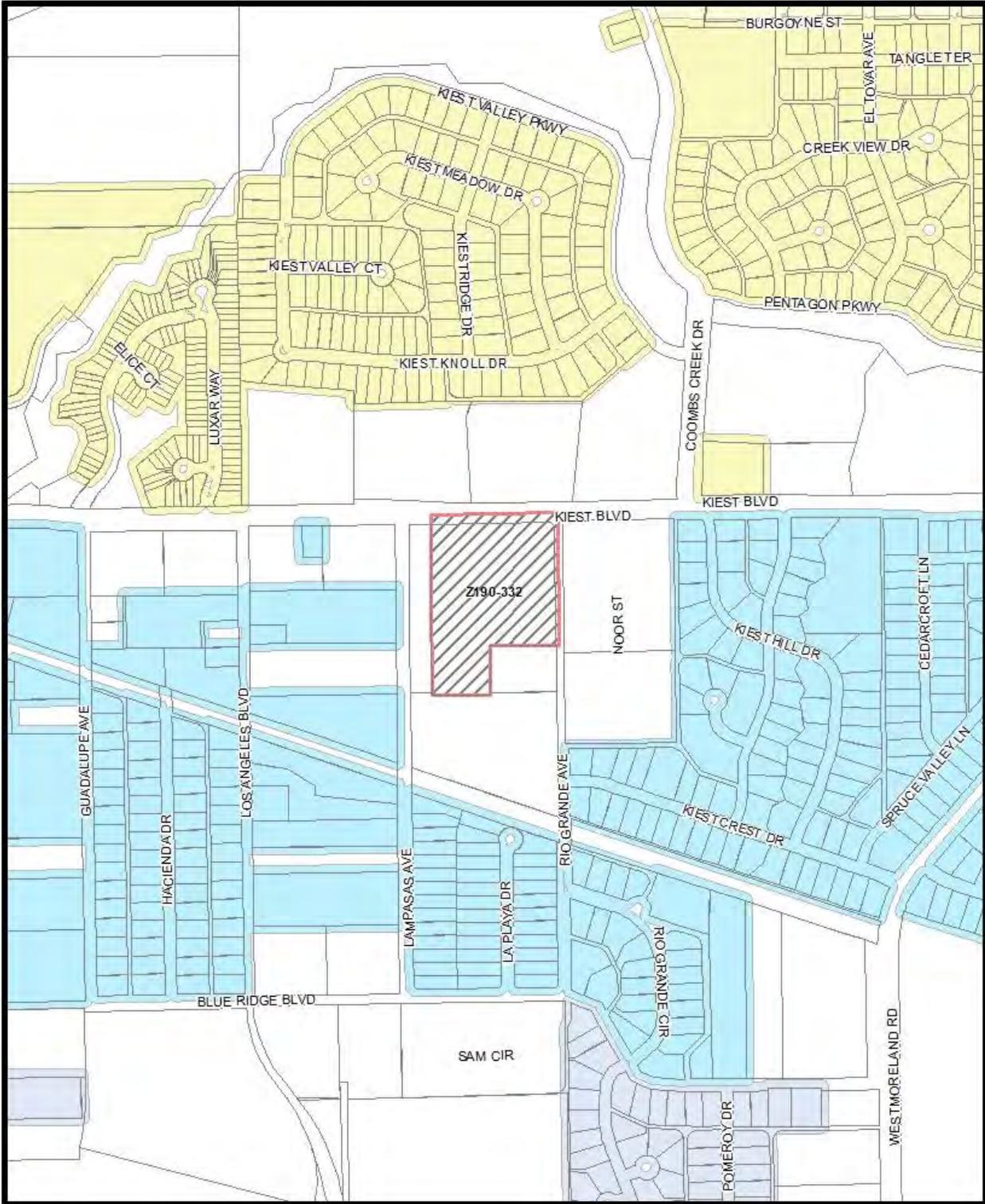
AERIAL MAP

Case no: Z190-332

Date: 11/13/2020





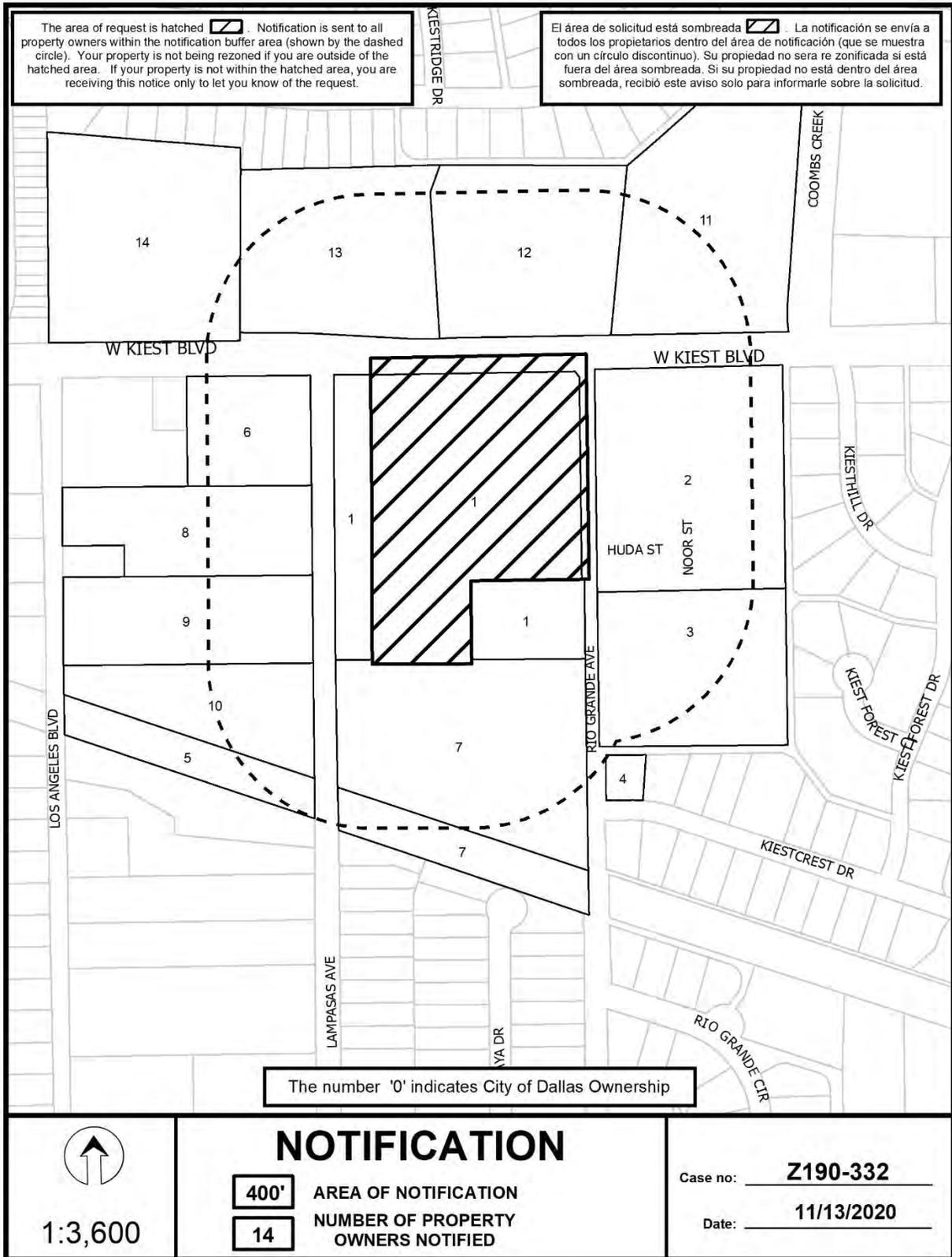


Market Value Analysis A B C D E F G H I NA

1:6,000

Market Value Analysis

Printed Date: 11/13/2020



11/13/2020

Notification List of Property Owners

Z190-332

14 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	3846 W KIEST BLVD	CENTRO CRISTIANO
2	3700 W KIEST BLVD	AAA HOME BUILDER LLC
3	3340 RIO GRANDE AVE	AAA HOME BUILDER LLC
4	3747 KIESTCREST DR	EDWARDS LINDA
5	3300 LOS ANGELES BLVD	ONCOR ELECRTIC DELIVERY COMPANY
6	3922 W KIEST BLVD	FLORES JOSE MANUEL &
7	3846 W KIEST BLVD	CHURCH OF GOD OF PROPHECY
8	3224 LOS ANGELES BLVD	VIDALES JUAN & EMERIA
9	3314 LOS ANGELES BLVD	LAVENDER CALVIN
10	3320 LOS ANGELES BLVD	DEROSSETT BOBBIE
11	3727 W KIEST BLVD	NEW LIFE BIBLE FELLOWSHIP OF DALLAS
12	3801 W KIEST BLVD	FIVE MILE CEMETERY
13	3839 W KIEST BLVD	UNITARIAN UNIVERSALIST CHURCH OAK CLIFF
14	3915 W KIEST BLVD	JKW TRUST

FILE NUMBER: Z190-327(JK) **DATE FILED:** August 6, 2020

LOCATION: West line of McCree Road, north of East Northwest Highway

COUNCIL DISTRICT: 9 **MAPSCO:** 28 Z

SIZE OF REQUEST: Approx. 3.219 acres **CENSUS TRACT:** 130.10

**REPRESENTATIVE/
APPLICANT:** Jay Woo, Club Azul

OWNER: Club Azul, Inc.

REQUEST: An application for a renewal of Specific Use Permit No. 2294 for an alcoholic beverage establishment limited to a private club-bar and a commercial amusement (inside) limited to a dance hall on property zoned a CS Commercial Service District.

SUMMARY: The applicant's request is to construct a 22,170-square-foot, two-story structure for on premise alcohol consumption and entertainment purposes with 236 surface parking spaces provided on site. The facility is planned to include a 2,800-square-foot dance floor.

STAFF RECOMMENDATION: Approval for a two-year period, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The current site is undeveloped.
- The applicant requests to renew Specific Use Permit No. 2294 to allow for the construction of a two-story, 22,170 square foot private-club bar. The private club bar is also proposed to have a 2,800-square foot dance floor. No changes are being proposed to the approved site plan
- Special Use Permit No. 2294 was approved by City Council August 8, 2018 for a two-year period.
- The applicant indicated construction on the property has not started due to financial reasons.

Zoning History: There have not been any zoning cases in the area over the past five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	ROW
McCree Road	Local	60 ft.
E. Northwest Highway	Principal Arterial	107 ft.

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed development will not have a negative impact on the surrounding street system.

COMPREHENSIVE PLAN:

The fowardDallas! Comprehensive Plan was adopted by the City Council in June 2006. The fowardDallas! Comprehensive Plan outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request. The request does not support or obstruct the Plan's goals or policies.

Economic Element

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

GOAL 2.4 CREATE AND MAINTAIN AN ENVIRONMENT FRIENDLY TO BUSINESSES AND ENTREPRENEURS

Policy 2.4.2 Restore Dallas as the premier city for conducting business within the region

STAFF ANALYSIS:

Surrounding Land Uses:

	Zoning	Land Use
Site	CS; SUP No. 2294	Undeveloped
North	CS; SUP No. 1756	General Merchandise or food store 100,000 sq. ft. or more
East	CR	Park
South	CS	Restaurants
West	CS	Vehicle or engine repair or maintenance

Land Use Compatibility:

The site is undeveloped and is adjacent to a variety of retail and restaurant uses. These land uses consist of a general merchandise or food store greater than 100,000 square feet in floor area to the north, a park and recreation field to the east, restaurants to the south, and vehicle or engine repair or maintenance use to the west.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The request does not appear to have an adverse impact on the surrounding zoning and land uses.

Z190-327(JK)

Staff supports the request for a two-year period because the request complies with all other zoning regulations and is not foreseen to be detrimental to surrounding properties. Additionally, a two-year period would require it to be re-evaluated in a short period of time.

Landscaping:

Landscaping will in accordance to the landscaping requirements in Article X, as amended.

Parking:

The off-street parking requirement for a private-club bar is one parking space per each 100 square feet of floor area. The off-street parking requirement for a dance floor is one parking space per each 25 square feet of dance floor. Dance floors also have an additional provision that does not allow them to be considered accessory uses to a main use.

The applicant has proposed a cumulative floor area of 22,170 square feet in the new building. The proposed dance floor will not exceed 2,800 square feet and the remainder of the building is 19,370 square feet. Therefore, 306 parking spaces are required per the Dallas Development Code. The applicant proposes to construct 236 parking spaces on site and will secure an additional 70 spaces through a parking agreement that complies with Division 51A-4.321 of the Dallas Development Code prior to the issuance of a building permit.

Market Value Analysis

Market Value Analysis (MVA) is a tool to aid residents and policymakers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to target intervention strategies more precisely in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). The requested site is uncategorized. The surrounding adjacent properties north, south, east, and west are also uncategorized.

Z190-327(JK)

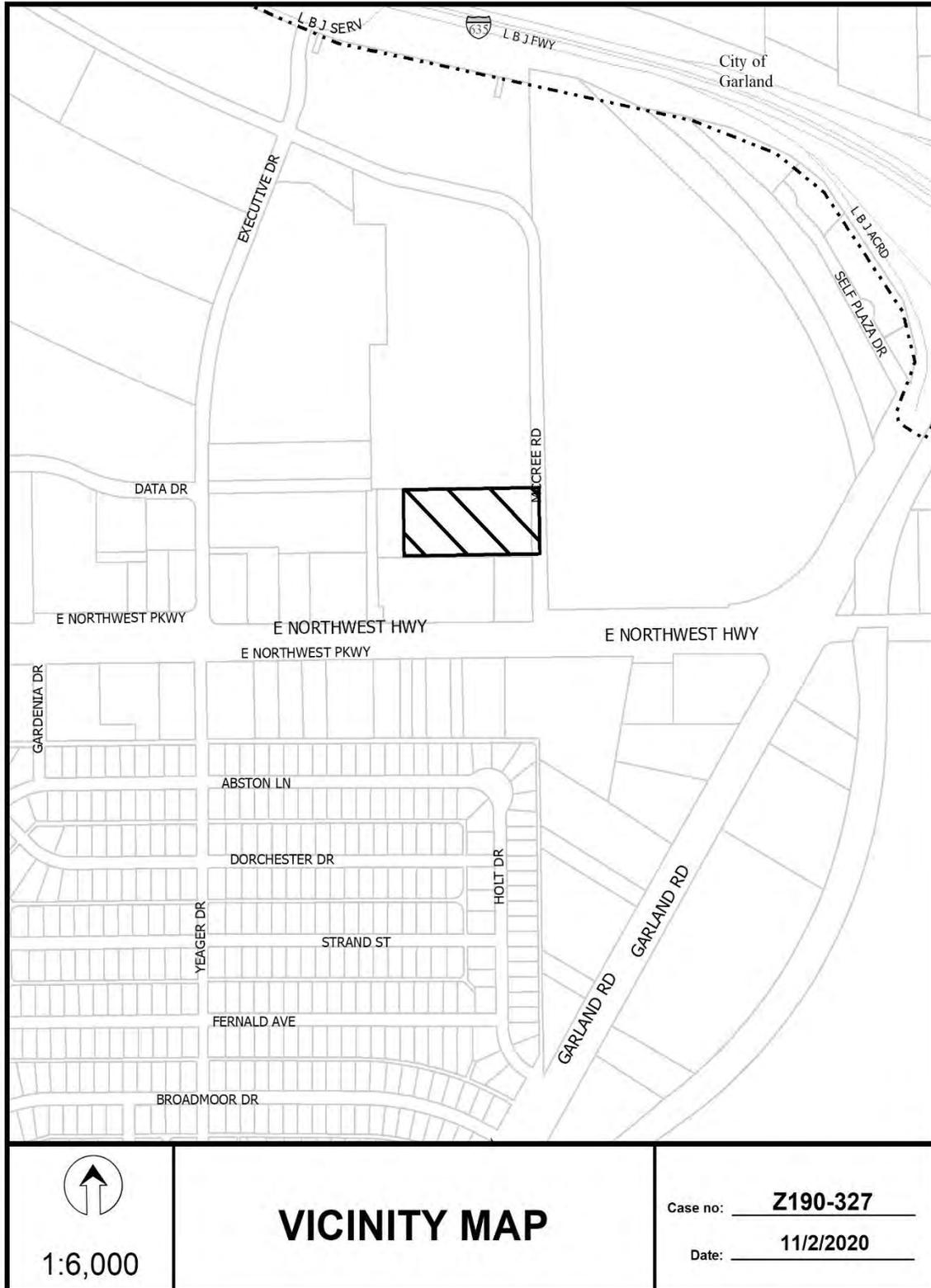
Partners

Club Azul Inc

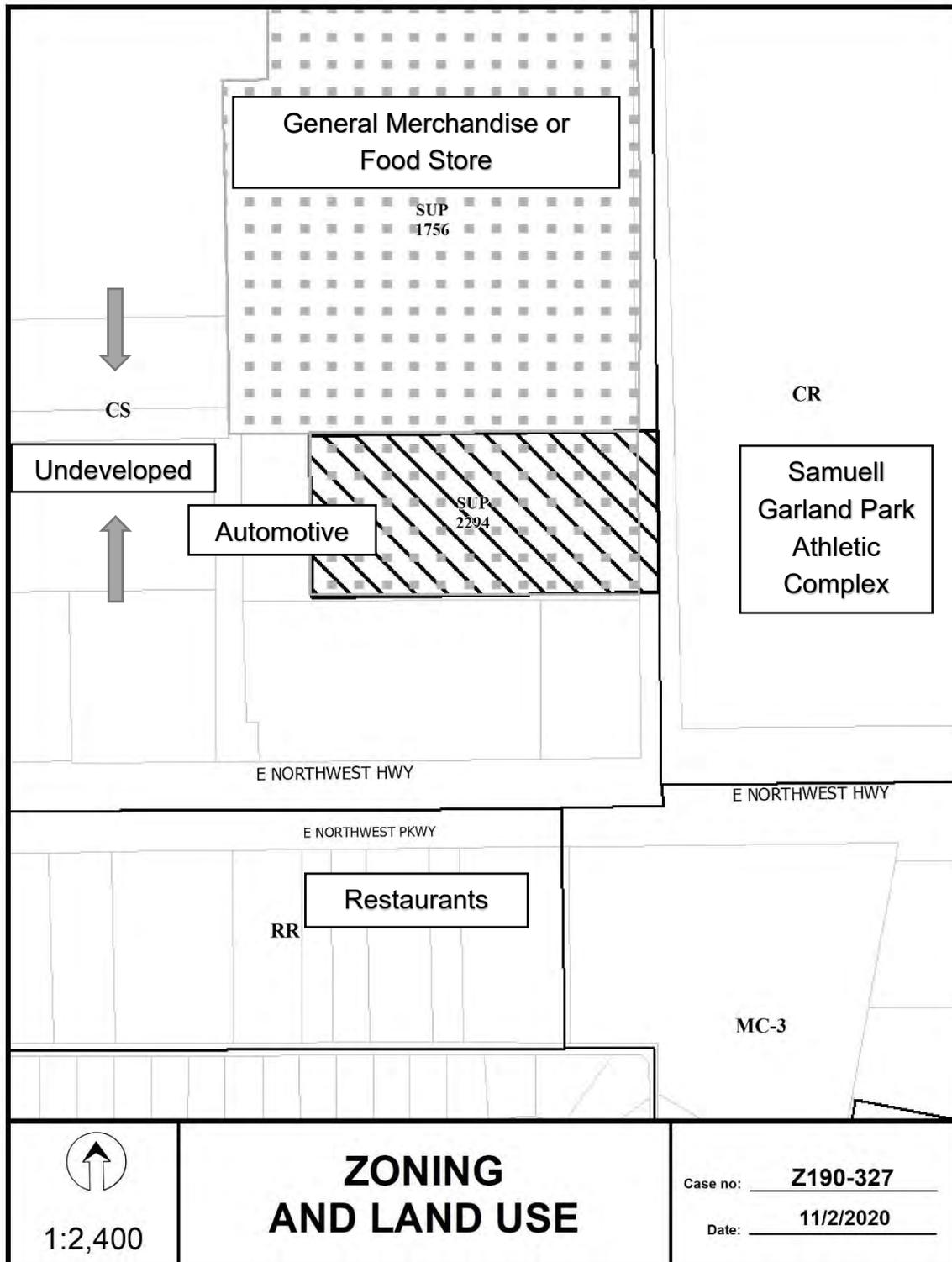
- **Mun H. Wallace**
- **Jong Hoon An**

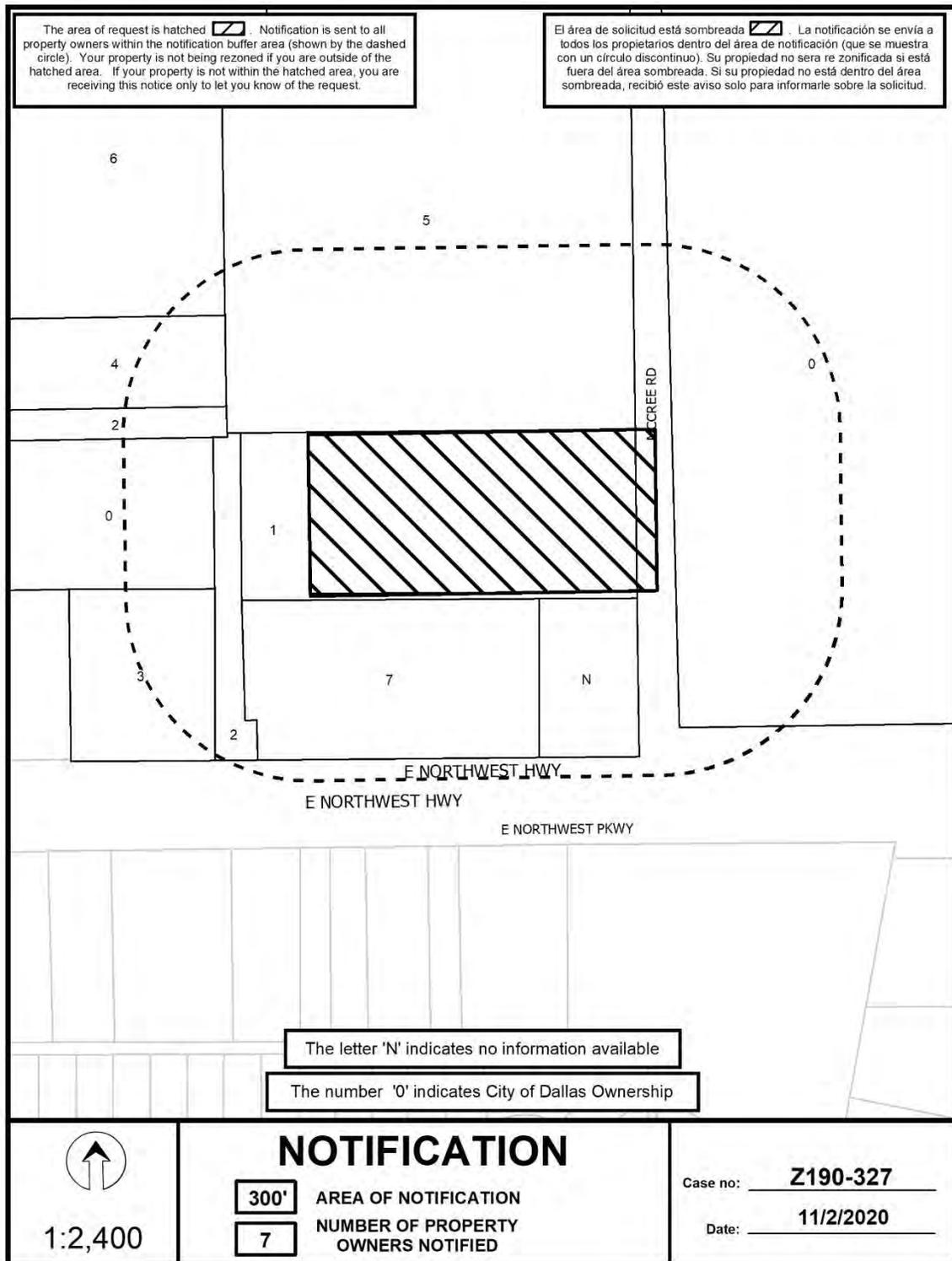
Proposed SUP Conditions

1. USE: The only use authorized by this specific use permit is an alcoholic beverage establishment limited to a private-club bar and a commercial amusement (inside) limited to a dance hall.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on ~~August 8, 2018~~ (two-year-period from the passage of this ordinance).
4. FLOOR AREA:
 - a. The maximum floor area for the private-club bar is 19,370 square feet.
 - b. The maximum floor area for the dance floor is 2,800 square feet.
5. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
6. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.









Notification List of Property Owners

Z190-327

7 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	12124 MCCREE RD	CHRISTIAN BRO AUTO CORP
2	11921 E NORTHWEST HWY	SAMS EAST INC
3	11805 E NORTHWEST HWY	DFW VENTURE NO 1
4	206 EXECUTIVE DR	FLEISHMAN MARC
5	12000 MCCREE RD	SAMS REAL ESTATE BUS TR
6	12710 EXECUTIVE DR	LAZY K LP
7	11917 E NORTHWEST HWY	COMMERCIAL NET LEASE

FILE NUMBER: Z190-339(JK)

DATE FILED: August 19, 2020

LOCATION: Northwest side of Edgemont Avenue, east of Stirling Avenue

COUNCIL DISTRICT: 4

MAPSCO: 55K

SIZE OF REQUEST: ± Approx. 0.48 acres

CENSUS TRACT: 49.00

REPRESENTATIVE/

APPLICANT/OWNER: Rene' Le Bel

REQUEST: An application for a TH-3(A) Townhouse District on property zoned an R-7.5(A) Single Family District.

SUMMARY: The purpose of the request is to allow for the development of approximately five single family units.

STAFF RECOMMENDATION: Approval.

BACKGROUND INFORMATION

- The request area is comprised of a vacant lot and is zoned an R-7.5(A) Single Family District.
- The applicant is seeking to develop the site with approximately five single family units.
- The site will need to be replatted to develop five single family units.

Zoning History

There have been no zoning requests in the surrounding area in the past five years.

Thoroughfares/Streets

Thoroughfare/Street	Type	Existing / Proposed ROW
S. Corinth Rd. (Closest road on the Thoroughfare Plan.)	Principal Arterial	100 feet Bike plan

Traffic

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS

Comprehensive Plan

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The applicant's request is consistent with the following goals and policies of the comprehensive plan.

Economic Element

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

The *Neighborhood Plus Plan*, adopted in 2015, sets policies and a new direction for housing and neighborhood revitalization in Dallas by creating a framework to guide more effective community investment through inter-agency collaboration.

Strategic Goal 5: Expand Homeownership

5.1 Encourage a wider range of well-designed and affordable housing types as a response to emerging homeownership.

5.2 Encourage infill development and existing home improvements in target neighborhoods to attract and retain homeowners.

Staff believes the proposed zoning change may help achieve some of the goals of the area plans regarding housing supply, diversity of housing types and increased density. Although the location is in the middle of an existing block, the small scale of the proposal will have a positive impact on the adjacent properties within the vicinity.

Surrounding Land Uses

	Zoning	Land Use
Site	R-7.5(A)	Undeveloped
Northeast	R-7.5(A)	Single family
Northwest	R-7.5(A)	Single family
East	R-7.5(A)	Single family
South	TH-3(A)	Single family
West	TH-3(A)	Single family

Land Use Compatibility

The area of request is currently undeveloped land and is zoned an R-7.5(A) Single Family District. The adjacent properties to the south and west are currently zoned a TH-3(A) Townhouse District. There are properties to the north and east that are zoned an R-7.5(A) Single Family District.

The applicant has not stated if there will be a shared access or if all the properties will face Edgemont Avenue. The applicant was not required to provide a site plan since it is a general zoning request. The applicant is proposing to construct approximately five units consisting of 2,000 square feet per lots. Although there are properties within the vicinity that are zoned TH-3(A) Townhouse District, the lots have been developed as larger lots

with single family homes. Regarding density, a TH-3(A) District allows up to 12 dwelling units per acre.

Staff supports the applicant’s proposal as the area is largely residential in nature. Uses allowed in the current zoning district and the proposed zoning district are very similar in nature. The site will continue the residential nature of the area and extend the adjacent zoning of TH-3(A) Townhouse District. Single family homes are located within the vicinity of the proposed site.

Development Standards

<u>DISTRICT</u>	SETBACKS		Density	Height	Lot Coverage	Primary Uses
	Front	Side/Rear				
Existing: R-7.5(A) Residential	25'	5' adjacent to residential OTHER: 10'	1 Dwelling Unit/ 7,500 Sq. ft	30' No Maximum Stories	45% for residential structures 25% for nonresidential structures	Residential
Proposed: TH-3(A) Townhouse	No Minimum	No Minimum side and rear yard for single family structures	12 Dwelling Units/Acre	36' No Maximum Stories	60% for residential structures 25% for nonresidential structures	Residential

Parking

Pursuant to the Dallas Development Code, off-street parking must be provided in accordance with Division 51A-4.200. The code requires one space per dwelling unit in the TH-3(A) District.

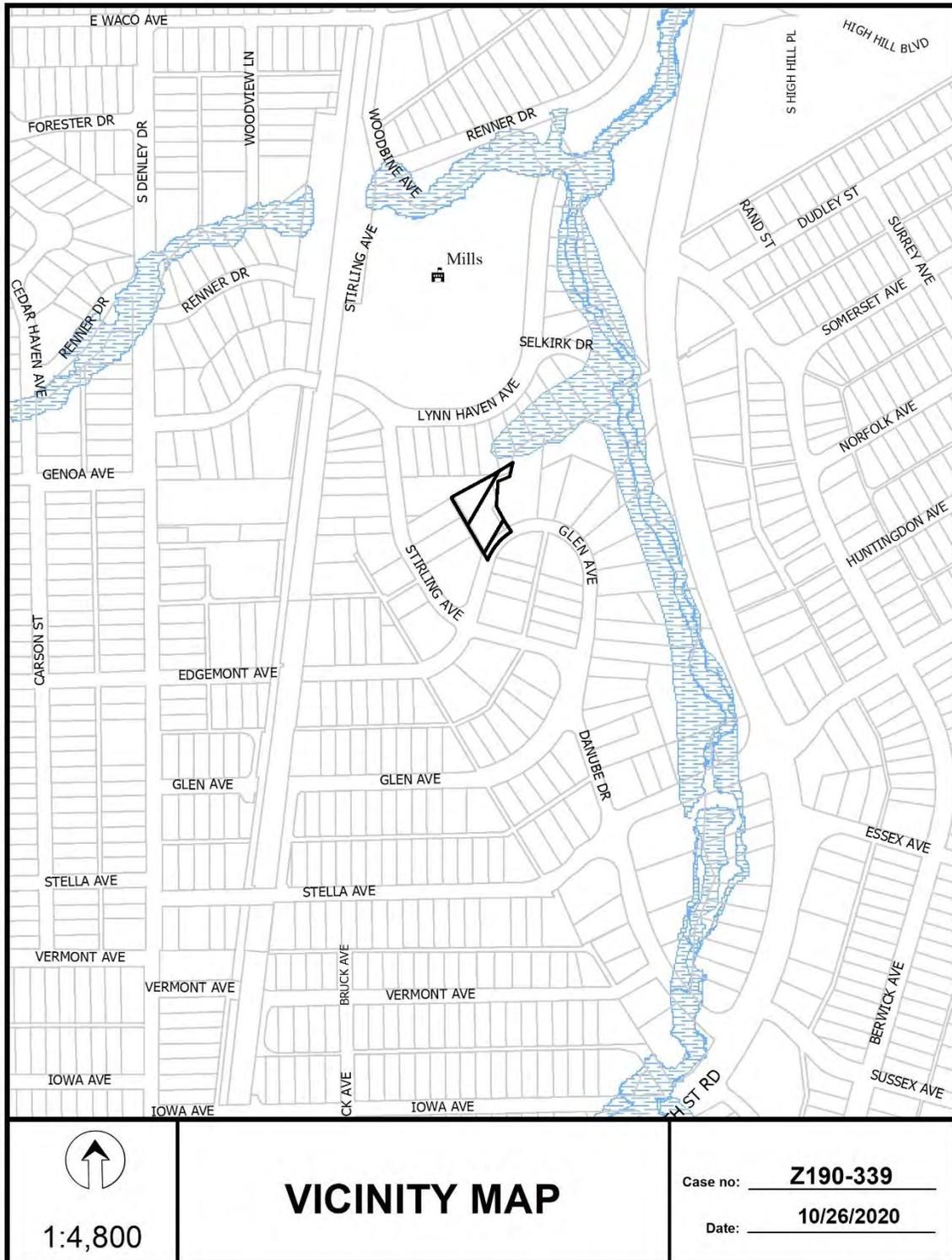
Landscaping

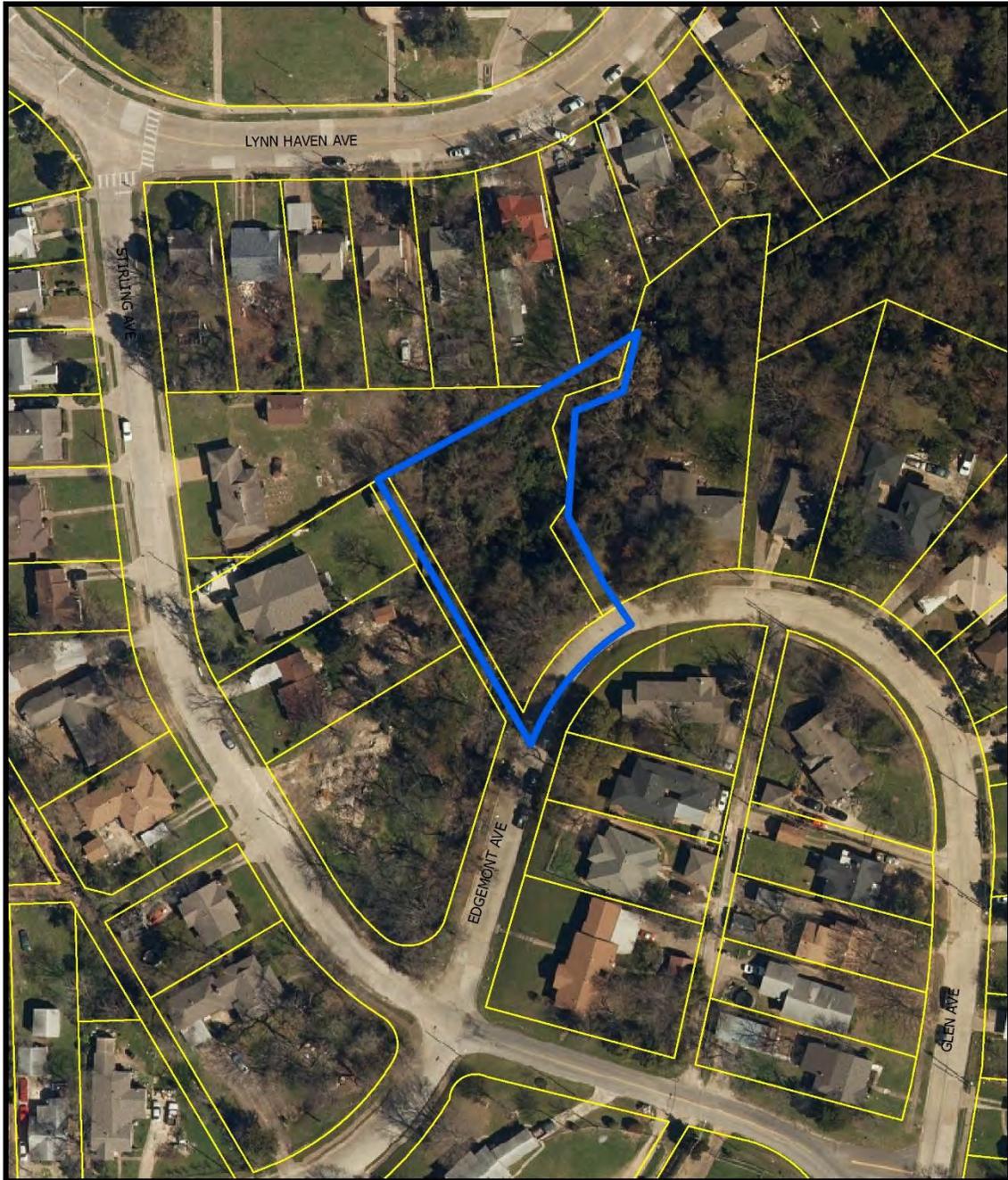
Landscaping must be provided in accordance with the landscaping requirements in Article X, as amended.

Market Value Analysis

Market Value Analysis (MVA) is a tool to aid residents and policymakers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to target intervention strategies more precisely in weak markets

and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). The request site is located within "H" MVA in part with in a non-categorized area. Adjacent to the site north south east and west are within Category H. Further north, southwest, and further east is non-categorized. Category "H" is further east is in the request area.



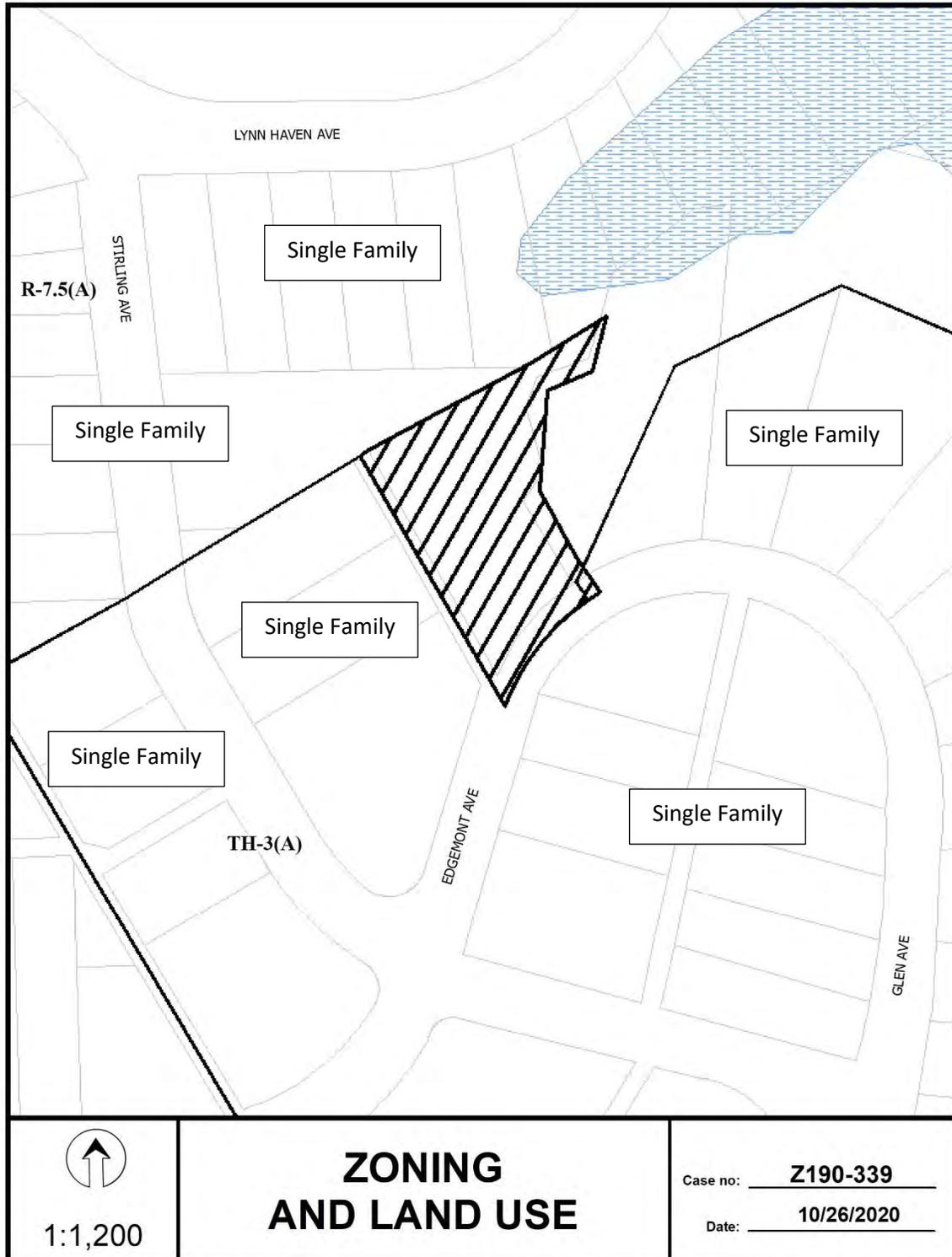


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AERIAL MAP

Case no: Z190-339

Date: 10/26/2020

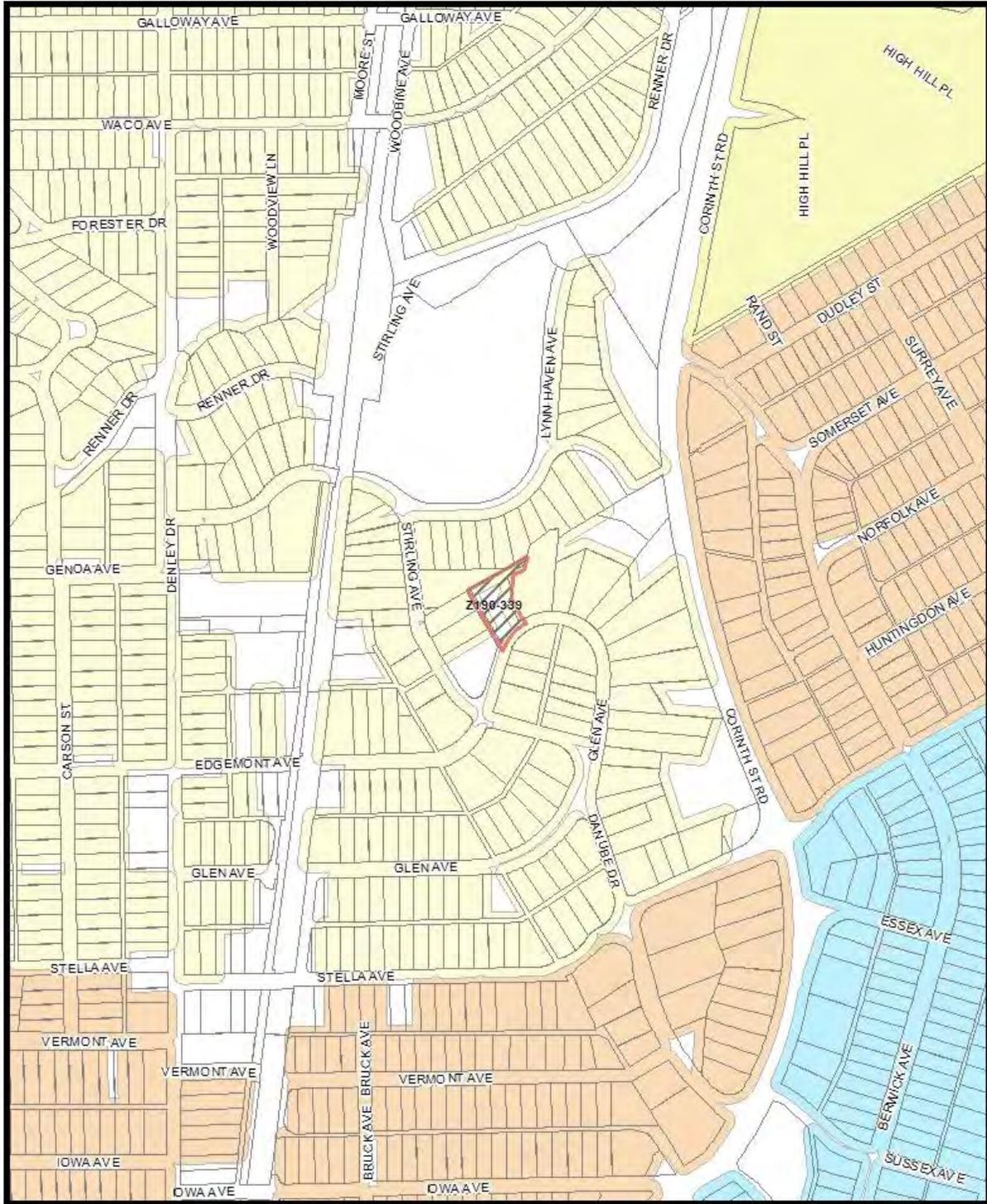


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ZONING AND LAND USE

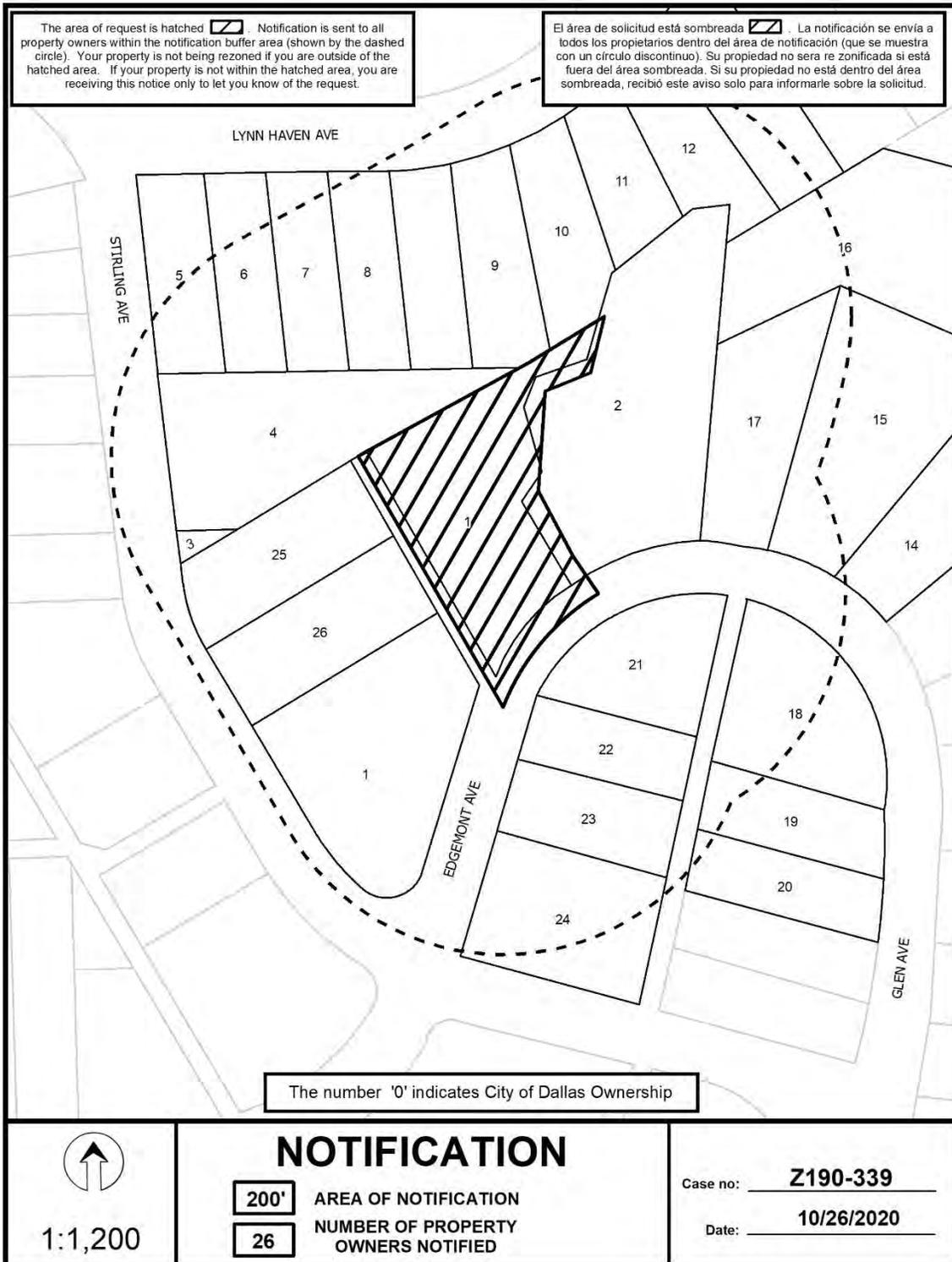
Case no: Z190-339

Date: 10/26/2020



Market Value Analysis

Printed Date: 11/20/2020



11/20/2020

Notification List of Property Owners***Z190-339******26 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1627 EDGEMONT AVE	BEL RENE LE
2	1631 EDGEMONT AVE	BLAIR DAWN M
3	1428 STIRLING AVE	TEXAS STATE OF
4	1414 STIRLING AVE	BARRON CONSTANCE
5	1500 LYNN HAVEN AVE	BURNS TRACY
6	1506 LYNN HAVEN AVE	RODRIGUEZ VERONICA & ERNESTO
7	1508 LYNN HAVEN AVE	BOOKMAN CONSTANCE
8	1514 LYNN HAVEN AVE	MANJREKAR ASHISH
9	1522 LYNN HAVEN AVE	MARTINEZ VALENTE & SILVIA
10	1526 LYNN HAVEN AVE	MARTINEZ SILVIA
11	1530 LYNN HAVEN AVE	MARTINEZ VALENTE J &
12	1534 LYNN HAVEN AVE	BRUNER GENEVA
13	1538 LYNN HAVEN AVE	TILLMAN FLORINE
14	1636 GLEN AVE	BOOKER MARIE
15	1640 GLEN AVE	JENKINS BARBARA JEAN
16	1331 CORINTH ST	THOMAS BENJAMIN ESTATE OF &
17	1641 EDGEMONT AVE	WEBBER MAE PEARL
18	1621 GLEN AVE	CARTER LONNIE T
19	1617 GLEN AVE	JONES IMAN
20	1611 GLEN AVE	SPEARS HELEN FRANCES
21	1618 EDGEMONT AVE	COLEMAN DIONDRA
22	1614 EDGEMONT AVE	HART MICHEL & JERRY SIMS
23	1610 EDGEMONT AVE	MARTINEZ VALENTE
24	1602 EDGEMONT AVE	DAVIS JANNIE EARLINE
25	1432 STIRLING AVE	PEREZ JUANITA &
26	1440 STIRLING AVE	GRAY CYNTHIA ANN

FILE NUMBER: Z190-312(PD)

DATE FILED: July 17, 2020

LOCATION: North corner of Ann Avenue and Parry Avenue

COUNCIL DISTRICT: 2

MAPSCO: 46 K

SIZE OF REQUEST: ± .77 acres

CENSUS TRACT: 25.00

REPRESENTATIVE: Rob Baldwin, Baldwin Associates

OWNER/APPLICANT: Jubilee Park Clinic Holdings, LLC

REQUEST: An application for a Planned Development District for a CS Commercial Service District on property zoned a CS Commercial Service District.

SUMMARY: The request seeks to construct a 15,041 square foot medical office use that will deviate from the off-street parking requirement. The Development Code requires an off-street parking ratio of one space per 200 square feet of floor area while the request seeks to provide an off-street parking ratio of one space per 310 square feet of floor area.

STAFF RECOMMENDATION: Approval, subject to a development plan and staff's recommended conditions.

BACKGROUND INFORMATION:

- The request site consists of five undeveloped parcels and has never been developed.
- The request seeks to construct a 15,041 square foot medical office use that will deviate from the off-street parking requirement. The Development Code requires an off-street parking ratio of one space per 200 square feet of floor area while the request seeks to provide an off-street parking ratio of one space per 310 square feet of floor area.

Zoning History: There have been no zoning change requests in the area within the last five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
Ann Avenue	Local Collector	30 ft.
Parry Avenue	Minor Arterial	60 ft.

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the proposed request and has determined that the request will have no impact on the adjacent roadway system.

STAFF ANALYSIS:

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

In general, the applicant’s request is consistent with the following goal and policy of the Comprehensive Plan.

ECONOMIC ELEMENT

GOAL 2.5 FOSTER A CITY OF GREAT NEIGHBORHOODS

- Policy 2.5.1 Promote strong and distinctive neighborhoods to enhance Dallas’ quality of life.

Implementation measure 2.5.1.2 recommends supporting efforts to maintain distinctive identities of existing neighborhoods and ensure high-quality development of new neighborhoods. The applicant’s request provides standards to ensure the proposed development will be compatible with the surrounding residential neighborhoods.

URBAN DESIGN ELEMENT

GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY

Policy 5.2.1 Maintain neighborhood scale and character.

Land Use:

	Zoning	Land Use
Site	CS	Undeveloped
North	CS	Single family
Northeast	CS	Auto-related
East	CS	Retail & personal service
Southeast	PD No. 486	Community service center
South	CS	Single family
West	CS	Undeveloped
Northwest	CS	Multifamily

Land Use Compatibility:

The request site is undeveloped and zoned a CS Commercial Service District.

The property is surrounded by single family uses to the north across Ann Avenue and south across Parry Avenue, auto-related and retail and personal service uses to the northeast and east, undeveloped tracts to the west, a multifamily use to the northwest and a community service center use tot the southeast.

The request seeks to create a Planned Development District to construct a 15,041 square foot medical office use that will deviate from the off-street parking requirement. The Development Code requires an off-street parking ratio of one space per 200 square feet of floor area while the request seeks to provide an off-street parking ratio of one space per 310 square feet of floor area. Additionally, the request seeks to define a community medical clinic use. The proposed use will provide a combination of both community service center and medical office type services that the Development Code does not provide or define.

Based on surrounding residential development, the proximity of the request site immediately adjacent to the Jubilee Park, the community center, and a rail line along Parry Avenue to the south, staff believes the request for the proposed two-story medical clinic use will serve the need for accessible and affordable medical care to the surrounding neighborhood. Additionally, the proposed design standards will integrate the use into the existing neighborhood and support its continued growth. These design standards consist of providing a public entrance on Ann Avenue, pedestrian amenities along Parry Avenue, pedestrian driveway crossings at each driveway and sidewalk intersection, six-foot sidewalks, surface parking within the rear of the structure, and surface parking screening.

Parking:

The Development Code requires an off-street parking ratio for a medical office use of one space per 200 square feet of floor area. However, the request is seeking a parking ratio of one space per 310 square feet of floor area for the medical office use. The 15,041 square foot site would require 75 off-street parking spaces. However, 49 spaces are provided which nets a total reduction of a third of the requirement. While the Engineering Division supports the deviation from the off-street parking requirement, the Division does not support approving a deviation from the ratio of one space per 300 square foot for a medical clinic or ambulatory surgical center use. Rather the Division believes the 33 percent reduction is adequate based on location and proximity to public transit.

Landscaping:

Landscaping will comply with Article X, as amended.

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The subject site is not within an identifiable MVA category. However, the subject site is adjacent to an F” MVA category to the west and north across Ann Avenue, and south, across Parry Avenue.

List of Partners

Jubilee Park Clinic Holdings, LLC

David Martin, Board Chair

Will Snyder, Vice Chair

Ben Leal, President & CEO

Grady Schleier, Vice President & Treasurer

Stewart Thomas, Vice President & Secretary

Kristy Romo, Assistant Treasurer

PROPOSED CONDITIONS

ARTICLE _____.

PD _____.

SEC. 51P-____.101. LEGISLATIVE HISTORY.

PD ____ was established by Ordinance No. _____, passed by the Dallas City Council on _____.

SEC. 51P- ____ .102. PROPERTY LOCATION AND SIZE.

PD _____ is established on property located at the northwest corner of Ann Street and Perry Street. The size of PD _____ is approximately _____ acres.

SEC. 51P- ____ .103. DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51A apply to this article.

(b) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51A.

(1) COMMUNITY MEDICAL CLINIC means a facility for examining, consulting with, and treating patients with medical, dental, or optical problems on an out-patient basis, in combination with providing social services including but not limited to job training, counselling, and healthcare education to the community.

(c) This district is considered to be a nonresidential zoning district.

SEC. 51P- ____ .104. EXHIBIT.

The following exhibit is incorporated into this article:

(1) Exhibit ____A: development plan.

SEC. 51P- ____ .105. DEVELOPMENT PLAN.

Development and use of the Property must comply with the development plan (Exhibit ____). If there is a conflict between the text of this article and the development plan, the text of this article controls.

SEC. 51P- _____.106. MAIN USES PERMITTED.

(a) Except as provided, the only main uses permitted are those main uses permitted in the CS Commercial Service District, subject to the same conditions applicable in the CS Commercial Service District, as set out in Chapter 51A. For example, a use permitted in the CS Commercial Service District only by specific use permit (SUP) is permitted in this district only by SUP; a use subject to development impact review (DIR) in the CS Commercial Service District is subject to DIR in this district; etc.

(b) A community medical clinic is a permitted use.

SEC. 51P- _____.107. ACCESSORY USES.

As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.

SEC. 51P- _____.108. YARD, LOT, AND SPACE REGULATIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Division 51A-4.400. If there is a conflict between this section and Division 51A-4.400, this section controls.)

The yard, lot, and space regulations for the CS Commercial Service District apply.

SEC. 51P- _____.109. OFF-STREET PARKING AND LOADING.

(a) In general. Except as provided, consult the use regulations in Division 51A-4.200 for the specific off-street parking and loading requirements for each use.

(b) Community medical clinic. For a community medical clinic, a minimum of one space per 310 square feet of floor area is required.

SEC. 51P- _____.110. ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI.

SEC. 51P- _____.111. LANDSCAPING.

(a) Landscaping must be provided in accordance with Article X.

- (b) Plant materials must be maintained in a healthy, growing condition.

SEC. 51P- ____ .112. SIGNS.

Signs must comply with the provisions for business zoning districts in Article VII.

SEC. 51P- ____ .113. DESIGN STANDARDS.

(a) Purpose. The following design standards are intended to provide enhanced walkability and urban design requirements to support the growth of the urban neighborhood.

- (1) Entrances. One public entrance is required facing Ann Avenue.
- (2) Pedestrian amenities. The following pedestrian amenities are required along the Parry Avenue frontage.
 - (A) Two benches.
 - (B) One trash can.
 - (C) Bicycle rack for at least five bicycles. This bicycle rack may count towards the minimum bicycle parking requirements.
- (3) Pedestrian driveway crossings. At each driveway and sidewalk intersection, driveways must be clearly marked by colored concrete, patterned or stamped concrete, or brick pavers for pedestrian crossing.
- (4) Sidewalks.
 - (A) Minimum sidewalk width of six feet is required.
 - (B) Sidewalks are encouraged to be continuous and level across all driveways and curb cuts and designed to be at the same grade as the existing sidewalk, subject to approval of the Director.
- (5) Surface parking setback. Surface parking must be setback a minimum of 15 feet from the front property line.
- (6) Surface parking screening. Surface parking must be screened from the right-of-way by landscaping in accordance with Article X. This requirement may count towards Article X design points.
- (7) Screening fence. A minimum six-foot solid screening fence must be provided on the west property line as shown on the development plan.

SEC. 51P- ____ .114. ADDITIONAL PROVISIONS.

(a) The Property must be properly maintained in a state of good repair and neat appearance.

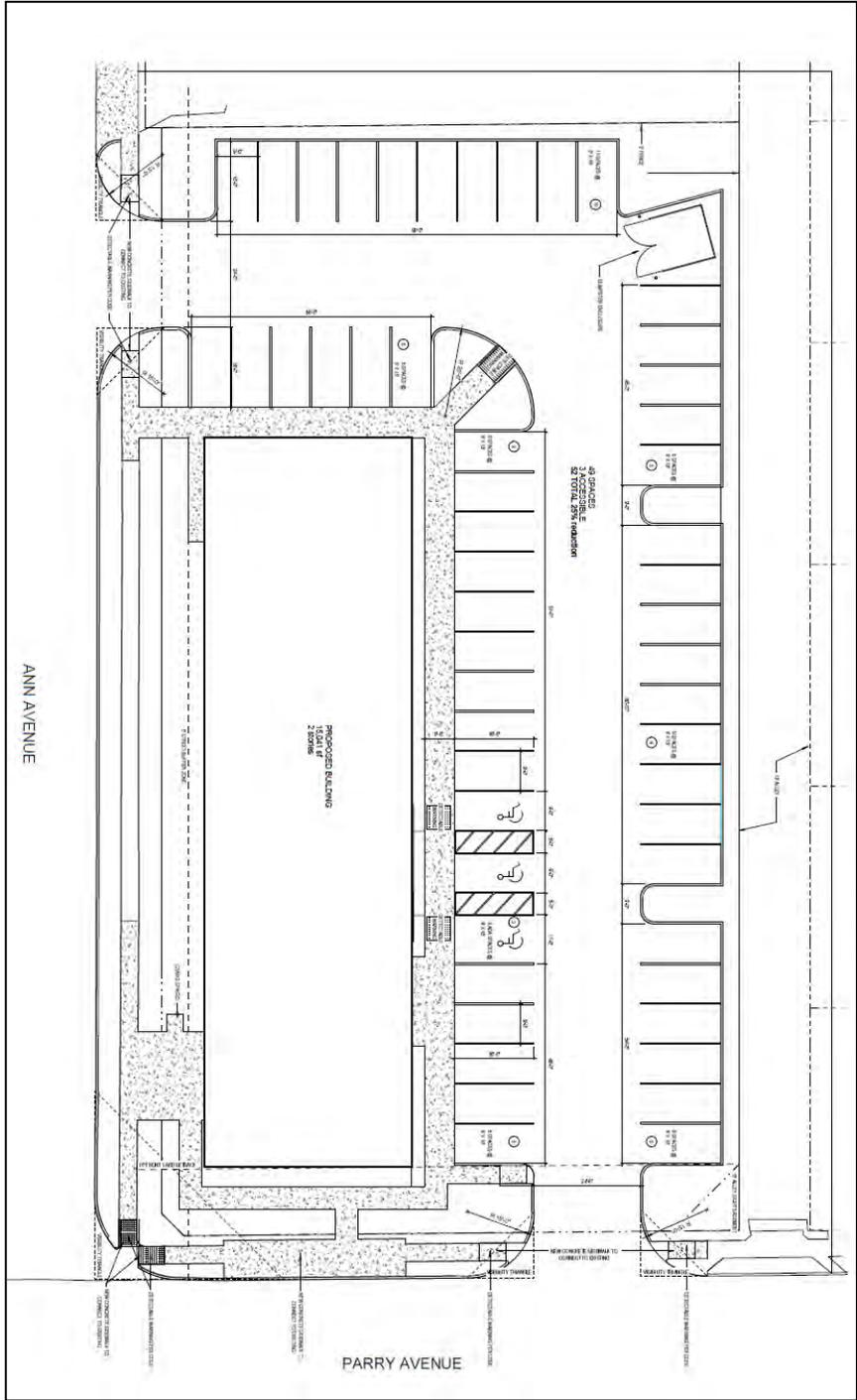
(b) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.

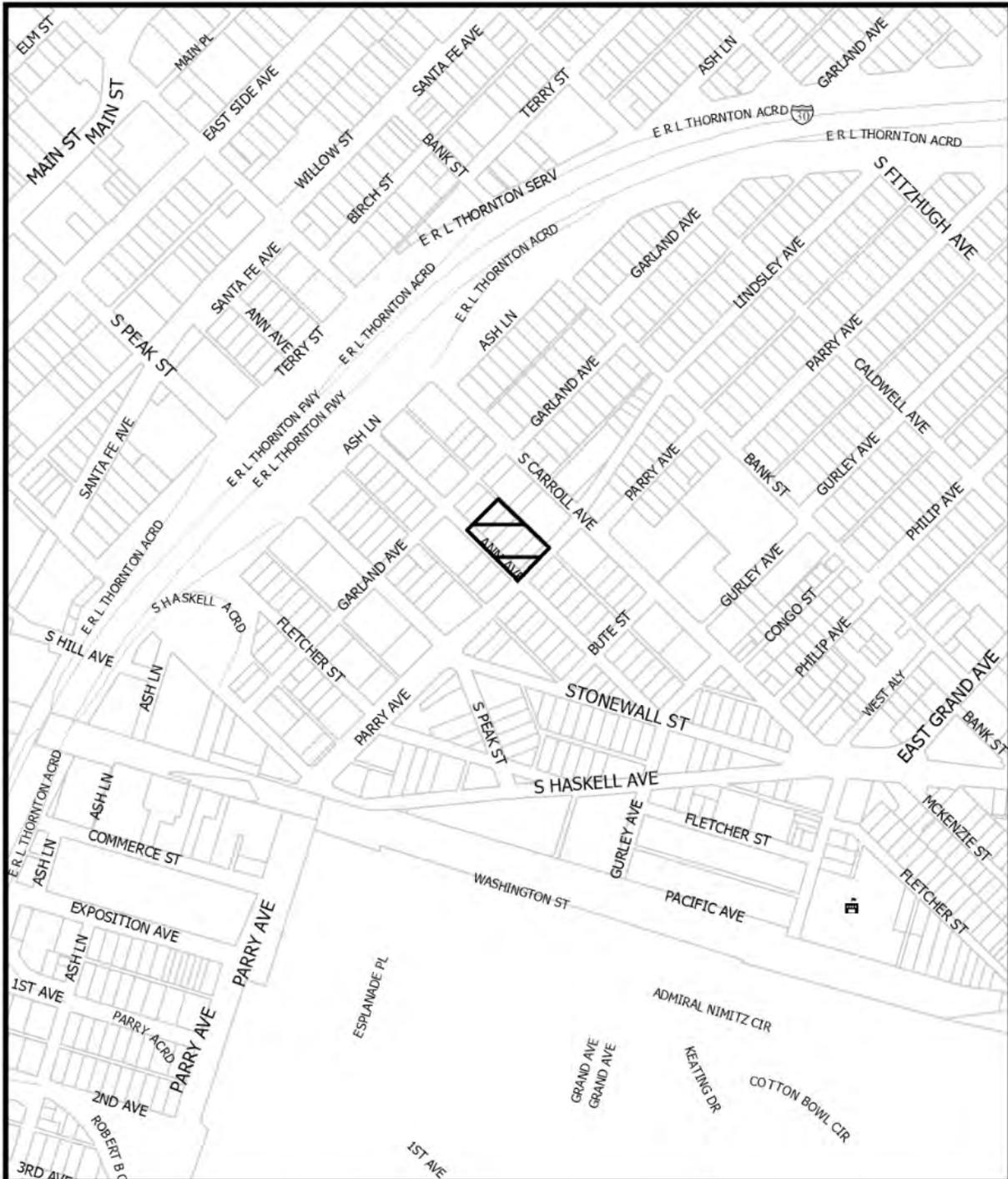
SEC. 51P- ____ .115. COMPLIANCE WITH CONDITIONS.

(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the city.

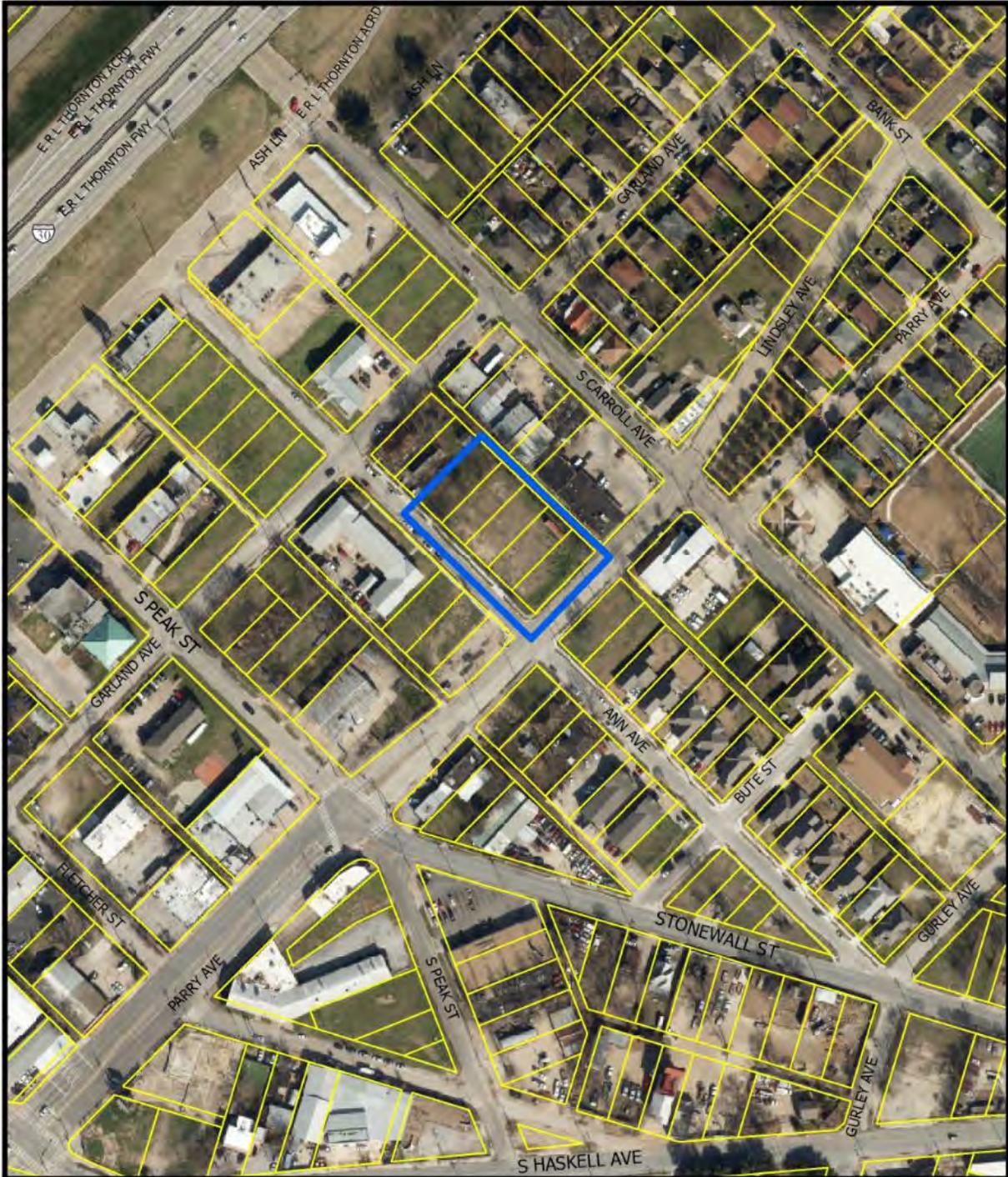
(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

PROPOSED DEVELOPMENT PLAN





 1:6,000	<h2>VICINITY MAP</h2>	Case no: <u> Z190-312 </u> Date: <u> 11/2/2020 </u>
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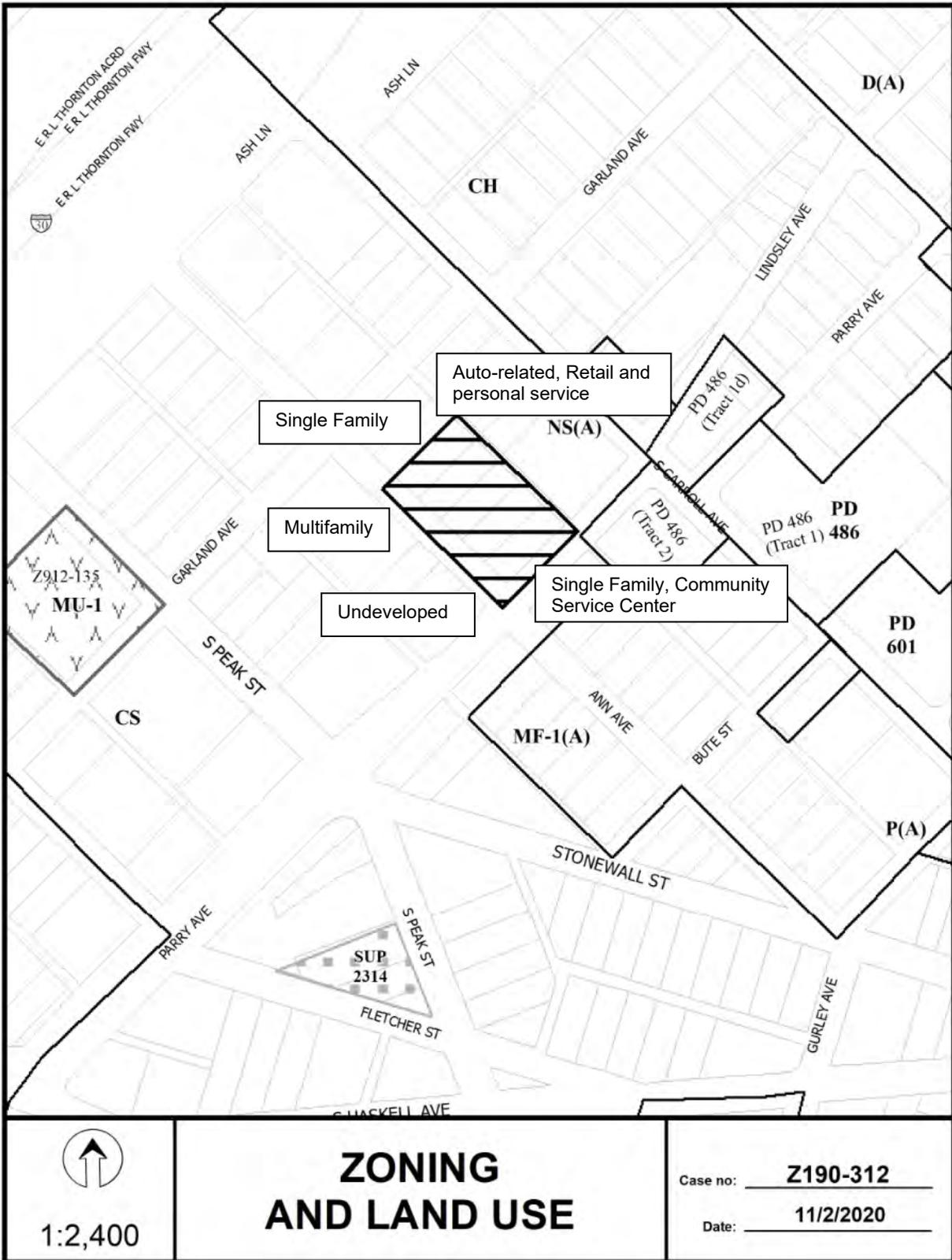


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AERIAL MAP

Case no: Z190-312

Date: 11/2/2020



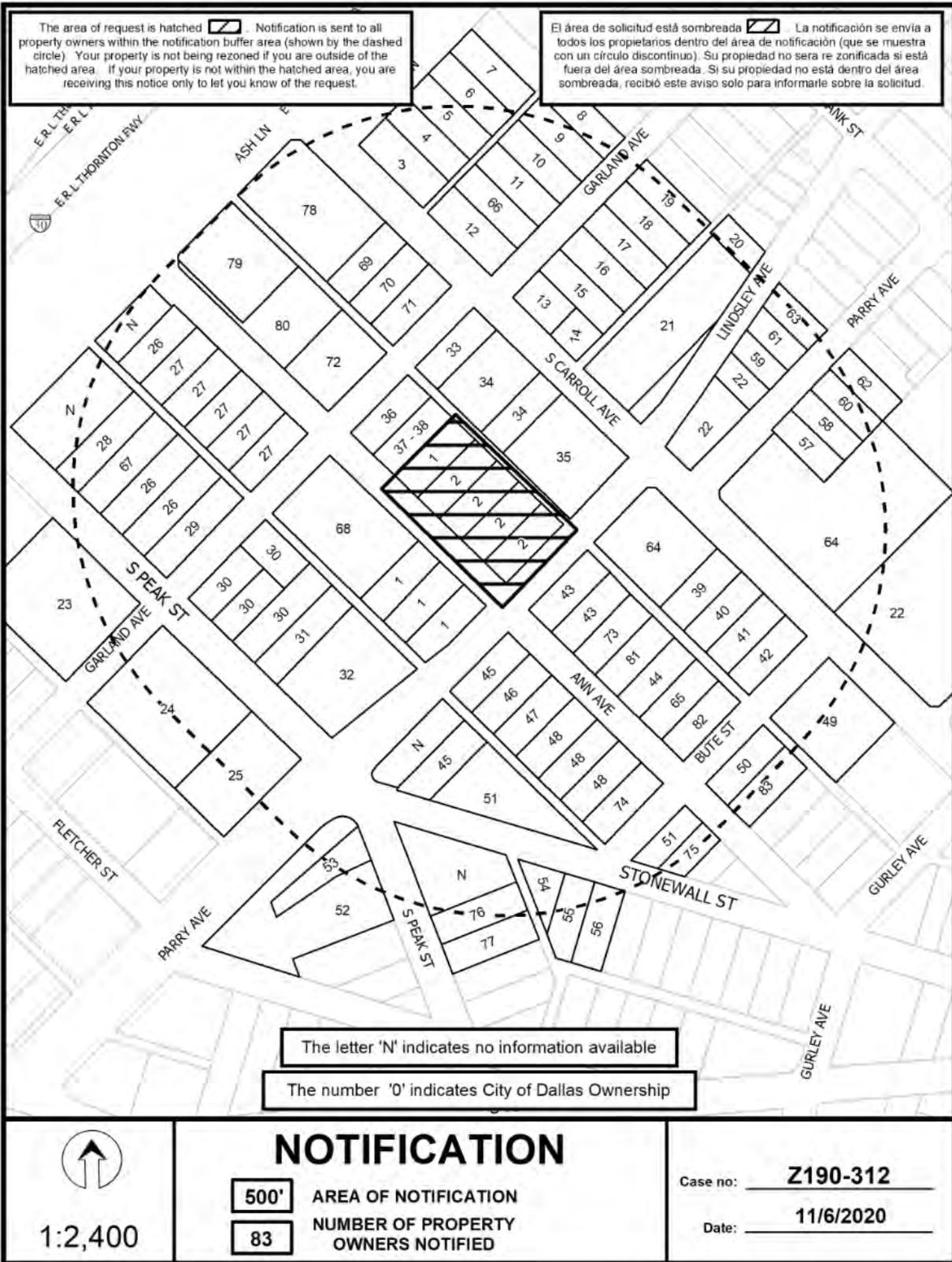


Market Value Analysis A B C D E F G H I NA

1:6,000

Market Value Analysis

Printed Date: 11/2/2020



11/02/2020

Notification List of Property Owners***Z190-312******65 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	815 ANN AVE	JUBILEE PARK CLINIC
2	812 ANN AVE	JUBILEE PARK CLINIC HOLDINGS LLC
3	4500 ASH LN	GALO WILFREDO & ANA A
4	4504 ASH LN	REDDING NORRIS DEAN
5	4510 ASH LN	GALO WILFREDO
6	4514 ASH LN	TREJO ROBERT
7	4518 ASH LN	SELMA VENTURES LTD
8	4521 GARLAND AVE	CERVANTES RUSSELL H &
9	4517 GARLAND AVE	CASTRO ESTHER
10	4513 GARLAND AVE	PEREZ ALEJANDRO & SANDRA
11	4509 GARLAND AVE	OSORIO CARLOS & MARIA M
12	4501 GARLAND AVE	RODRIGUEZ SECUNDINO R
13	4500 GARLAND AVE	LOERA GLORIA PATRICIA
14	804 S CARROLL AVE	PRIDE DANIEL JR
15	4504 GARLAND AVE	LUNA ALONSO & MARIA
16	4512 GARLAND AVE	BERNAL SANDRA
17	4514 GARLAND AVE	SMITH NIGEL
18	4516 GARLAND AVE	BARRERA MIRIAM
19	4520 GARLAND AVE	CALDERON RENE
20	4523 LINDSLEY AVE	KOBY MILLER HOMES LLC
21	820 S CARROLL AVE	SAFE CAPITAL INVESTMENTS LLC
22	4509 PARRY AVE	JUBILEE PARK & COMMUNITY CENTER CORP
23	723 S PEAK ST	SAGUARO ROSE INVESTMENT GROUP LTD
24	805 S PEAK ST	TEMPLO MARANATHA
25	4215 PARRY AVE	ZOYS INC
26	709 ANN AVE	GUZMAN ENRIQUE

11/02/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	711 ANN AVE	PICCOLA FAMILY LTD PS THE
28	708 PEAK ST	NIETO HILARIO & HERLINDA
29	722 PEAK ST	PICCOLA FMLY LTD PARTNSHP
30	800 S PEAK ST	AGRUPPO LLC
31	810 S PEAK ST	GONZALEZ ALEX
32	822 S PEAK ST	GONZALEZ ALEX
33	803 S CARROLL AVE	AGUILERA JESUS
34	807 S CARROLL AVE	NINO LUIS
35	817 S CARROLL AVE	TAKELE DANIEL TESSEMA
36	800 ANN AVE	GONZALEZ TEODORO &
37	804 ANN AVE	AGUILAR DOMINGA
38	806 ANN AVE	AGUILAR DOMINGA
39	913 S CARROLL AVE	WEBB DEBRA JOYCE
40	917 S CARROLL AVE	ANGLIN KENNETH & BERNICE
41	921 S CARROLL AVE	KNOX WILLIAM T
42	925 S CARROLL AVE	LOPEZ PEDRO A
43	900 ANN AVE	NEGRETE MARTIN
44	922 ANN AVE	VO KEVIN PHU
45	901 ANN AVE	MMCW PROPERTIES LLC
46	905 ANN AVE	CASTRO MARTHA ELIZABETH
47	911 ANN AVE	TORRES MARISOL
48	915 ANN AVE	SKELDALE PROPERTIES INC
49	1001 S CARROLL AVE	EAST DALLAS CHURCH OF CHRIST
50	1002 ANN AVE	GARDNER BIRDIE J
51	4300 BUTE ST	MATA RENE R
52	915 S PEAK ST	HILL PRINT SOLUTIONS LTD
53	901 S PEAK ST	J & G HILL INTERSTS LTD
54	1001 STONEWALL ST	BLUE SKY MANAGEMENT INCOR
55	1009 STONEWALL ST	BLUE SKY MANAGEMENT INC
56	1011 STONEWALL ST	BLUE SKY MANAGMENT INC
57	4512 PARRY AVE	ARREAGA ELVIA

Z190-312(PD)

11/02/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	4514 PARRY AVE	RICO JUAN &
59	4513 PARRY AVE	RICO ANGELINA
60	4516 PARRY AVE	JIMENEZ RAUL & ROSA M
61	4515 PARRY AVE	DENMARK DEVERICK ELAINE
62	4522 PARRY AVE	GRANGER ROBERT & YVONNE
63	4523 PARRY AVE	AYALA JOSE & MANUELA
64	938 S CARROLL AVE	JUBILEE PARK & COMMUNITY CENTER CORP
65	928 ANN AVE	SANCHEZ GRACIELA M

FILE NUMBER: Z190-317(PD)

DATE FILED: July 24, 2020

LOCATION: Southeast corner of Scyene Road and Prairie Creek Road

COUNCIL DISTRICT: 7

MAPSCO: 49 W

SIZE OF REQUEST: ± 1.378 acres

CENSUS TRACT: 120.00

REPRESENTATIVE: Rob Baldwin, Baldwin Associates

APPLICANT/OWNER: 9202 Scyene LLC

REQUEST: An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District.

SUMMARY: The purpose of the request is to allow for the development of a retail use with volunteered by the deed restrictions proposed to prohibit many of the residentially incompatible uses and prohibit development, access, dumpster locations, and parking from the southernmost 140 feet of the property.

STAFF RECOMMENDATION: Approval, subject to deed restrictions volunteered by the applicant.

BACKGROUND INFORMATION

- The request site is currently undeveloped.
- The applicant is proposing to rezone the property to a CR Community Retail District to develop the property with a community serving retail use and deed restrict many of the residentially incompatible uses and prohibit development, access, dumpster locations, and parking from the southernmost 140 feet of the property.
- A previous request [Z189-120] came before the Commission for the subject property on March 21, 2019. While the request volunteered deed restrictions to mitigate negative impact and prohibit noncompatible uses, the volunteered deed restrictions did not address encroachment of the proposed retail use into the adjacent residential neighborhood along Prairie Creek Road. The current request provides this assurance.

Zoning History There have been three zoning requests in the surrounding area in the past five years:

- 1. Z190-334:** An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District located at the northwest intersection of North Prairie Creek Road and Scyene Road. The application has not yet come before the Commission.
- 2. Z189-120:** On March 21, 2019, the City Plan Commission recommended denial without prejudice of an application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District located on the southeast corner of Scyene Road and North Prairie Creek Road. ****Request site****
- 3. Z156-277:** On October 11, 2017, the City Council approved a CR Community Retail District subject to deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District located on North Prairie Creek Road and Scyene Road, northeast corner.

Thoroughfares/Streets

Thoroughfare/Street	Type	Existing / Proposed ROW
Scyene Road	Principal Arterial	100 feet
North Prairie Creek Road	Principal Arterial	100 feet

Traffic

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the zoning change will not impact the surrounding roadway system.

STAFF ANALYSIS

Comprehensive Plan

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

The applicant’s request is consistent with the following goals and policies of the comprehensive plan.

ECONOMIC ELEMENT

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

URBAN DESIGN

Goal 5.1 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

Surrounding Land Uses

	Zoning	Land Use
Site	R-7.5(A)	Undeveloped
North	CR w/deed restrictions	Undeveloped
East	R-7.5(A)	Single Family
South	R-7.5(A)	Single Family, Church
West	R-7.5(A), CR-D	Auto-related, Single Family

Land Use Compatibility

The request site is undeveloped. The applicant proposes to develop the property with retail uses. The four-corner intersection of North Prairie Creek Road and Scyene Road is zoned a CR Community Retail District at three of the four corners of the intersection with the exception of the request site. The request site is situated along two principal arterials that have approximately 100 feet of right-of-way.

The applicant's request for a CR Community Retail District will allow for the development of a community serving retail use on site. Additionally, the proposed request would be limited in its vertical development by the imposed restrictions to the height regulations due to the residential proximity slope (RPS) that the subject site would be required to adhere to if the zoning is changed to a CR Community Retail District. These restrictions would be generated by the R-7.5(A) Single Family District lots bordering the site immediately to the east and south along both Scyene Road and North Prairie Creek Road.

While considering that a CR District is a moderate intensity district of the community-serving retail districts, the applicant is volunteering deed restrictions to reduce the impact of the proposed district and ensure consistency with the existing built environment.

Among the volunteered restrictions, the applicant proposes to:

1. Restrict the following uses: gas drilling and production, temporary concrete or asphalt batching plant, cemetery or mausoleum, college, university, or seminary, open-enrollment charter school or private school, public school other than open-enrollment charter school, hotel and motel, lodging or boarding house, overnight general purpose shelter, carnival or circus (temporary), alternative financial establishment, college, dormitory, fraternity, or sorority house, ambulance service, auto service center, business school, carwash, commercial amusement (outside), commercial parking lot or garage, liquor store, mortuary, funeral home or commercial wedding chapel, paraphernalia shop, pawn shop, and recycling buy-back center; and,
2. Restrict development, access, dumpster locations, and parking from the southern-most 140 feet of the property.

Staff supports this change in zoning classification as 1) the applicant's proposal to limit uses would decrease the potential of nuisances to surrounding properties; 2) the proposed screening requirements will ensure visual obstruction of the development to the residential properties through use of a residential buffer zone that requires the portion of the perimeter of a retail lot where residential adjacency exists to provide a landscape buffer with an average depth of 10 feet, a minimum depth of five feet, and a maximum depth of 30 feet. Additionally, all off-street parking and loading spaces must be screened

Z190-317(PD)

from residential properties; 3) the restriction for development along the southernmost portion of the site will further protect the residential districts from any potential negative impact; 4) and the additional community-serving retail uses will provide added convenience to the neighborhood by establishing walk-to services and shorter drive times.

Development Standards

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
R-7.5(A) – existing Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	30'	45%		Single family
CR - proposed Community retail	15'	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & personal service, office

Parking

Pursuant to the Dallas Development Code, off-street parking must be provided in accordance with Division 51A-4.200 and the determined use at permitting.

Landscaping

Landscaping must be provided in accordance with the landscaping requirements in Article X, as amended.

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The subject site is not within an MVA category but is adjacent to an “F” MVA category to the northeast and a “G” MVA category to the east and south, across Scyene Road and to the southwest along North Prairie Creek Road.

Z190-317(PD)

List of Officers

9202 Scyene, LLC

Larry Smith, Managing Member

VOLUNTEERED DEED RESTRICTIONS

THE STATE OF TEXAS)
)
COUNTY OF DALLAS) KNOW ALL PERSONS BY THESE PRESENTS:

I.

The undersigned, 9202 Scyene LLC ("the Owner"), is the owner of the following described property ("the Property"), being all that tract of land located in City Block 6742, J.M. Johnson Survey, Abstract No. 695, City of Dallas ("City"), Dallas County, Texas, and being that same tract of land conveyed to the Owner by Robert R. Whitney and Landa Rose Whitney, by deed dated March 2, 2018, and recorded in Instrument Number 201800057086 in the Deed Records of Dallas County, Texas and more specifically described in Exhibit A.

II.

The Owner does hereby impress all of the Property with the following deed restrictions ("restrictions"), to wit:

- (a) The following uses are prohibited:
 - (1) Industrial uses.
 - Gas drilling and production.
 - Temporary concrete or asphalt batching plant.
 - (2) Institutional and community services uses.
 - Cemetery or mausoleum.
 - College, university, or seminary.
 - Open-enrollment charter school or private school.
 - Public school other than open-enrollment charter school.
 - (3) Lodging uses.
 - None permitted.
 - (4) Miscellaneous uses.
 - Carnival or circus (temporary).
 - (5) Office uses.
 - Alternative financial establishment.
 - (6) Residential uses.
 - College dormitory, fraternity, or sorority house.
 - (7) Retail and personal services uses.

- Ambulance service.
- Auto service center.
- Business school.
- Car wash.
- Commercial amusement (outside).
- Commercial parking lot or garage.
- Mortuary, funeral home or commercial wedding chapel.
- Paraphernalia shop.
- Pawn shop.

(8) Wholesale, distribution, and storage uses.

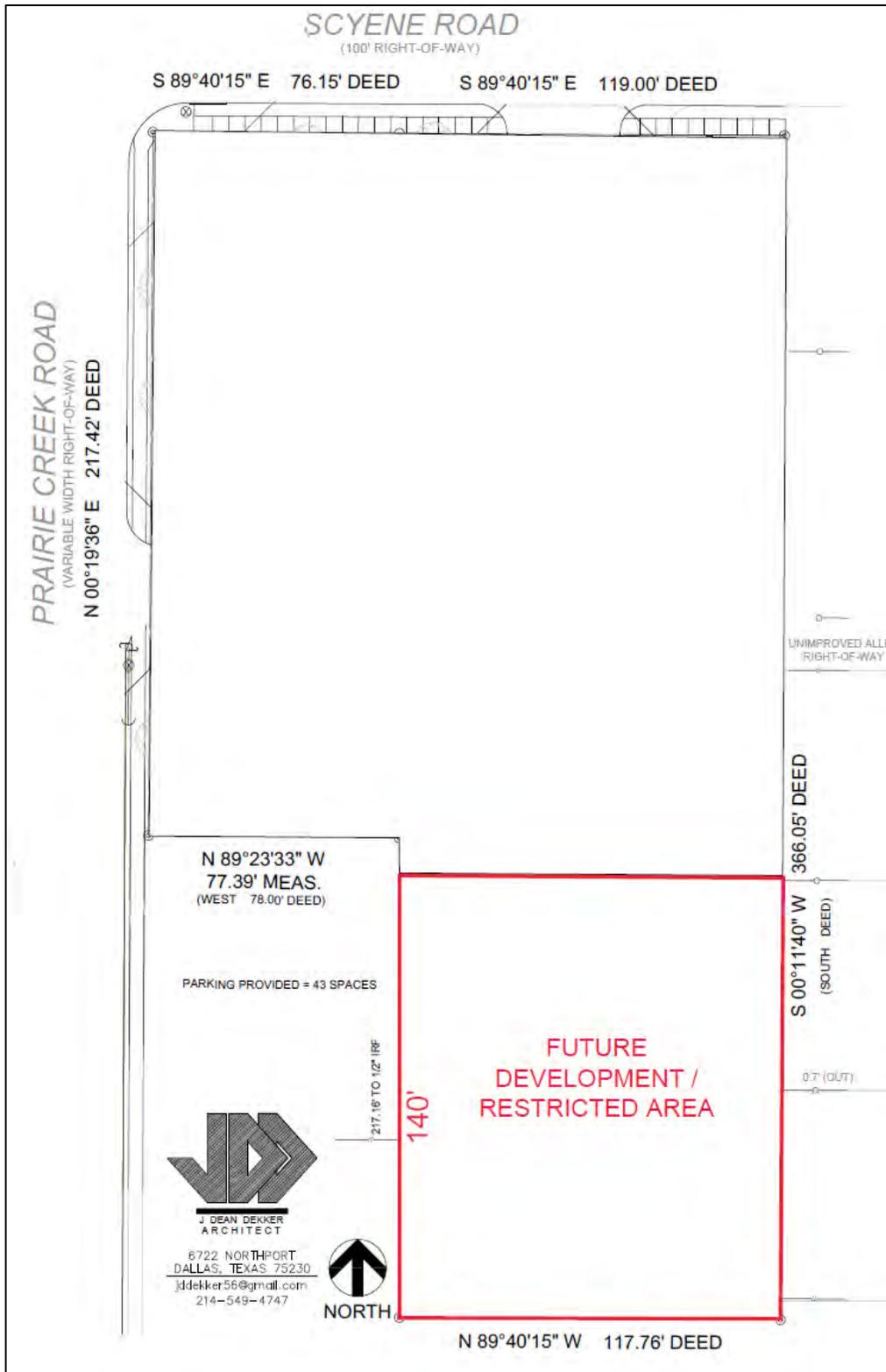
- Recycling buy-back center.

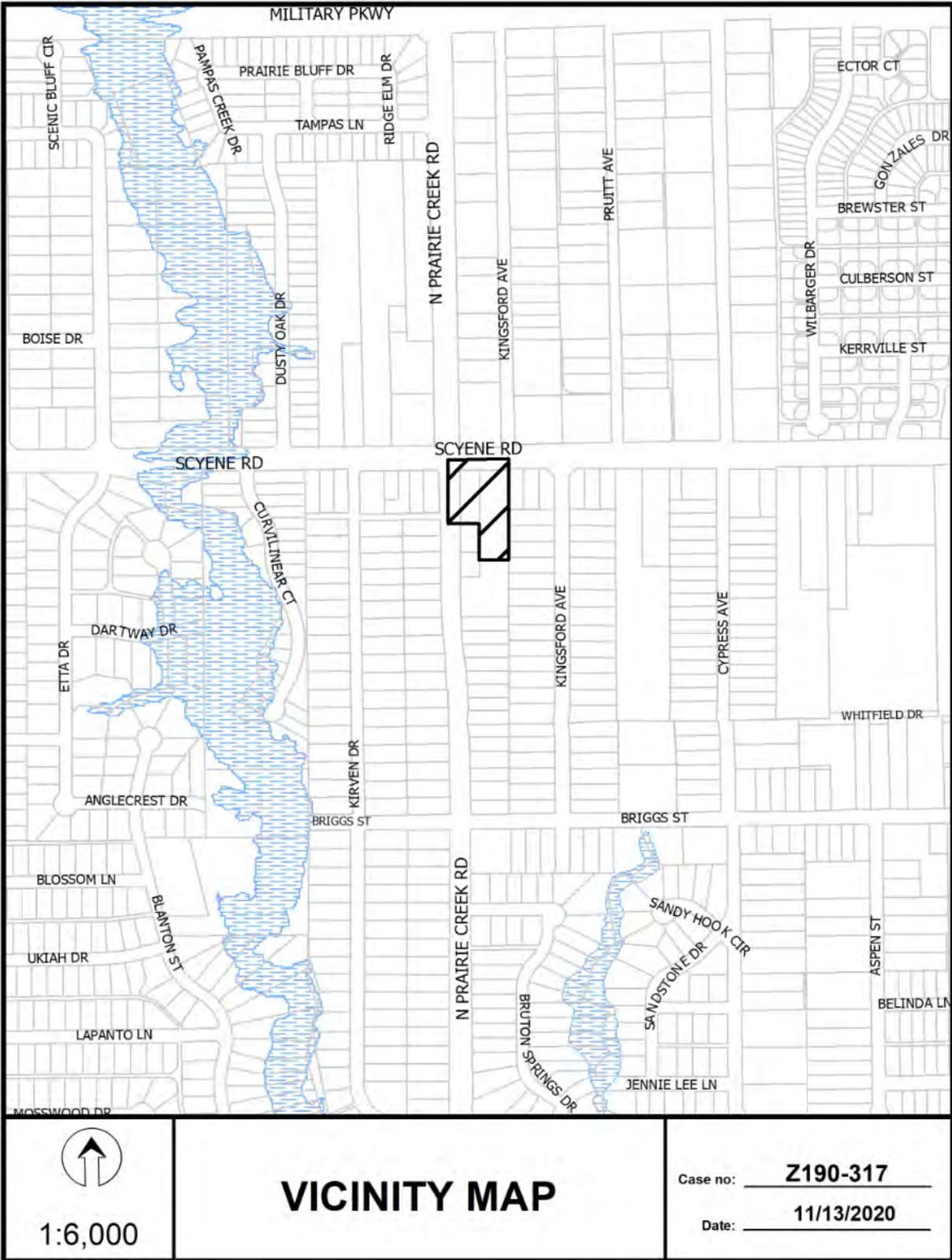
(b) The southern-most 140 feet of the Property as identified on Exhibit B is prohibited for access, dumpster locations, or parking for the Property. This area is restricted for future development except when vehicular access to Prairie Creek Drive crosses through another property outside of the Property described in Exhibit A.

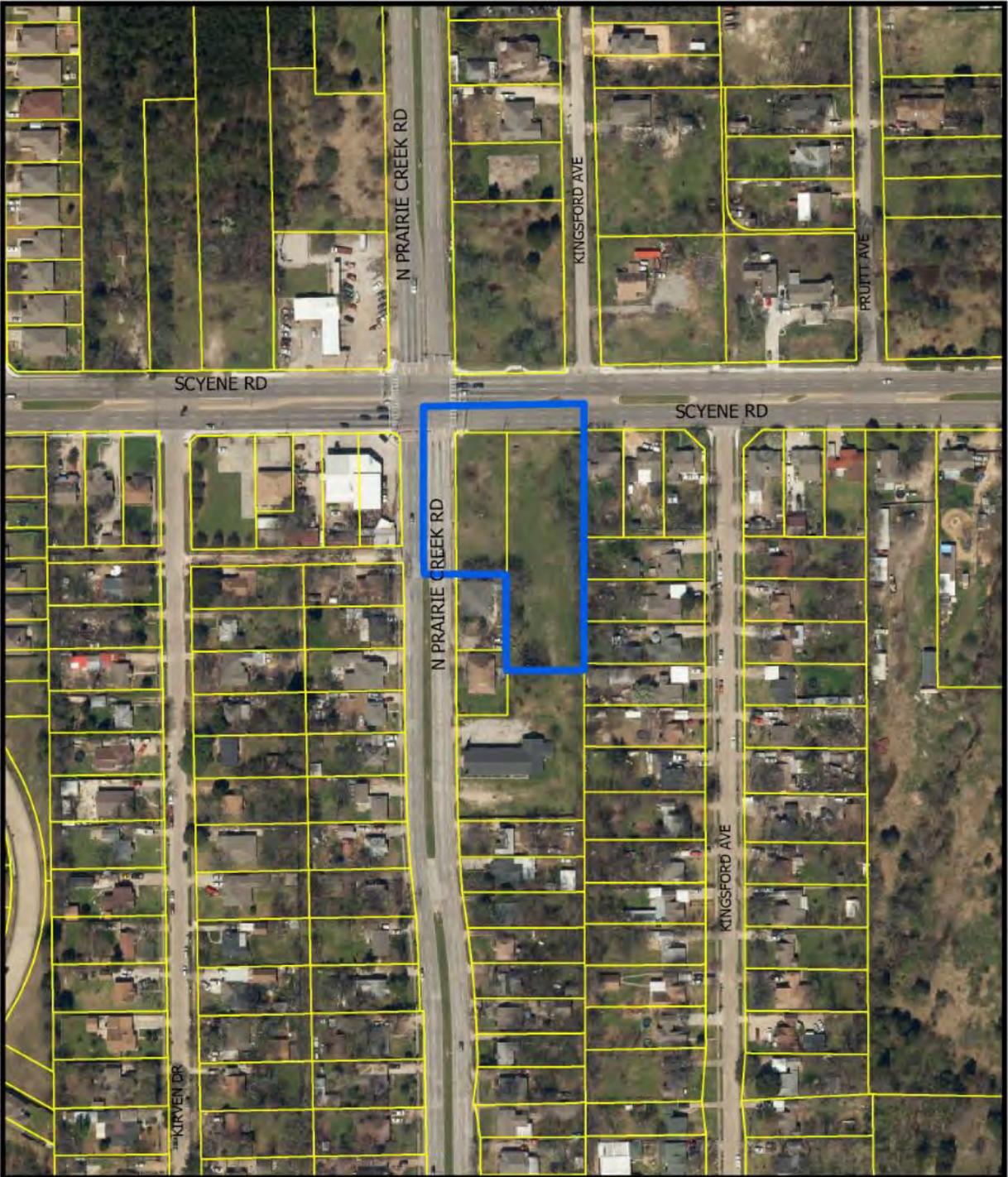
III.

These restrictions shall continue in full force and effect for a period of 20 years from the date of execution and shall automatically be extended for additional periods of 10 years unless amended or terminated in the manner specified in this document.

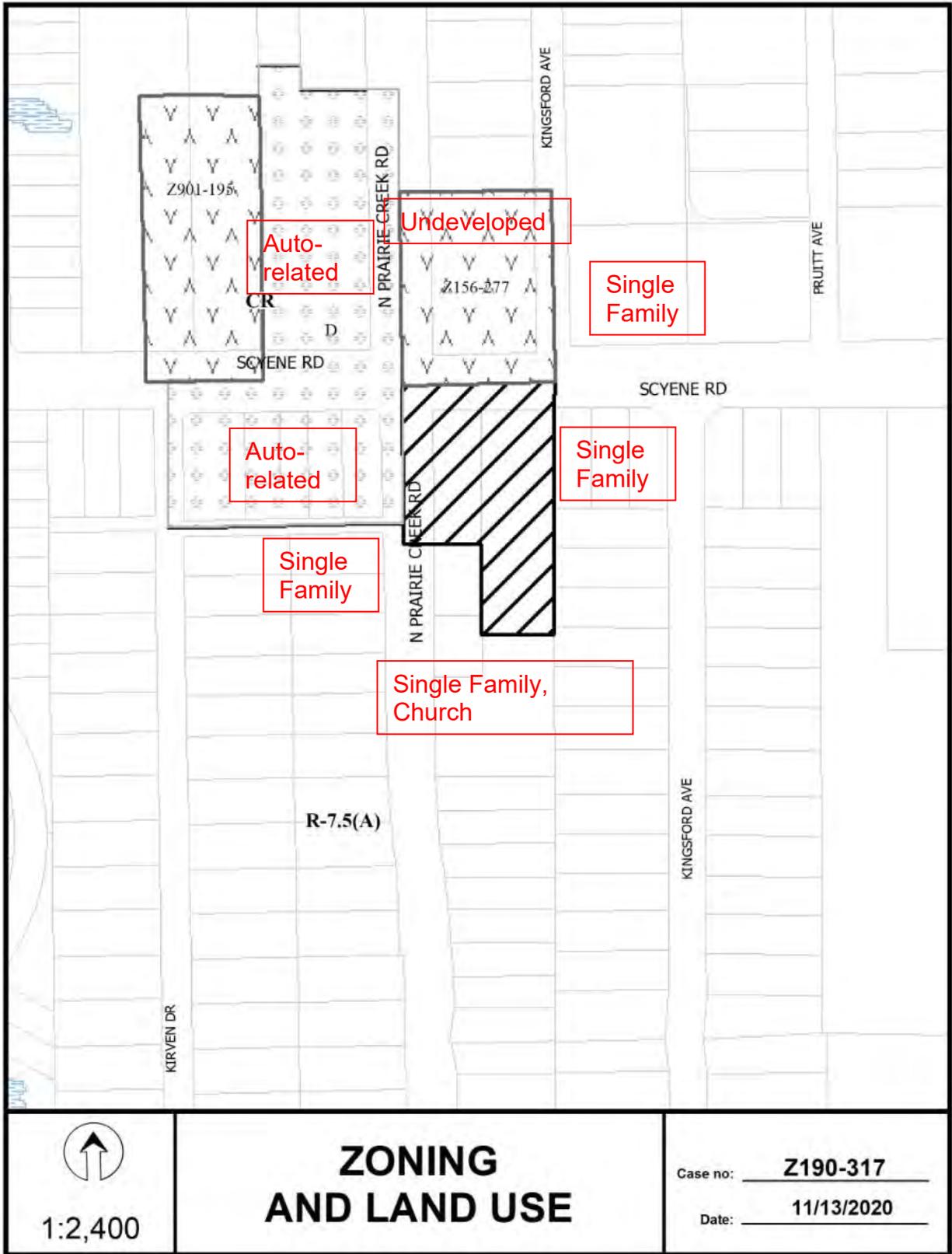
**VOLUNTEERED DEED RESTRICTIONS
EXHIBIT B**

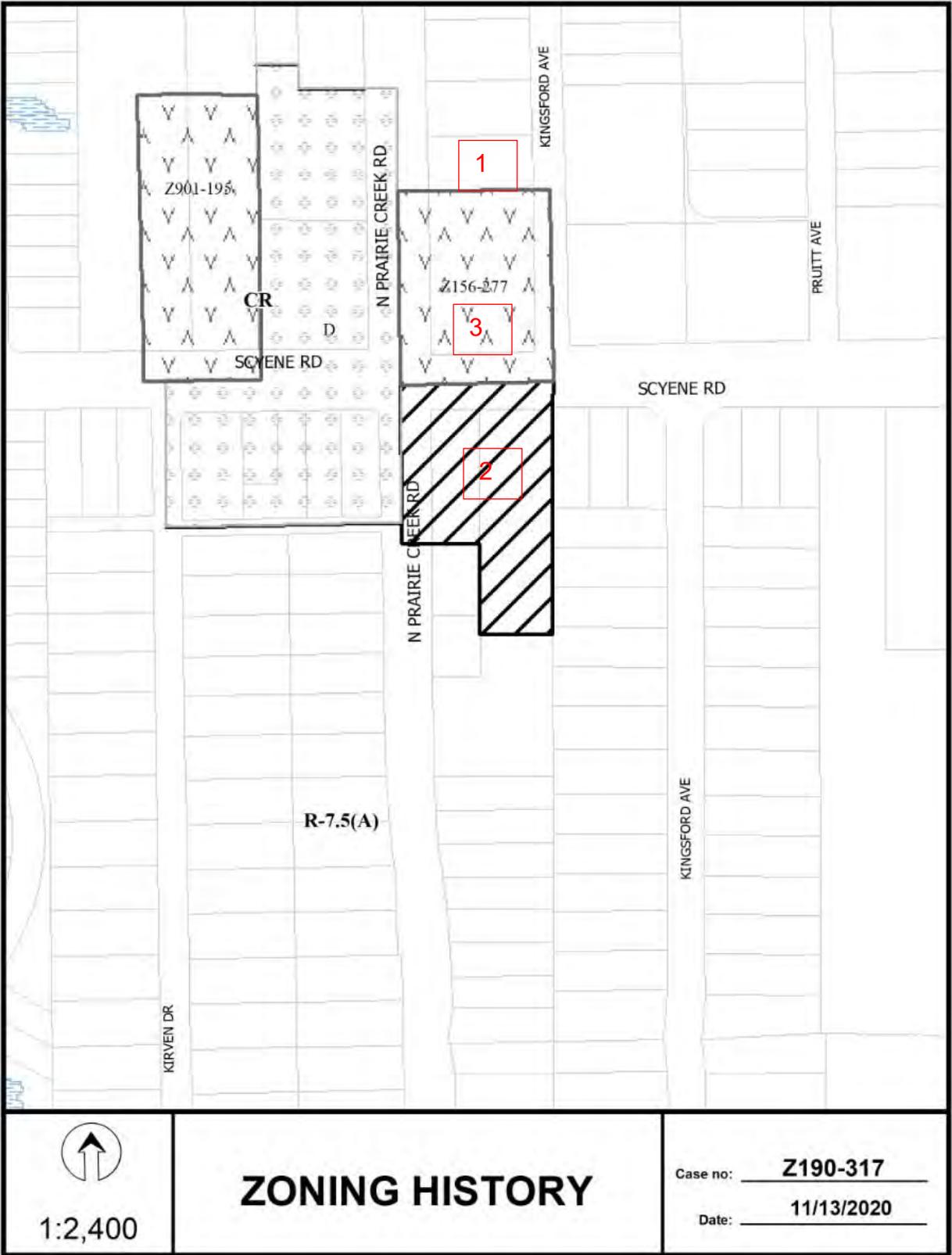


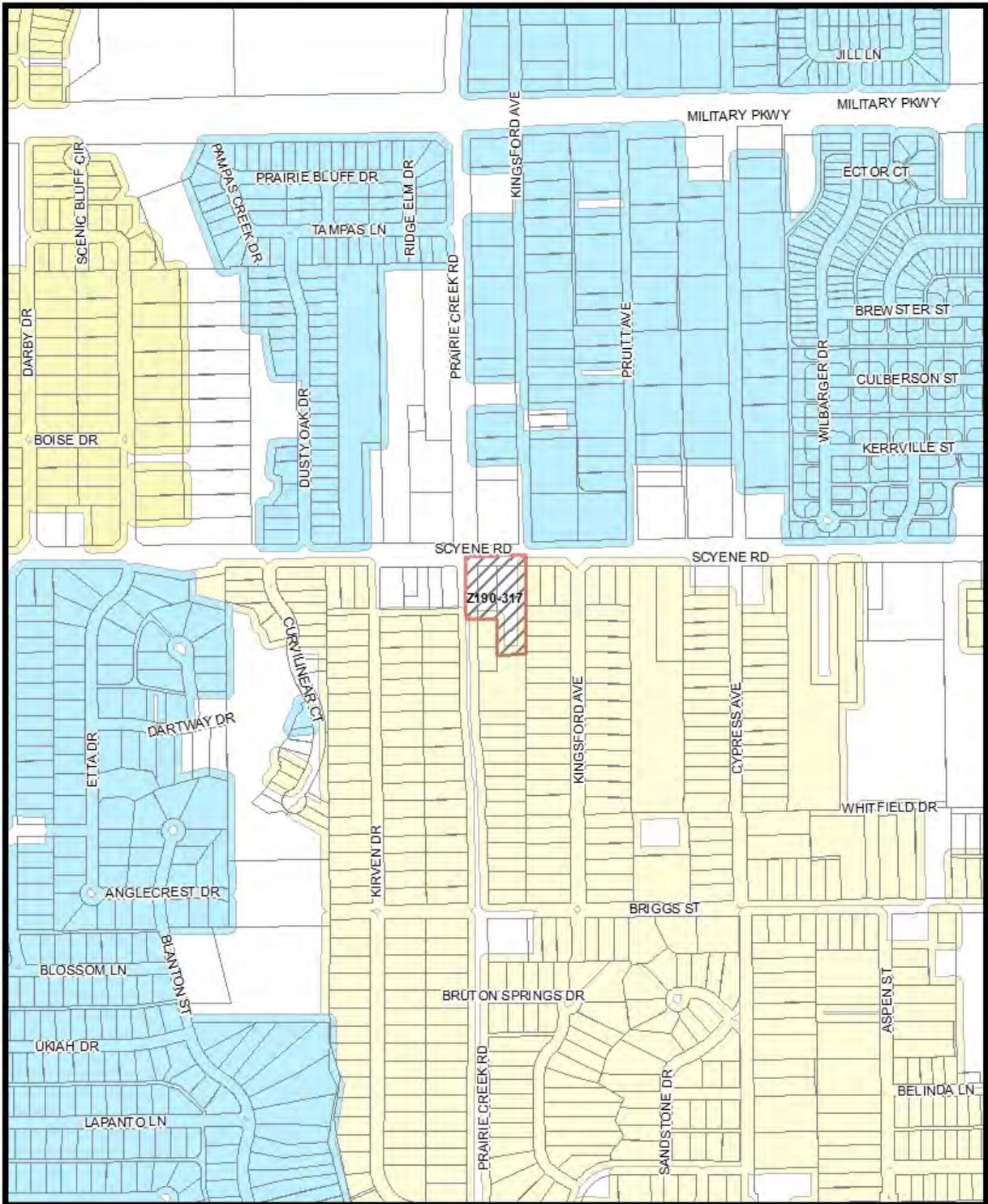




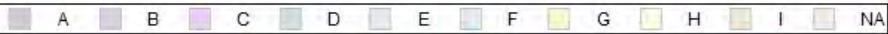
 1:2,400	<h1>AERIAL MAP</h1>	Case no: <u> Z190-317 </u> Date: <u> 11/13/2020 </u>
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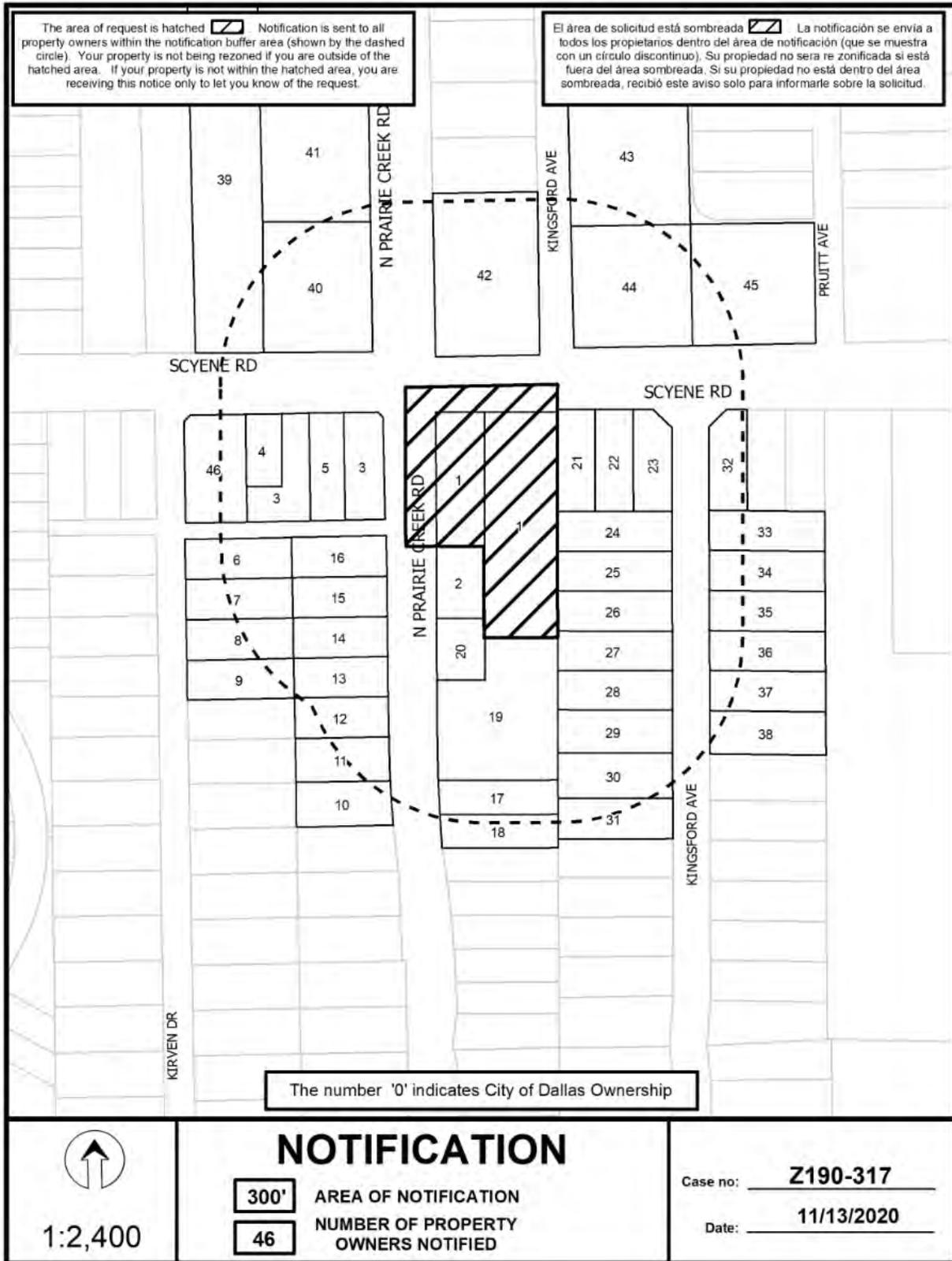


Market Value Analysis



Market Value Analysis

Printed Date: 11/13/2020



11/13/2020

Notification List of Property Owners***Z190-317******46 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	9212 SCYENE RD	9202 SCYENE LLC
2	2934 N PRAIRIE CREEK RD	SOTO JOSE CRUZ
3	9114 SCYENE RD	GARCIA MARTIN
4	9110 SCYENE RD	PEREZ FRANK A & CAROL
5	9120 SCYENE RD	GARCIA MARTIN
6	2934 KIRVEN DR	TRUE DFW2015 HOMES LLC
7	2930 KIRVEN DR	COLLINS FARON S
8	2924 KIRVEN DR	SALDANA ANDRES
9	2920 KIRVEN DR	RICKMAN JEFFREY L
10	2903 N PRAIRIE CREEK RD	SANCHEZ JOSE F &
11	2909 N PRAIRIE CREEK RD	AMADOR SANTOS & COLLEEN
12	2915 N PRAIRIE CREEK RD	PIEDRA MARIBEL
13	2921 N PRAIRIE CREEK RD	ANDABLO JOSE
14	2925 N PRAIRIE CREEK RD	VILLA CARLOS
15	2931 N PRAIRIE CREEK RD	RAMIREZ J JESUS & SONIA SANTOS
16	2935 N PRAIRIE CREEK RD	PETERSON REVOCABLE LIVING TR
17	2902 N PRAIRIE CREEK RD	FLORES ELOISA
18	2858 N PRAIRIE CREEK RD	LOPEZ CRISTINO
19	2920 N PRAIRIE CREEK RD	SCYENE CHURCH OF CHRIST
20	2926 N PRAIRIE CREEK RD	MCADAMS GAYE
21	9220 SCYENE RD	WILLIAMS TAMMY
22	9224 SCYENE RD	MEJIA DORA &
23	9230 SCYENE RD	FAZ JULISSA
24	2941 KINGSFORD AVE	SERVIN ESMERALDA &
25	2935 KINGSFORD AVE	GARCIA LEOPOLDO
26	2931 KINGSFORD AVE	PEACOCK VICKI

Z190-317(PD)

11/13/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2925 KINGSFORD AVE	CARRENO JOSE
28	2919 KINGSFORD AVE	DELACRUZ FILOMENO &
29	2915 KINGSFORD AVE	CARLOS VICTOR A
30	2909 KINGSFORD AVE	TUCKER VIRGINIA
31	2903 KINGSFORD AVE	FAZ OSCAR & MARIBEL
32	9302 SCYENE RD	HERNANDEZ GUSTAVO &
33	2940 KINGSFORD AVE	CORDOVA JOSE GONZALEZ
34	2934 KINGSFORD AVE	CERON SERGIO A
35	2930 KINGSFORD AVE	CARLOS JESUS & JOSEFINA
36	2924 KINGSFORD AVE	CARLOS JESUS MARIA & JOSEFINA
37	2918 KINGSFORD AVE	DELGADO YSMAEL
38	2914 KINGSFORD AVE	HEATHCOCK LETA K
39	9107 SCYENE RD	CARTER KENT
40	9115 SCYENE RD	WACKEROW MARY H
41	3125 N PRAIRIE CREEK RD	NOSHAHI MOHAMMAD H
42	3005 KINGSFORD AVE	CARTER KENT
43	3116 KINGSFORD AVE	PGSR REALTY LLC
44	3006 KINGSFORD AVE	FLORES JESUS & ROSALINDA
45	3005 PRUITT AVE	HENDERSON DEBRA FURMAN
46	9102 SCYENE RD	PEREZ FRANK & CAROL

FILE NUMBER: Z190-335(PD)

DATE FILED: August 13, 2020

LOCATION: Northwest line of South Beltline Road, southwest of Kleberg Road

COUNCIL DISTRICT: 8

MAPSCO: 69A U

SIZE OF REQUEST: ±1.31 acre

CENSUS TRACT: 171.01

REPRESENTATIVE: Catherine Chamblee, Brackin Schwartz & Associates

APPLICANT: Dolgencorp of Texas, Inc.

OWNER: Vaquero Kleberg Partners LP

REQUEST: An application for a Specific Use Permit for the sale of alcoholic beverages for off-premise consumption in conjunction with a general merchandise or food store greater than 3,500 square feet on property zoned a CS-D-1 Commercial Service District with a D-1 Liquor Control Overlay.

SUMMARY: The purpose of this request is to allow for the sale of alcoholic beverages for off-premise consumption in conjunction with an existing general merchandise or food store. [Dollar General]

STAFF RECOMMENDATION: Approval for a two-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The request site is developed with a ±9,100-square foot general merchandise or food store use.
- On January 24, 2018, the City Council approved a general zoning change for a CS Commercial Service District on property zoned an IR-D-1 Industrial Research District with a D-1 Liquor Control Overlay on the request site to allow the development of the existing use.
- The applicant proposes to sell beer and wine for off-premise consumption in conjunction with the general merchandise or food store.
- The general merchandise or food store is permitted by right. The sale of alcoholic beverages on the property requires a specific use permit due to the D-1 Liquor Control Overlay.

Zoning History: There has been no zoning requests in the vicinity within the last five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
South Belt Line Road	Principal Arterial	100 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested and determined that it will not significantly impact the surrounding roadway system.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

The applicant’s request is consistent with the following goals and policies of the comprehensive plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

URBAN DESIGN ELEMENT

GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

5.3.1.5 Build neighborhood facilities, such as schools, libraries and community centers, within walking distance of transit stations and homes.

Land Use:

	Zoning	Land Use
Site	CS-D-1	General merchandise or food store
Northeast	CS-D-1, SUP No. 1843	Undeveloped, General merchandise or food store
Southeast	R-10(A)	Undeveloped
Northwest	IR-D-1	Electrical substation
Southwest	IR-D-1	Industrial warehouse

West Kleberg Community Plan (2007):

The West Kleberg Community Plan identified a vision statement: To reflect "Old Kleberg's" historical heritage, to promote a strong rural atmosphere, to allow for future growth with sensitivity to future amenities and infrastructure of a modern urban environment. Long-time residents seem to have mixed feelings about growth, noting on one side the negative impacts of crowds, noise, traffic, and pollution, while acknowledging the benefits of improved public services, better schools, and new neighborhood-serving retail and commercial business locating to the area.

The subject site is located within Sub-area 3, which is comprised of approximately 3,390 acres of which 42 percent was vacant or undeveloped, and 40 percent was comprised of public service (mainly the southside Wastewater Treatment Center) at publication in 2007.

The report reveals that “an overall analysis of the land use shows that businesses are generally located along the Hwy. 175-freeway corridor. The next concentration of small-scale uses is found at the intersection of South Belt Line Road and Seagoville Road. There is one grocery store to serve this community, with several smaller scale convenient stores scattered throughout the area. Other than that, groceries are purchased within a 5-mile radius in the cities of Balch Springs and Seagoville (e.g., Wal-Mart Super Centers, Minyard's and Kroger). The majority of businesses operating in the area include: Auto Sales, Service and Display, Machinery, Heavy Equipment or Truck Sales and Service, and Auto Salvage and Reclamation”.

The Future Vision Map depicts a 1,000-foot buffer zone as ideal for business development along the Highway 175-freeway corridor. Land assemblage may be required to develop in these areas to construct uses such as a hospital, bank, mix use project and so on. Business nodes to possibly stimulate economic activity are earmarked at the intersections of Seagoville and Belt Line Roads; Highway 175, and South Belt Line Road; and Kleberg Road and South Belt Line Road. The subject site is within that buffer zone. Furthermore, a Visioning Activity conducted at a community meeting identified the top 20 Community “Needs & Desires” as indicated below. In February 2007, the community conducted a Visioning Activity meeting to incorporate additional citizen input regarding the type of businesses the community envisions for the area.

The proposed use is considered in the vision for Sub-area 3.

TABLE 12: VISIONING ACTIVITY – COMMUNITY “NEEDS & DESIRES”

1. Bank	11. Ice Rink
2. Big Box (Lowe's and Sam's)	12. Mid-rise Mixed Use
3. Bookstore	13. Museum
4. Central Market	14. New Auto Dealership
5. Cinema	15. Office
6. Doctor Offices	16. Outlet and/or Mini-Malls
7. Drug Store	17. Research & Development Uses
8. Gas Station	18. Restaurants
9. Hospital	19. Small Shops
10. Hotel/Conference Center	20. Ice Cream Parlor (i.e., Braum's)

STAFF ANALYSIS:

Land Use Compatibility:

The request site is developed with a ±9,100-square foot general merchandise or food store use constructed in 2019. The applicant proposes to sell beer and wine for off-premise consumption in conjunction with the store.

The request site is adjacent to an electrical substation to the northeast and an industrial type use to the southwest. Northeast of the site is undeveloped. The property to the south, across South Belt Line Road, is undeveloped, and is zoned an R-10(A) Single Family District.

The "D-1" Overlay District is a Liquor Control Overlay District which requires an individual to obtain a Specific Use Permit in order to sell or serve alcoholic beverages, or setups for alcoholic beverages, for consumption on or off the premises.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The City Council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the City.

The general merchandise use is also regulated by Chapter 12B of the Dallas City Code, Convenience Stores. This chapter applies to all convenience stores, which is defined as any business that is primarily engaged in the retail sale of convenience goods, or both convenience goods and gasoline, and has less than 10,000 square feet of retail floor space; the term does not include any business that has no retail floor space accessible to the public. The purpose of Chapter 12B is to protect the health, safety, and welfare of the citizens of the city of Dallas by reducing the occurrence of crime, preventing the escalation of crime, and increasing the successful prosecution of crime that occurs in convenience stores in the city. This chapter establishes a registration program for convenience stores and provides requirements relating to:

- surveillance camera systems,
- video recording and storage systems,
- alarm systems,
- drop safes,

Z190-335(PD)

- security signs,
- height markers,
- store visibility,
- safety training programs, and
- trespass affidavits.

A separate certificate of registration to comply with Chapter 12B is required for each physically separate convenience store. A certificate of registration for a convenience store expires one year after the date of issuance and must be renewed annually.

The applicant's request, subject to the attached conditions, is consistent with the intent of the Dallas Development Code. Additionally, the representative provided documentation verifying the issuance of the Chapter 12B license.

Parking:

Pursuant to the Dallas Development Code, the off-street parking requirement for a general merchandise or food store use is one (1) space per 200 square feet of floor area. Therefore, the ±9,100-square foot general merchandise or food store use requires 46 spaces.

Landscaping:

Landscaping must be provided in accordance with Article X, as amended. No new development is proposed with this request; therefore, no landscape requirements are triggered by this request.

Market Value Analysis:

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Although the area of request is not within an identifiable MVA cluster, it is in the vicinity of an "F" MVA cluster to the north across Great Oak Drive and to the east across Kleberg Road.

Z190-335(PD)

Police Report:

Staff requested crime statistics from the Dallas Police Department for the period from November 2018 to November 2020. The results yield 31 calls, 6 offenses, and no arrests.

Calls:

Row Labels	Count of Problem
07 - Minor Accident	2
09/01 - Theft	2
11B - Burg of Bus	2
12B - Business Alarm	2
20 - Robbery	2
32 - Suspicious Person	5
40 - Other	6
40/01 - Other	4
41/09 - Theft - In Progress	1
41/11B - Burg Busn in Progress	1
46 - CIT	1
6X - Major Dist (Violence)	3
Grand Total	31

Offenses:

DataSource	IncidentNum	ServYr	ServNumID	Watch	Signal	Level_ID	OffIncident	Premise
RMS/NIBRS	260942-2019	2019	260942-2019-01	1	12B - BUSINESS ALARM	NULL	BURGLARY OF BUILDING - FORCED ENTRY	Convenience Store
RMS/NIBRS	099484-2019	2019	099484-2019-01	1	11B - BURG OF BUS	NULL	BURGLARY OF BUILDING - FORCED ENTRY	Grocery/Supermarket
RMS/NIBRS	191801-2020	2020	191801-2020-01	3	20 - ROBBERY	NULL	ROBBERY OF BUSINESS (AGG)	Convenience Store
RMS/NIBRS	135578-2020	2020	135578-2020-01	3	20 - ROBBERY	NULL	ROBBERY OF BUSINESS (AGG)	Commercial Property Occupied/Vacant
RMS/NIBRS	149932-2019	2019	149932-2019-01	1	11B - BURG OF BUS	NULL	THEFT OF PROP > OR EQUAL \$100 <\$750 (NOT SHOPLIFT) PC31.03(e2A)	Convenience Store
RMS/NIBRS	028654-2019	2019	028654-2019-01	2	41/09 - THEFT - IN PROGRESS	NULL	THEFT OF PROP > OR EQUAL \$100 <\$750 (SHOPLIFT-NOT EMP) PC31.03(e2A)	Retail Store

Partners/Principals/Officers

Vaquero Ventures

W.A Landreth Co-founder

Brain C. Williams Co-founder

Emily L. Crockett Chief Operating Officer & Senior Counsel

Dolgencorp of Texas Inc.

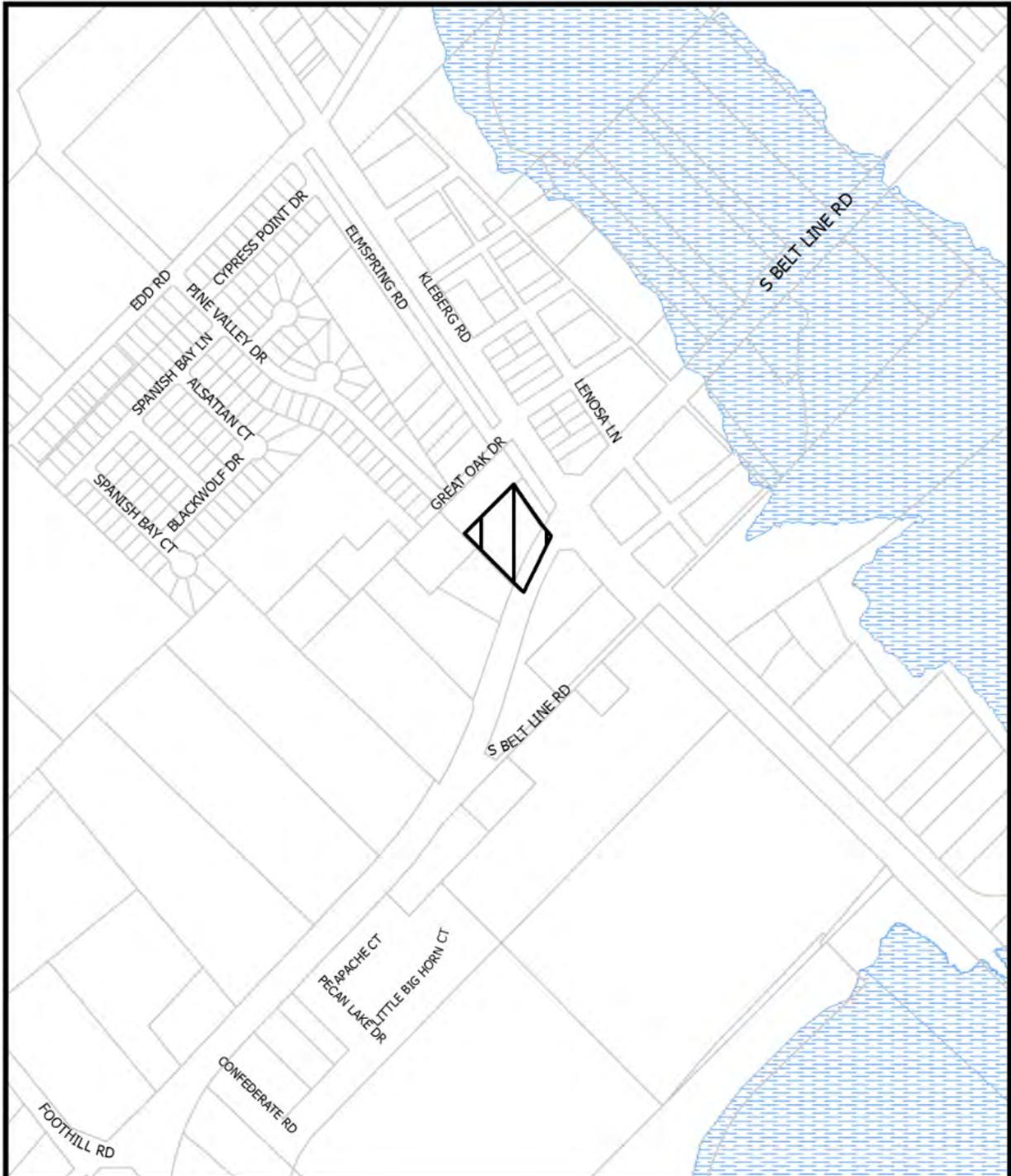
Steve R. Deckard CEO

John Garratt CFO

Jason S. Reiser Secretary

Proposed SUP Conditions

1. USE: The only use authorized by this specific use permit is the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on (two-years) but is eligible for automatic renewal for additional five-year periods, pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced.)
4. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
5. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.



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VICINITY MAP

Case no: Z190-335

Date: 11/13/2020

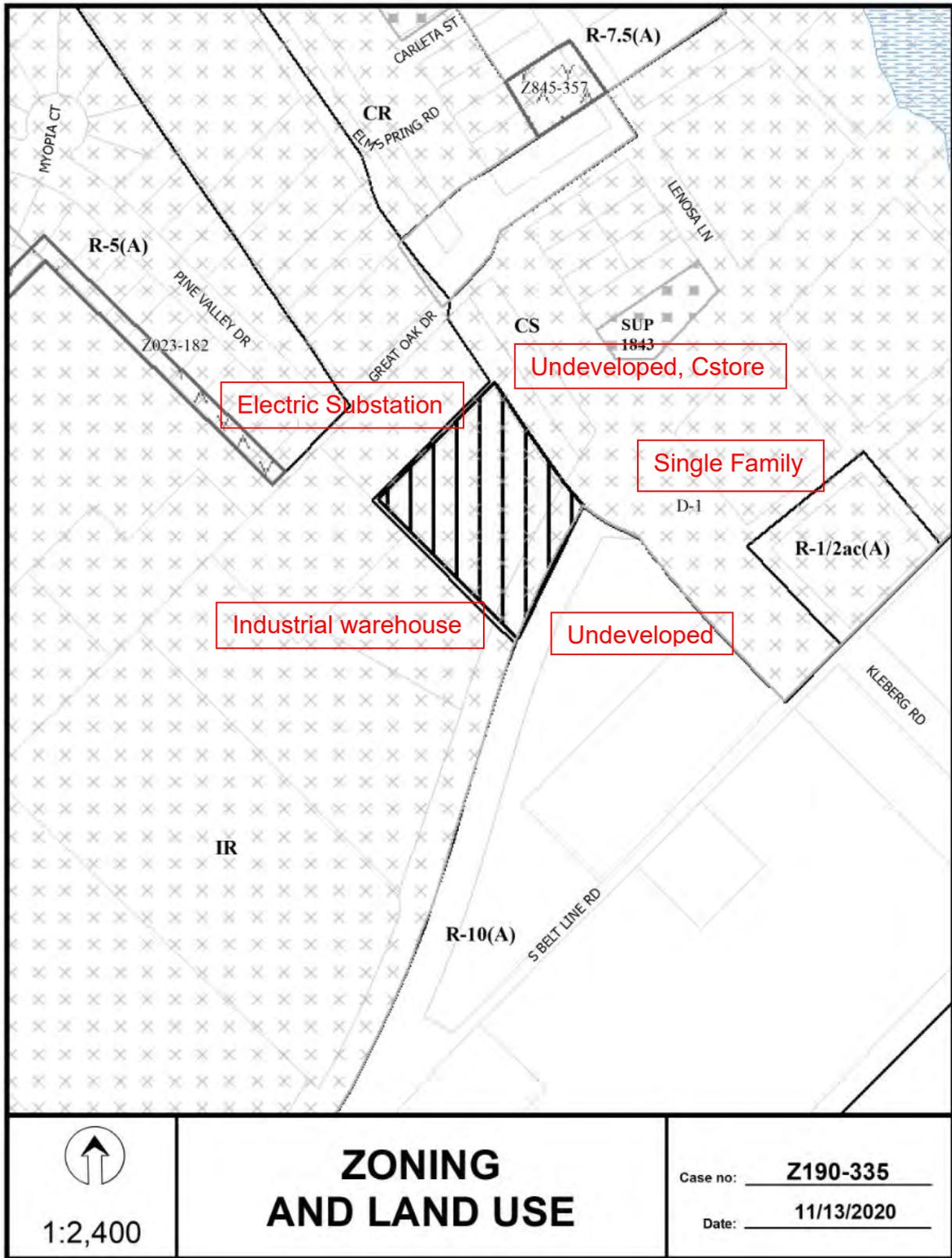


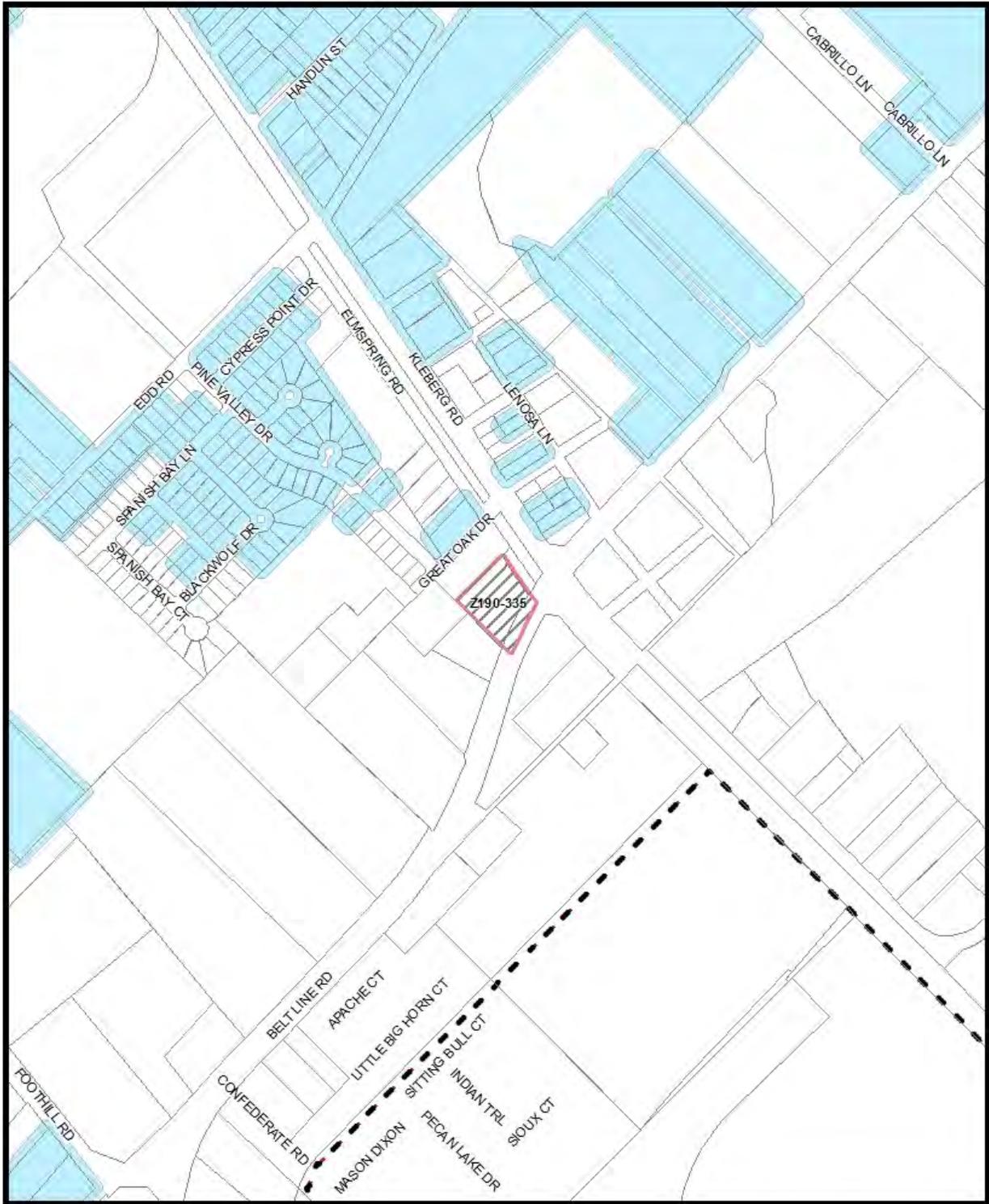
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AERIAL MAP

Case no: Z190-335

Date: 11/13/2020



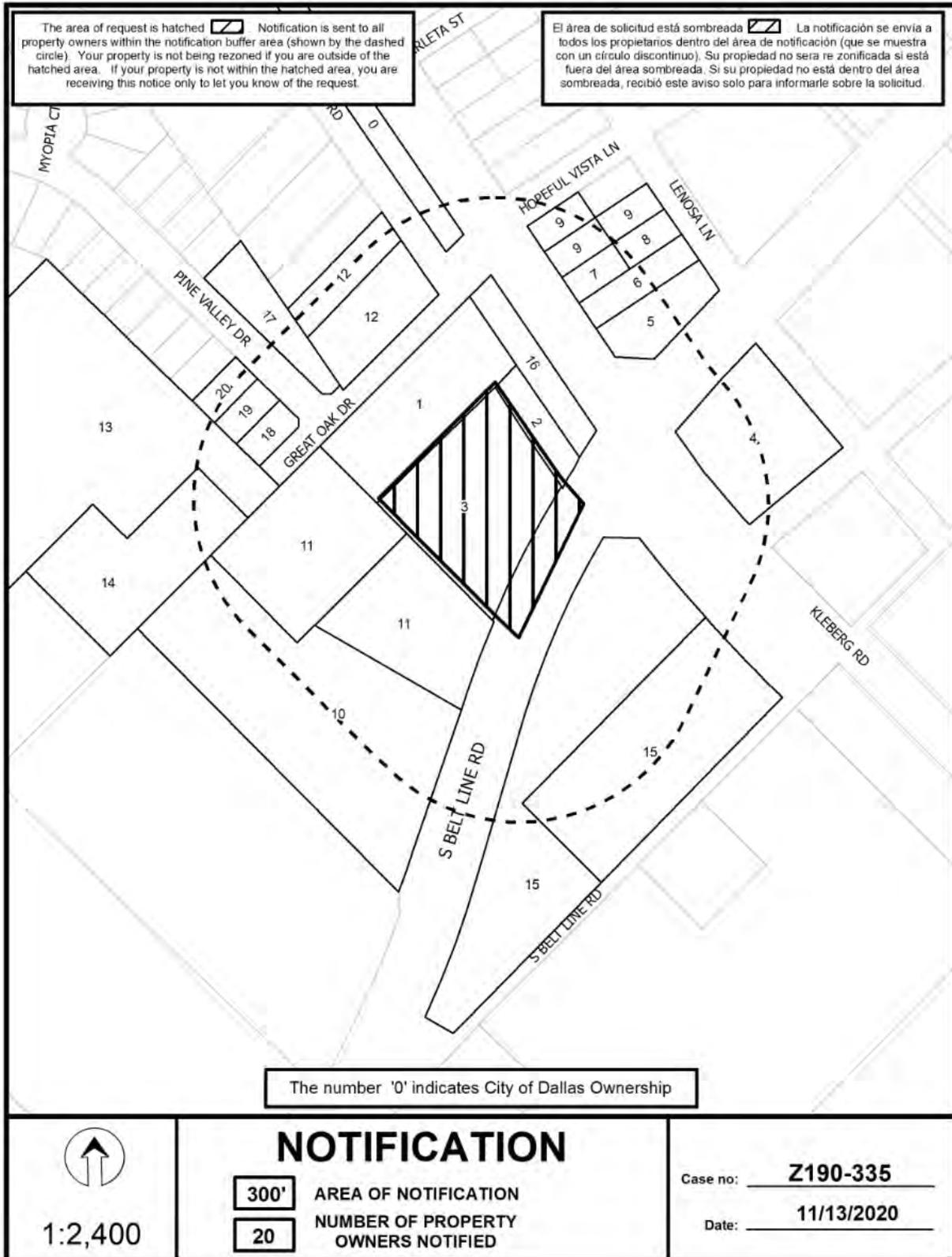


Market Value Analysis A B C D E F G H I NA

 1:6,000

Market Value Analysis

Printed Date: 11/13/2020



11/13/2020

Notification List of Property Owners***Z190-335******20 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2500 GREAT OAK DR	ONCOR ELECRTIC DELIVERY COMPANY
2	2500 S BELTLINE RD	TEXAS UTILITIES ELEC CO
3	2511 S BELTLINE RD	DG DTX LLC
4	2450 S BELTLINE RD	SALAZAR FRANCISCO & MIRIAM DELACRUZ
5	13529 KLEBERG RD	BAHARIA MALIK A
6	13523 KLEBERG RD	GEORGE BEN E
7	13517 KLEBERG RD	HALL SALLY E L & THOMAS T
8	13530 LENOSA LN	FOREMAN BOB
9	13500 LENOSA LN	GALVAN MARTIN
10	2619 S BELTLINE RD	PAREDES MAURICIO & VIRIDIANA
11	2531 S BELTLINE RD	COMPRESSORS UNLIMITED
12	2501 GREAT OAK DR	IBARRA SERGIO ARTURO
13	2500 GREAT OAK DR	GEORGE BEN E TR
14	2500 GREAT OAK DR	DELACRUZ BRILY ALEXANDER
15	2500 S BELTLINE RD	CHAMBLESS BENJAMIN P
16	2500 S BELTLINE RD	ONCOR ELECTRIC DELIVERY CO
17	13325 PINE VALLEY DR	SOTO JOSE
18	13342 PINE VALLEY DR	GONZALEZ ERIKA CARDONA
19	13338 PINE VALLEY DR	RODRIGUEZ MIGUEL ANGEL
20	13334 PINE VALLEY DR	TORRES GUADALUPE BENITEZ

FILE NUMBER: Z190-343(PD)

DATE FILED: August 24, 2020

LOCATION: East side of St. Augustine Drive, south of Seagoville Road

COUNCIL DISTRICT: 5

MAPSCO: 11 N

SIZE OF REQUEST: ±.71 acre

CENSUS TRACT: 117.01

REPRESENTATIVE: Catherine Chamblee, Brackin Schwartz & Associates

APPLICANT: Dolgencorp of Texas, Inc.

OWNER: Vaquero Kleberg Partners LP

REQUEST: An application for a Specific Use Permit for the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet on property zoned a CR-D-1 Community Retail District with a D-1 Liquor Control Overlay.

SUMMARY: The purpose of this request is to allow for the sale of alcoholic beverages for off-premise consumption in conjunction with an existing general merchandise or food store. [Dollar General]

STAFF RECOMMENDATION: Approval for a two-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The request site is developed with a ±7,500-square foot general merchandise or food store [Dollar General].
- The applicant proposes to sell beer and wine for off-premise consumption in conjunction with the existing general merchandise or food store use.
- The general merchandise or food store use is permitted by right. The sale of alcoholic beverages on the property requires a specific use permit due to the D-1 Liquor Control Overlay.

Zoning History: There have been two SUPD auto-renewal in the vicinity within the last five years.

1. Z190-264: On August 5, 2020, an automatic renewal of Specific Use Permit No. 2065 for the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet, was approved for a five-year period, on property zoned a CR-D-1 Commercial Retail District with a D-1 Liquor Control Overlay, located on the southwest corner of Old Seagoville Road, and South St. Augustine Drive.

2. Z145-319: On October 28, 2015, an automatic renewal of Specific Use Permit No.1838 for the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet, was approved for a five-year period with eligibility for automatic renewals for additional five-year periods, on property zoned a CR-D-1 Commercial Retail District with a D-1 Liquor Control Overlay, located on the southwest corner of Old Seagoville Road, and South St. Augustine Drive.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
South St. Augustine Road	Collector	80 feet
Old Seagoville Road	Local	60 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested and determined that it will not significantly impact the surrounding roadway system.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

The applicant’s request is consistent with the following goals and policies of the comprehensive plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods’ unique characteristics. Acknowledge the importance of neighborhoods to the city’s long-term health and vitality.

1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

URBAN DESIGN ELEMENT

GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

5.3.1.5 Build neighborhood facilities, such as schools, libraries and community centers, within walking distance of transit stations and homes.

Land Use:

	Zoning	Land Use
Site	CR-D-1	General merchandise or food store
West/Northwest	CR-D-1; SUP No. 2065	Single Family, shopping center (beer/wine)
North	CR-D-1	Restaurant w/drive-thru
East	R-7.5(A)	Single Family
South	R-7.5(A)	Single Family

STAFF ANALYSIS:

Land Use Compatibility:

The request site is developed with a ±7,500-square foot general merchandise or food store constructed in 2019. The applicant proposes to sell beer and wine for off-premise consumption in conjunction with the existing permitted use.

The property is adjacent to single family to the west, south and east with a restaurant use with drive-thru service to the north and a shopping center to the northeast across South St. Augustine Drive. A suite within the shopping center currently holds SUP No. 2065 that allows the sale of beer/wine for off-premise consumption [Malone's].

The "D-1" Overlay District is a Liquor Control Overlay District which requires an individual to obtain a Specific Use Permit in order to sell or serve alcoholic beverages, or setups for alcoholic beverages, for consumption on or off the premises.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The City Council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the City.

The general merchandise use is also regulated by Chapter 12B of the Dallas City Code, Convenience Stores. This chapter applies to all convenience stores, which is defined as any business that is primarily engaged in the retail sale of convenience goods, or both convenience goods and gasoline, and has less than 10,000 square feet of retail floor space; the term does not include any business that has no retail floor space accessible to the public. The purpose of Chapter 12B is to protect the health, safety, and welfare of the citizens of the city of Dallas by reducing the occurrence of crime, preventing the escalation of crime, and increasing the successful prosecution of crime that occurs in convenience stores in the city. This chapter establishes a registration program for convenience stores and provides requirements relating to:

- surveillance camera systems,
- video recording and storage systems,
- alarm systems,
- drop safes,
- security signs,
- height markers,

Z190-343(PD)

- store visibility,
- safety training programs, and
- trespass affidavits.

A separate certificate of registration to comply with Chapter 12B is required for each physically separate convenience store. A certificate of registration for a convenience store expires one year after the date of issuance and must be renewed annually.

The applicant's request, subject to the attached conditions, is consistent with the intent of the Dallas Development Code. Additionally, the representative provided documentation verifying the issuance of the Chapter 12B license.

Parking:

Pursuant to the Dallas Development Code, the off-street parking requirement for a general merchandise or food store use is one (1) space per 200 square feet of floor area. Therefore, the ±7,500-square foot general merchandise or food store requires 38 spaces.

Landscaping:

Landscaping must be provided in accordance with Article X, as amended. No new development is proposed with this request; therefore, no landscape requirements are triggered by this request.

Market Value Analysis:

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Although the area of request is not within an identifiable MVA cluster, it is in the vicinity of a "G" MVA cluster to the east and south and an "F" MVA cluster to the west across South St. Augustine Drive.

Police Report:

Staff requested crime statistics from the Dallas Police Department for the period from March 21, 2019 to November 2020. The results yield 43 calls, 12 offenses, and no arrests.

Calls:

Row Labels	Count of Problem
04 - 911 Hang Up	1
07 - Minor Accident	1
09 - Theft	2
09/01 - Theft	1
12B - Business Alarm	1
20 - Robbery	2
21B - Business Hold Up	9
32 - Suspicious Person	3
40 - Other	8
40/01 - Other	4
6X - Major Dist (Violence)	11
Grand Total	43

Offenses:

DataSource	IncidentNum	ServYr	ServNumID	Watch	Signal	Level_ID	NIBRS_Crime_CompStat
RMS/NIBRS	113310-2020	2020	113310-2020-01	2	6X - MAJOR DIST (VIOLENCE)	NULL	SIMPLE ASSAULT
RMS/NIBRS	086458-2019	2019	086458-2019-01	3	6X - MAJOR DIST (VIOLENCE)	NULL	INTIMIDATION
RMS/NIBRS	113310-2020	2020	113310-2020-02	2	6X - MAJOR DIST (VIOLENCE)	NULL	DESTRUCTION/ DAMAGE/ VANDALISM OF PROPERTY
RMS/NIBRS	259524-2019	2019	259524-2019-01	1	40/01 - OTHER	NULL	DESTRUCTION/ DAMAGE/ VANDALISM OF PROPERTY
RMS/NIBRS	167162-2019	2019	167162-2019-01	1	40 - OTHER	NULL	DESTRUCTION/ DAMAGE/ VANDALISM OF PROPERTY
RMS/NIBRS	086458-2019	2019	086458-2019-02	3	6X - MAJOR DIST (VIOLENCE)	NULL	DRUG/ NARCOTIC VIOLATIONS
RMS/NIBRS	159065-2019	2019	159065-2019-01	3	20 - ROBBERY	NULL	ROBBERY-BUSINESS
RMS/NIBRS	216254-2019	2019	216254-2019-02	3	20 - ROBBERY	NULL	ROBBERY-BUSINESS
RMS/NIBRS	064360-2020	2020	064360-2020-01	2	PSE/09 - THEFT	NULL	SHOPLIFTING
RMS/NIBRS	101299-2020	2020	101299-2020-01	3	40/01 - OTHER	NULL	SHOPLIFTING
RMS/NIBRS	106119-2020	2020	106119-2020-01	3	6X - MAJOR DIST (VIOLENCE)	NULL	SHOPLIFTING
RMS/NIBRS	246439-2019	2019	246439-2019-01	2	6X - MAJOR DIST (VIOLENCE)	NULL	SHOPLIFTING

Partners/Principals/Officers

Vaquero Ventures

W.A Landreth Co-founder

Brain C. Williams Co-founder

Emily L. Crockett Chief Operating Officer & Senior Counsel

Dolgencorp of Texas Inc.

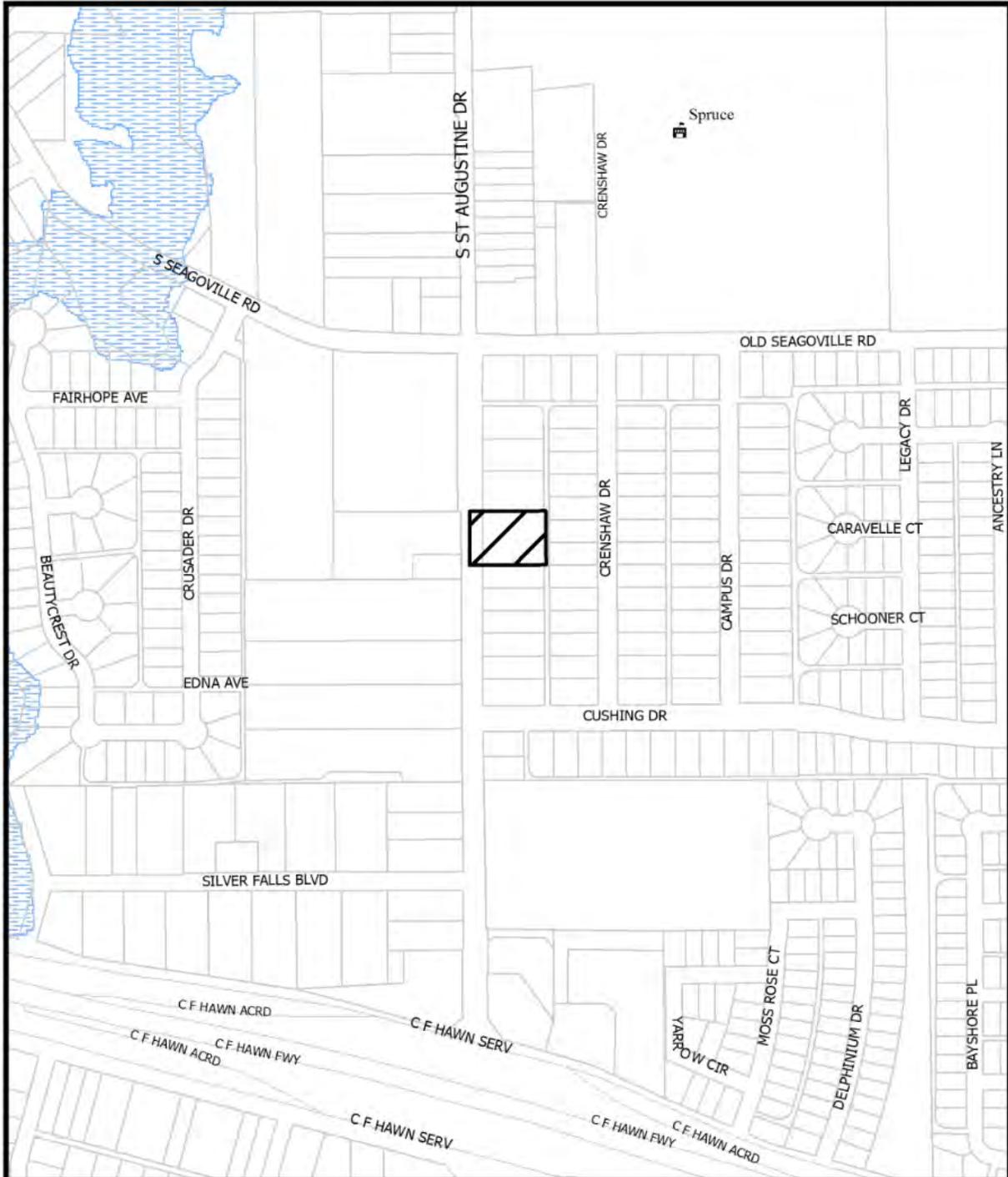
Steve R. Deckard CEO

John Garratt CFO

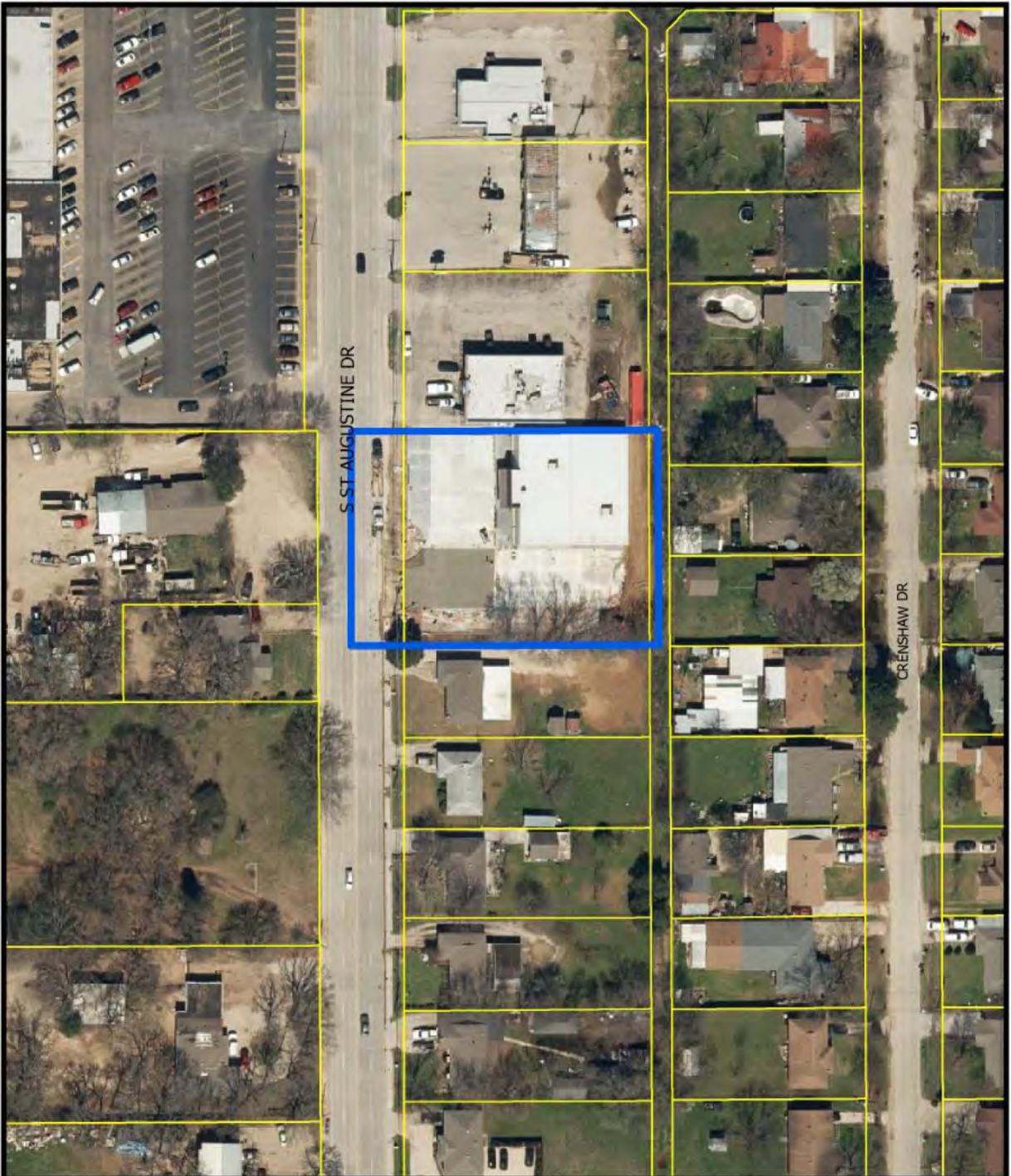
Jason S. Reiser Secretary

Proposed SUP Conditions

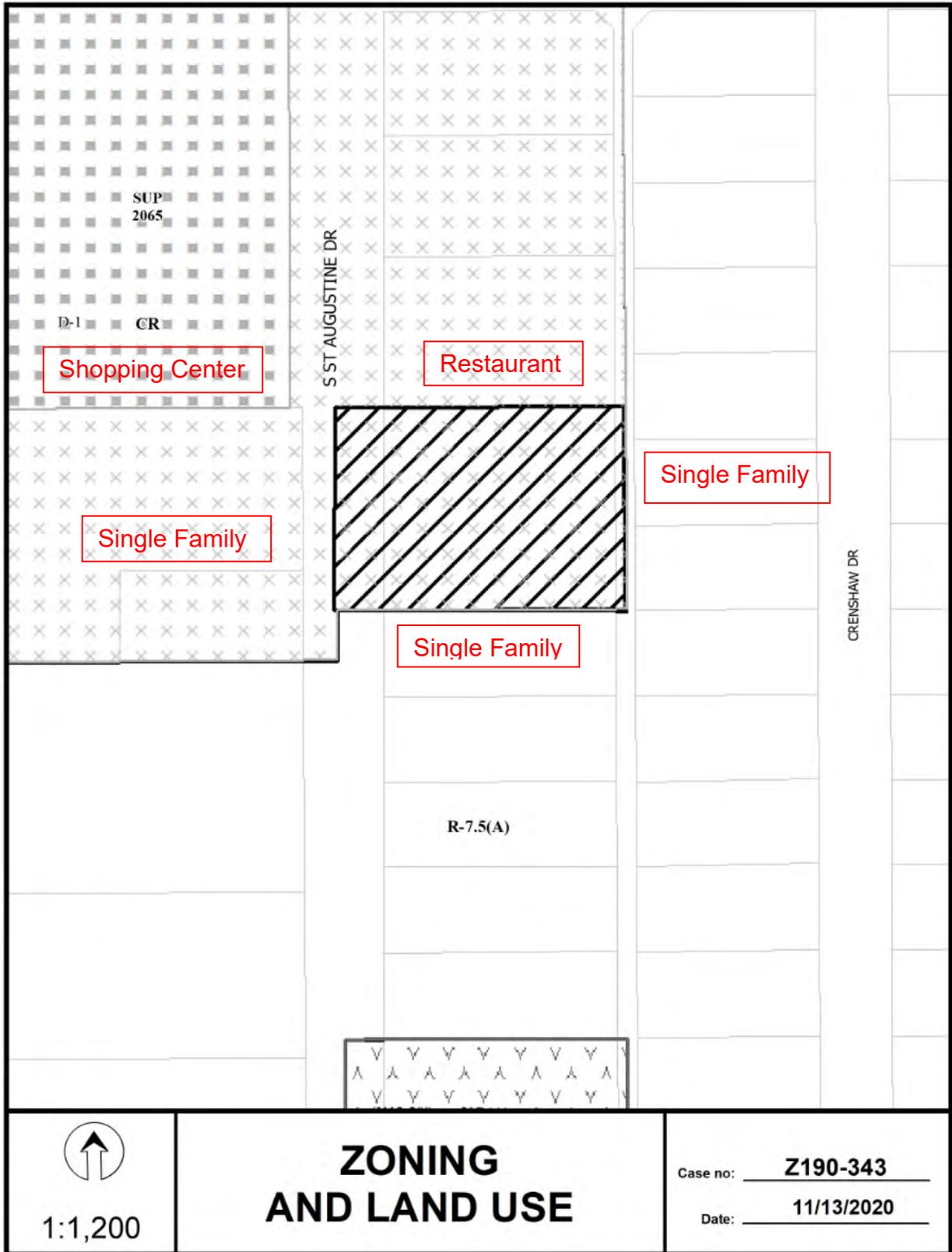
1. USE: The only use authorized by this specific use permit is the sale of alcoholic beverages in conjunction with a general merchandise or food store greater than 3,500 square feet.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on (two-years) but is eligible for automatic renewal for additional five-year periods, pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced.)
4. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
5. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

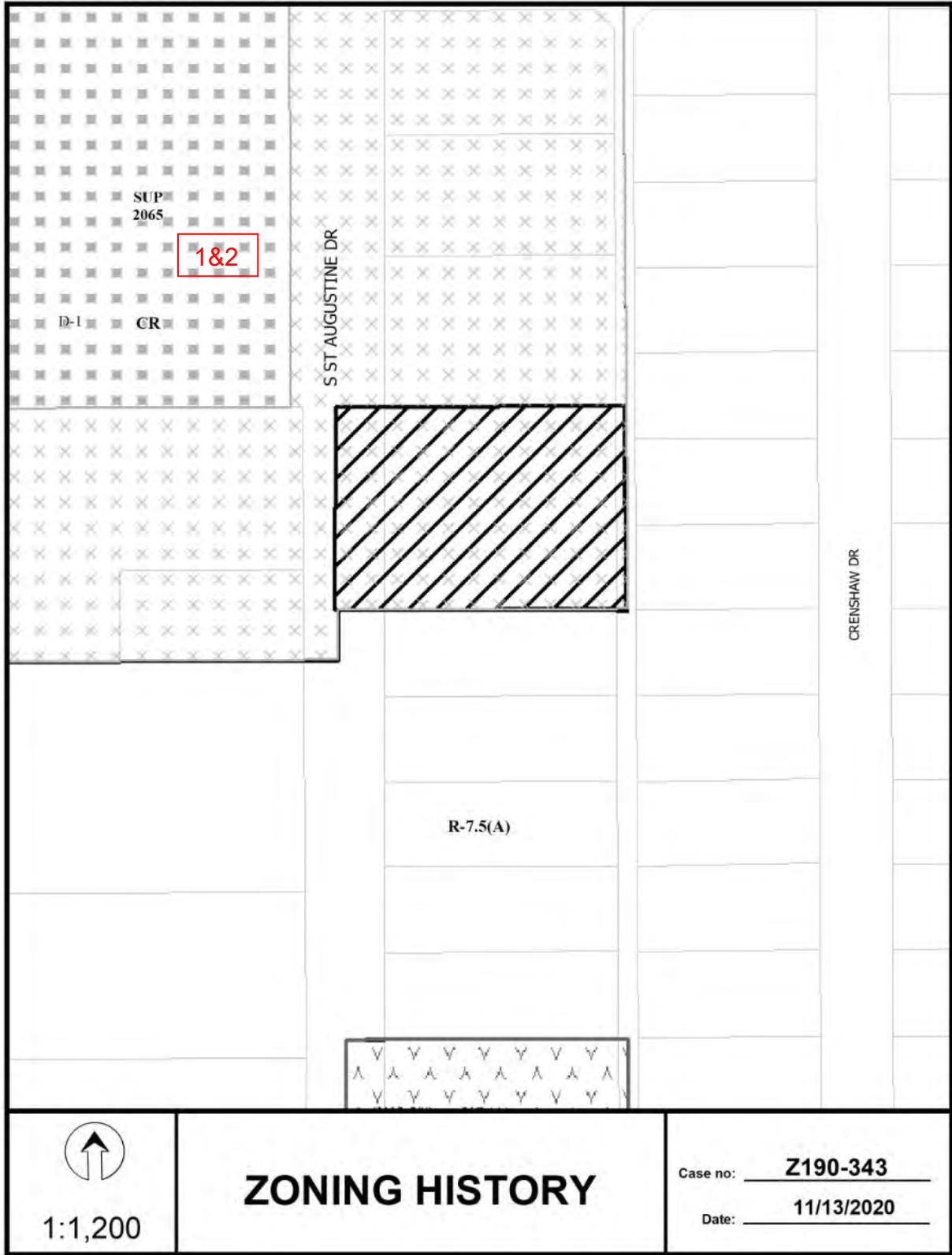


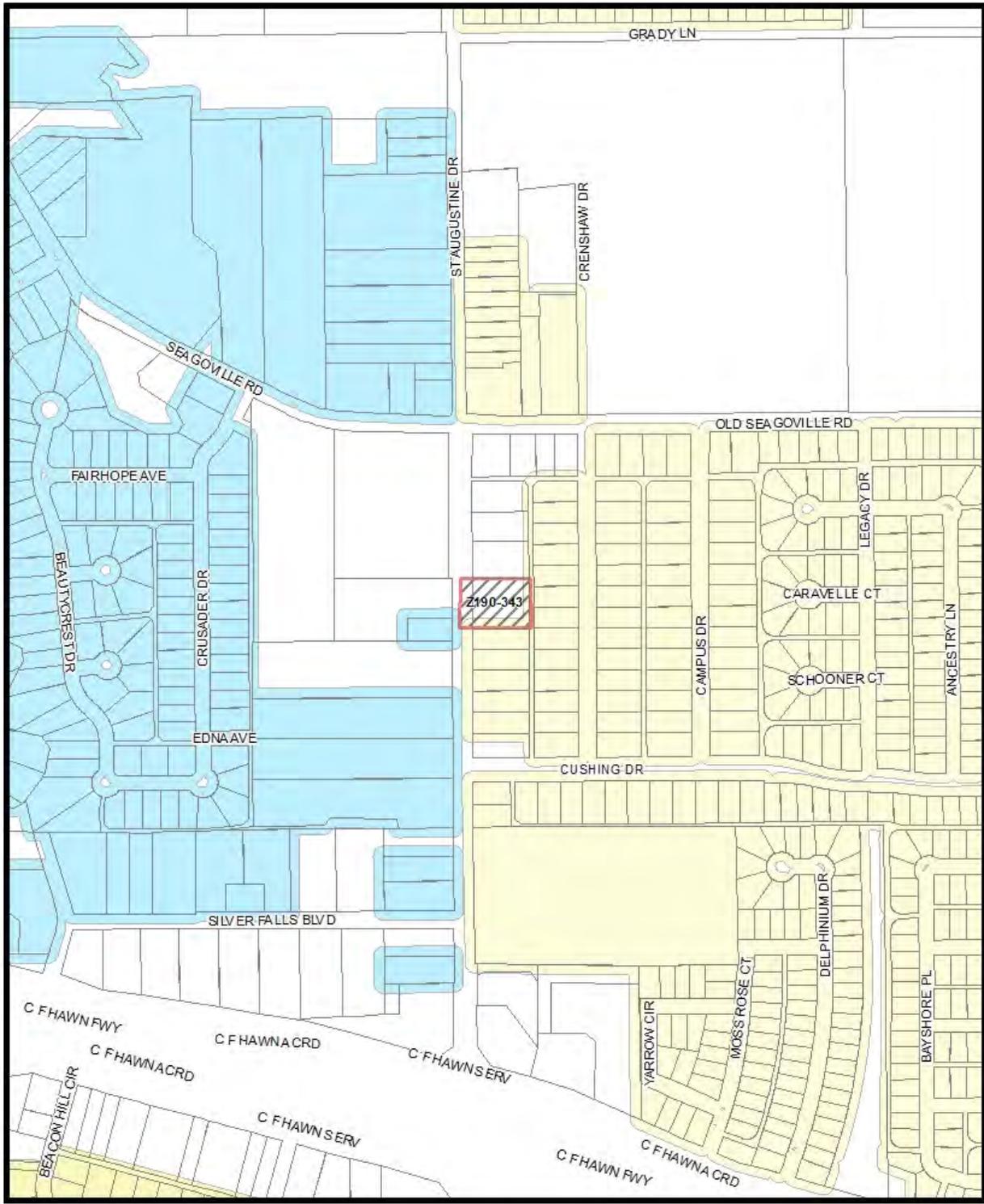
 1:4,800	<h2>VICINITY MAP</h2>	Case no: <u> Z190-343 </u> Date: <u> 11/13/2020 </u>
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 1:1,200	<h1>AERIAL MAP</h1>	Case no: <u> Z190-343 </u> Date: <u> 11/13/2020 </u>
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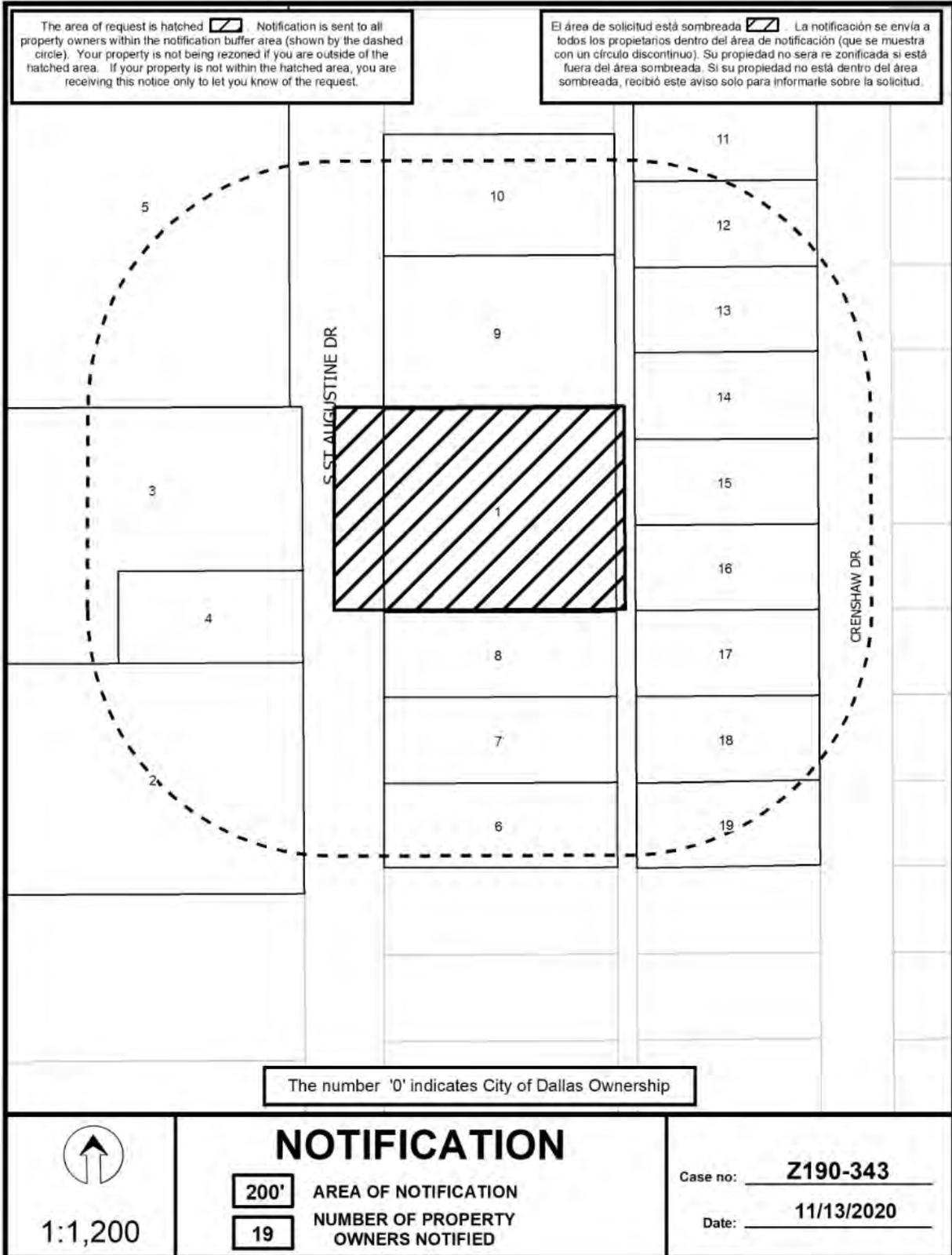


Market Value Analysis A B C D E F G H I NA

1:4,800

Market Value Analysis

Printed Date: 11/13/2020



11/13/2020

Notification List of Property Owners***Z190-343******19 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	342 S ST AUGUSTINE RD	BAAJ PROPERTY LLC
2	335 ST AUGUSTINE RD	CARTER JAMES
3	323 ST AUGUSTINE RD	CORDOVA LUIS
4	325 S ST AUGUSTINE RD	CORDOVA LUIS
5	333 S ST AUGUSTINE RD	BALLAS VICTOR E
6	362 S ST AUGUSTINE RD	GARCIA JESUS R
7	356 S ST AUGUSTINE RD	SANCHEZ PATRICIA
8	352 S ST AUGUSTINE RD	ALVARADO JUAN &
9	332 S ST AUGUSTINE RD	MILLER W C TRUSTEE
10	326 ST AUGUSTINE RD	OPALACH THOMAS
11	319 CRENSHAW DR	AREVALO NORMA A
12	325 CRENSHAW DR	PORTILLO REINA DE LAPAZ
13	331 CRENSHAW DR	SERRATO ADELFA
14	337 CRENSHAW DR	Taxpayer at
15	341 CRENSHAW DR	ALVAREZ LUIS
16	345 CRENSHAW DR	VILLATORO RODOLFO & MARIA
17	351 CRENSHAW DR	MORENO PEDRO
18	355 CRENSHAW DR	RINER JOYCE
19	361 CRENSHAW DR	OVALLE TEODORO &

Planner: Pamela Daniel

FILE NUMBER: Z190-158(PD) **DATE FILED:** December 6, 2019
LOCATION: Northeast corner of Gulden Lane and Singleton Boulevard
COUNCIL DISTRICT: 6 **MAPSCO:** 44 Q
SIZE OF REQUEST: ± 3.76 acres **CENSUS TRACT:** 101.02

REPRESENTATIVE: Laura Hoffman & Tommy Mann, Winstead PC

APPLICANT/OWNER: West Dallas Investments, L.P.

REQUEST: An application for a Planned Development District for office and mixed uses on property zoned an IR Industrial Research District.

SUMMARY: The applicant proposes to develop the site with a special office project and mixed uses. The applicant requests to create a Planned Development District to increase the maximum height; define and create allowance of a community memorial plaza; removal of the residential proximity slope on Tract 1; and deviate from the streetscapes, landscape, and sign regulations.

STAFF RECOMMENDATION: Approval, subject to a revised development plan, a revised streetscape exhibit, and staff’s recommended conditions.

PRIOR CPC ACTION: On November 5, 2020, the Commission held the request under advisement to facilitate a meeting between City departments and the representatives.

BACKGROUND INFORMATION:

- The request site consists of nine undeveloped parcels utilized as required parking for the existing retail and personal service uses to the west across Gulden Lane. Currently, a parking agreement exists that provides 241 required off-street parking spaces to satisfy the parking requirement for the existing uses.
- According to 2013 Google aerials, the request site was once developed with auto-related and industrial warehouse uses along the larger portion of the property fronting Singleton Boulevard while two single family dwellings appear to be developed on the remaining seven parcels fronting along Gulden Lane.
- According to the Google aerials, the industrial warehouse uses and single-family dwellings appear to have been demolished between October 2013 and March 2015.
- The applicant requests to create a new Planned Development District with two tracts (Tract 1 and Tract 2) to allow a special office project that proposes the following:
 - 1) definition and allowance of a “community memorial plaza” on Tract 2;
 - 2) remove the residential proximity slope on Tract 1;
 - 3) allow a maximum height of 400 feet in Tract 1;
 - 4) deviate from the front and side yard setbacks as permitted within a GO General Office District;
 - 5) remove the urban form setback and tower spacing setback requirements;
 - 6) deviating from the streetscapes standards as required by the West Dallas Urban Structure and Guidelines Area Plan (the Structure);
 - 7) utilizing both Tract 1 which proposes the office tower and Tract 2 which proposes the ~~memorial~~-community tribute plaza be considered as one lot when calculating the floor area ratio;
 - 8) ~~redefine a transit oriented development to allow a 10 percent reduction in the off-street parking requirement when restaurant uses are located within 1,200 feet of a DART bus station rather than the required proximity to a transit station;~~ allow Building Inspection to grant a 20 percent reduction in

Z190-158(PD)

the number of off-street parking spaces for office, retail, and personal service uses.

9) require no off-street parking requirements for the proposed community memorial plaza; and,

10) increase the number of allowable signs and sign types.

11) for an office use decrease the office street parking requirement from one per 333 to one per 366.

Zoning History: There have been four recent zoning cases within the vicinity in the past five years.

1. **Z190-180:** On November 5, 2020, the City Plan Commission will hear a request for a Planned Development District for office and mixed uses on property zoned an R-5(A) Single Family District, an IR Industrial Research District, and a CS Commercial Service District, located on the north side of Singleton Boulevard, between Bataan Street and Herbert Street.
2. **Z189-350:** On March 25, 2020, the City Council approved an amendment to Planned Development District No. 891 by incorporating property zoned an IR District into and expanding PD No. 891.
3. **Z156-302:** On September 28, 2016, City Council approved the expansion of Planned Development District No. 891 for certain Mixed Uses on property zoned an IR Industrial Research District.
4. **Z112-319:** On June 13, 2016, City Council approved Planned Development District No. 891 for certain Mixed Uses on property zoned an IR Industrial Research District.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Thoroughfare Plan Dimension; ROW
Singleton Boulevard	Major Arterial	88 feet
Gulden Street	Collector	56 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department reviewed the request and finds that the deviation from the Complete Streets Manual regarding streetscape standards will not significantly impact the surrounding roadway system.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The applicant's request generally complies with the following goals and policies of the Comprehensive Plan.

LAND USE ELEMENT

GOAL 1.1 Align land use strategies with economic development priorities

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

ECONOMIC ELEMENT

Policy 2.1.1. Ensure that zoning is flexible enough to respond to changing economic conditions.

Policy 2.5.2 Ensure that existing and future residential areas are appropriately linked in order to enhance economic development and urban design benefits.

GOAL 2.4 CREATE AND MAINTAIN AN ENVIRONMENT FRIENDLY TO BUSINESSES AND ENTREPRENEURS

Policy 2.4.2 Restore Dallas as the premier city for conducting business within the region.

URBAN DESIGN

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY

Policy 5.1.1 Promote pedestrian-friendly streetscapes.

Implementation Measure 5.1.1.3 Apply urban design tools in pedestrian or transit-oriented districts when approving zoning cases and when developing Area Plans.

Policy 5.1.2 Define urban character in Downtown and urban cores.

Policy 5.1.3 Encourage complementary building height, scale, design and character.

The *Neighborhood Plus Plan* was adopted by the City Council in October 2015 to set a new direction and shape new policy for housing and neighborhood revitalization in Dallas. The final chapter, Strategic Goals, delineates six strategic goals to shift our approach, policies and actions to achieve greater equity and prosperity for all Dallas residents, expand the range of housing options, and enhance the quality of neighborhoods.

GOAL 4.3 Enhance neighborhood desirability by improving infrastructure, housing stock, recreation and safety.

This project has the potential to meet several goals of the comprehensive plan. This distinctive neighborhood offers a variety of eating, shopping, working, and living opportunities. The proposed development will extend those options by adding a large format specialty office use, specialty retail and a community open space that honors notable members of the community. The proximity to the Margaret Hunt Hill Bridge and the quality of the design will make the site a feature within the neighborhood and of the area.

Area Plans:

On March 9, 2011, Council approved the **West Dallas Urban Structure and Guidelines Area Plan (the Structure)**. This document provides a template for redevelopment of an area generally bounded by Canada Drive/Beckley Avenue, IH-30, and Sylvan Avenue; and envisions dense, pedestrian-oriented, mixed-use neighborhoods along the Singleton Boulevard and Herbert Street corridors. This expansion of the planned development district helps to implement the West Dallas Urban Structure and Guidelines.

The Structure was developed using a collaborative community-based process under the guidance of the Dallas CityDesign Studio. Public input was a cornerstone of the Structure's development, with over 40 community meetings as well as detailed

discussion and interaction with the applicant in order to reach a consensus around the vision for the area. The development objectives include:

1. Preserve, enhance, conserve the La Bajada community in its entirety;
2. Re-Create Singleton Boulevard and Commerce Street as handsome "parkway" streets entering the inner city;
3. Create a new neighborhood spine street of retail and services with high-density mixed-use clustered along it;
4. Step-down in density from the new neighborhood spine east, west and toward La Bajada;
5. Development of three to four (3-4) active mixed-use nodes at major intersections;
6. Allow for incremental rehabilitation and infill re-development of properties east, west, and south of new neighborhood spine as demand emerges, and;
7. Create a high-density, residentially focused neighborhood along the levee with connections into the Trinity Park.

As determined by staff, the three primary objectives of “the Structure are to enhance and protect La Bajada, encourage incremental development, and foster new development that complies with the vision. The key to achieving these objectives successfully lies in the concept of reorienting development pressure away from La Bajada and concentrating the opportunities for density along a newly-established Herbert Street spine that runs from Singleton to West Commerce Street. As an investment in this key move to reformat the built environment in the area, the City of Dallas included \$34 million in the 2012 Bond Program to design and construct underpasses under the existing Union Pacific Railroad. This improved connectivity places the target for growth south of Singleton Boulevard; however, its success hinges on concentrating growth in a manner that establishes Herbert Street as the central spine street that includes key development nodes and high density from W. Commerce Street to Single Boulevard with a step-down in density from east, west, and toward La Bajada.

The **Trinity River Corridor Comprehensive Land Use Plan**, adopted by Dallas City Council in March 2005, serves as a framework for a coordinated approach to the Trinity Project infrastructure improvements, land use and economic development. Its broad vision describes the character this corridor should have for the future. It establishes general principles that direct preparation of detailed plans for smaller parts of the corridor. It provides guidance about the appropriate land uses and development patterns for the corridor that can be used by citizens, property owners, and City officials

as they review specific development proposals. Within this larger plan lies West Dallas. With its strategic location across the Trinity from downtown, it is envisioned to follow a mixed-use development pattern. This pattern should incorporate a vibrant mix of residential and employment uses at a lower density than that found in downtown but providing residents with a vibrant blend of opportunities to live, work, shop and play within a closely defined area. “This Structure” is an updated and refined vision for this area.

STAFF ANALYSIS:

Surrounding Land Uses:

	Zoning	Land Use
Site	IR	Surface parking lot
North	IR, A(A)	Undeveloped, walking trail
East	A(A)	Trinity River Floodway, walking trail, Margaret Hunt Hill Bridge
South	IR, SUP No. 573	Concrete Batch Plant, Electrical Substation
West	IR, R-5(A) w/NSO No. 13	Restaurant, personal service, single family

Land Use Compatibility:

The combined site contains 3.76 acres of land exclusive of right-of-way. According to DCAD and City Certificate of Occupancy records, a building with approximately 9,760 square feet containing an auto-related and industrial warehouse use has existed in the portion fronting along Singleton Boulevard in 2013. Similarly, Google aeriels depict the parcels fronting along Gulden Lane containing two single family dwellings in 2013. All improvements appear to have been razed between 2013 and 2015. Currently, the request site contains off-street parking spaces through a parking agreement that provides 241 required spaces for the restaurant and retail uses to the west across Gulden Lane.

Surrounding land uses consist of an undeveloped tract and a walking trail to the north; the Trinity River Floodway, walking trail and Margaret Hunt Hill Bridge to the east; a concrete batch plant and electrical substation to the south; and restaurant, personal service and single family use to the west.

The request seeks to develop the site with a 400-foot tower office use with a maximum floor area of 650,000 square feet, and mixed uses to include an institutional and

community service use consisting of a community ~~memorial~~ tribute plaza, office uses, a financial institution without drive-in window, a commercial parking lot or garage, general merchandise or food store 3,500 square feet or less, a general merchandise or food store greater than 3,500 square feet, and personal service uses excluding tattoo or body piercing studio or massage establishment.

The area encompassing the request site is unique in the aspect of having adjacency to Downtown, the Design District, Victory Park, and the recreational opportunities of the planned Trinity Park. The area is home to a strong and vibrant Mexican American neighborhood that comprises the residential core for the community. Having undergone decades of disinvestment the area is burdened by negative external perceptions. Since the completion of the Margaret Hunt Hill Bridge, the area and request site acts as a gateway into West Dallas and the La Bajada Neighborhood. However, previous disinvestment and disconnection from the rest of the City created challenges that gave the impression of a declining urban environment. However, reinvestment into the community is awakening the desire to enhance and utilize the area's advantages to create a more desirable place to live, conduct business, and experience unique cultural and urban amenities.

"The Urban Structure" anticipates development in this area to reach a population of 24,000. The plan includes approximately 16,000 units of mixed income housing, and over two million (2,000,000) square feet of commercial or employment area. "The Structure" identifies nine envisioned neighborhoods describing a unique character, vision and combination of land uses for each. "The Structure" outlines the request site as being within the Trinity Point neighborhood. The vision of Trinity Point is to ensure that the West Dallas Gateway for the Margaret Hunt Hill & Continental Bridges is developed with a range of building heights announcing arrival from the east with strong orientation to the Trinity River. The recommended uses consist of high density residential with retail at grade, high density office with retail at grade, hospitality, multifamily with retail at grade plus office, townhome, outdoor/indoor market and park. The growth scenario is approximately 6,000,000 square feet of new development in this high density area along with 3,500 housing units.

Development Standards:

SUBDISTRICT	SETBACKS		FAR	Height	Lot Coverage	Additional Provisions	PRIMARY Uses
	Front	Side/Rear					
IR Industrial	15'	30' res adj OTHER: No min.	.5 Retail & personal srvc .75 lodging, office, retail & personal srv 2.0 all combined	200'	80%	RPS	Light industrial, office and supporting commercial uses
PD Applicant's Request	6'	10'	650,000 sqft 4.5 Tract 1 3.9 Tract 1 & 2 combined	400' 36' Tract 2	80%	Tower spacing RPS on Tract 2	Office tower, mixed uses
PD Staff's Recommendation	6'	10'	650,000 sqft 4.5 Tract 1 3.9 Tract 1 & 2 combined	300' Tract 1 30' Tract 2	80%	Tower spacing RPS on Tract 2	Office tower, mixed uses

The following development standards are proposed with this request:

- Reduce the front yard setback from 15 feet to five feet on Gulden Lane and prohibit urban form setback and towering spacing. Staff supports this request because it creates a more urban environment along the street frontages and orients the portion of the property designated for the proposed tower portion on the parcel fronting Singleton Boulevard. Additionally, the applicant has sought to provide a kind of tower spacing by conditioning and varying maximum lot coverage percentages to varied heights. For example, the maximum lot coverage for any portion of a building greater than 85 feet in height is 40 percent.
- Define and allow a “community ~~memorial~~ tribute plaza” on Tract 2. Staff supports this request since the proposed development seeks to facilitate commercial and social interaction by simply placing people together in a relatively compact and walkable space. The compactness of people, buildings and activities make urban amenities possible promoting vitality and diversity. By allowing a “community ~~memorial~~ tribute plaza” the development is creating open spaces where local residents can meet, socialize and provide the community a sense of pride, place, and belonging. Further “the Structure” provides guidelines for public art that connects people to one another and builds strong communities. “The Structure” states that public art should have the power to engender aesthetic experiences, transform public spaces, celebrate history, provoke ideas, and carry social messages, as proposed by the request.

- Remove the residential proximity slope on Tract 1, increase the FAR from 2.0 as allowed in an IR District to 4.5-to-one, and increase the height from 200 feet to 400 feet. The underlying GO General Office District proposed by the request allows a maximum FAR of 4.0 and a maximum height of 240 feet. This tract is currently zoned an IR Industrial Research District and allows a maximum height of 200 feet. RPS originates from the residential dwellings northwest of the request site. In reviewing this request, staff considered the guidelines and vision of “the Structure” and the community’s interest and determined that in planning for growth a variety of tools should be utilized and considered to balance and integrate growth. Since “the Structure” envisions an estimated population of six to twelve million people by 2050, density and height are tools that must be considered. The ability to achieve higher density in existing communities through infill development and reuse of existing structures while also encouraging denser and taller new development are all key. Density and height combined with inviting streetscapes and open spaces increase walkability and therefore decreases our reliance on the automobile. Dense development redirects the focus of current growth away from the periphery and concentrates uses in the core of the city where infrastructure and services can efficiently be increased. Staff believes that the location of the proposed Tract 1 along Singleton Boulevard and the Margaret Hunt Hill Bridge combined with the request to ensure that Tract 2 seeks to provide a balance between private development and public good that incorporates the social, economic and environmental needs of the desired population and therefore recommends a maximum height of 300-feet.

The adjacent properties to the south and west are largely zoned an IR Industrial District with a maximum allowable height of 200 feet. Since an IR District allows a maximum height of 200 feet with a maximum of 15 stories, the plate height for each story is approximately 13 feet. Making allowance for the urban design standards, the public amenity of approximately 21,715 square feet, and architectural design standards, outlined in staff’s recommendation, the trade-off in additional of 100-feet will provide a maximum height of 300 feet and a maximum allowable stories of 20. Considering the encouragement of density and height in envisioned along Singleton Boulevard, the existing height allowance and staff’s recommended conditions will prevent the skyscraper effect and potentially alleviate the canyon effect that could occur as the area redevelops and utilizes the allowable height less imposing upon the existing structures. Additionally, to better understand the impact of the proposed structure to the neighborhood, staff has incorporated height/shade exhibits at the existing permitted height of 200 feet, staff’s recommended height of 300 feet and the applicant’s proposed height of 400 feet. The exhibits will depict the shadow effect on the neighboring residential neighborhood during morning, noon and evening.

- Utilizing both Tract 1 which proposes the office tower and Tract 2 which proposes the ~~memorial~~ tribute plaza being considered as one lot when calculating the floor area ratio. The request does seek to consider Tract 1 and Tract 2 as one lot for the purposes of reducing the floor area ratio calculation. If allowed, the total of both lots provides a lot area of 163,744. The maximum proposed floor area for the new development is 650,000 square feet. This will provide a maximum FAR of 3.96 or 4.0-to-one while only utilizing Tract 1 in the calculation with a lot area of 142,089 and the same maximum floor area for the proposed developed being 650,000 square feet, the maximum FAR will be slightly more at 4.5-to-one. Since the difference of 4.0-to-one and 4.5-to-one is minimal, staff supports the request to consider both lots as one when calculating the floor area ratio.
- ~~Redefine a transit oriented development to allow a 10 percent reduction in the off-street parking requirement when restaurant uses are located within 1,200 feet of a DART bus station rather than the required proximity to a transit station. No DART Station currently exists within 1,200 feet of the request site. The closest DART Station is West End Station which is approximately 1.5 miles (7,920ft). Staff does not support redefining a requirement regulated by the Transportation Division to circumvent compliance of a Transit Oriented Development and further reduce the required off-street parking regulation for all retail and personal service uses. Allow Building Inspection to grant a 20 percent reduction in the number of off-street parking spaces for office, retail, and personal service uses. The conditions have been revised to request a greater percentage reduction by seeking director approval rather than redefining a TOD, now increasing the off-street parking ratio from one per 333 to one per 366, and requiring no parking requirement for the community tribute plaza on Tract 2. Staff does not support a 20 percent reduction for office, retail and personal service uses. However, staff recognizes that office use typically generates less parking than retail and personal service uses and can support a 10 percent reduction of the off-street parking ratio for office uses. Additionally, the request site currently provides a parking agreement providing 241 required spaces for the adjacent retail and personal service uses to the west across Gulden Lane. Staff has concerns with how the off-street parking compliance can be met for the adjacent property during construction of this project.~~
- Increase the number of allowable signs and sign types. “The Structure” provides guidelines for signage to provide effective communication with the public requiring clear, concise delivery of understandable message through a certain medium. Signage in West Dallas should be of high quality and designed to offer a positive image and identity. Signage should enhance overall property values

and the visual environment in West Dallas by discouraging signs which contribute to the visual clutter of the streetscape. Staff has reviewed the request and determined that the requested signs and sign types will not support the vision of “the Structure Area Plan”.

The proposed roof sign, announcement sign and identification signs propose an increased effective area of 1,000 square feet, 1,500 square feet and 1,800 square feet, respectively. Under the current zoning regulations for signs on this site, attached signs are allowed to cover up to 25% of the primary elevation & up to 15% of the secondary elevations. However, any attached sign located within 100’ of private property in a non-business zoning district, is restricted to 40 sq. ft. A digital display is allowed where any other sign is allowed, however the size must be reduced to 50% of the allowed square footage for that sign or 50 sq. ft., whichever is more. Roof signs are not permitted under the current regulations, or anywhere in the city, outside of an SPSD or PD that specifically allows for them (especially one of this size, other than in PD No. 891, across the street). Attached signs are limited to eight words over four-inches-tall per façade (words less than four inches in height can be used with restriction as to number). The regulation applies to attached digital displays as well as static signs. All things considered and the proximity of the site to the protected single family residential, district to the southwest, staff cannot support the sign request for project announcement signs, identification signs, and accent lighting as proposed.

Overall, staff supports the request subject to staff’s recommended conditions as described in this report. However, staff does believe that more consideration should be given to the development of Tract 2 to ensure that the requested increases in development rights are contingent on the development of the public amenity being offered to the community. Staff’s support comes from conservation of the existing La Bajada neighborhood, encouragement of incremental growth, and the creation of a dense east/west center spine focusing development pressure away from the existing neighborhood, as described in “the Structure”. Additionally, the request site’s location at a major entry point into West Dallas from downtown, the proximity to the Margaret Hunt Hill Bridge and the Trinity River offers more of a transitional character that can support more height and density at the edge of the existing La Bajada neighborhood. As detailed in “the Structure”, variations from the detailed plan will no doubt be appropriate, but **only** when consistent with the intent of this “Urban Structure” and the underlying design principles, objectives and guidelines established in the area plan.

Parking:

Off-street parking will be provided for each use in accordance with the Development Code. The applicant proposes an office project with a mix of uses consisting of retail, restaurant and multiple family uses. Office uses require one space per 333 square feet of floor area. Retail related uses generally require one space per 220 square feet of floor area. Restaurant uses require one space per 100 square feet of floor area.

The applicant proposes to provide the off-street parking and loading spaces in surface parking lots and within an above-ground structure which is discouraged in the Structure. Additionally, the request seeks to reduce the off-street parking requirement by 20 percent for all uses and an additional increase in the parking ratio for office uses.

Signs:

The Sign Division has reviewed the requested sign provisions and cannot support the request for the following reasons:

- 1) As required in Article VII, banner signs are only allowed on streetlight poles however the request does not clarify where the signs are allowed. Requests for banner signs are regulated by Special Events and the PD should not circumvent the processes. Further banner signs are not allowed for individual tenants or businesses and cannot be regulated if permits are not required, as requested.
- 2) Projections of light cannot be projected across property line, but the request proposes to do so with residential adjacency;
- 3) Promotional signs as defined in the request seek to allow signs that benefit the City. This is objective and clarification on the events that benefit the City should be stated. As an example, from another part of the ordinance - "supported by a resolution of the city council that recognizes the activity or event as significantly benefiting the city"; and,
- 4) Generally, temporary signs are not allowed at all in most of the city. To allow two at any given time, located anywhere in the district, attached or detached, up to 1500 sq. ft. for 180 days at time is a lot. Especially, if they are allowed to promote individual tenants. Essentially these are supergraphics that can also be detached signs and should be discouraged near residential districts.

Landscaping:

The mandatory requirements of Sec. 10.125 and landscape design option points in Sec. 10.126 of Article X, as amended are not applicable in this district since none of the conditions below exist.

- No site trees

- No landscape design option points
- No interior zone landscaping (including site trees)
- No residential buffer zone
- No screening of off-street loading (NA)

This directs all landscaping to the street exhibits and text for planting the tower site and the multipurpose area.

ASSESSMENT: The site is highly developed in close proximity to the street frontage and the proposed structure encompasses the bulk of the lot. It provides minimal ability to meet Article X provisions, so the reductions are to scale to the availability of space. Added Singleton easements would hinder site tree planting along the frontage and ROW near the bridge. This site best conforms to this type of limited landscape ordinance or to a landscape plan for approval by Council. The building and pervious surface is not likely to be scaled back.

Market Value Analysis:

Market Value Analysis (MVA), is a tool to aid residents and policy makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Portions of the property to the north along Pueblo Street are within an identifiable “H” MVA cluster while the remaining parcels are not within an identifiable MVA cluster. The request is immediately adjacent to an “H” MVA cluster to the west, northwest, northeast and an “E” MVA cluster to the southeast across Singleton Boulevard to the southeast.

LISTS OF OFFICERS

West Dallas Investments, LP
J. Stuart Fitts, Managing Partner
Philip Romano, Managing Partner
Larry McGregor, Managing Partner

Proposed PD Conditions

ARTICLE ____.

PD ____.

SEC. 51P-____-101.

LEGISLATIVE HISTORY

PD ____ was established by Ordinance No. _____, passed by the Dallas City Council on _____, 2020. (Ord. No. _____)

SEC. 51P-____-102.

PROPERTY LOCATION AND SIZE.

PD ____ is established on property generally bounded by Singleton Boulevard on the south, Gulden Lane to the west, and the Trinity River to the north and east. The size of PD ____ is approximately 3.76 acres.

SEC. 51P-____-103.

DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51A apply to this article.

(b) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51A.

(c) This district is considered to be a nonresidential zoning district.

(d) ~~COMMUNITY MEMORIAL~~ TRIBUTE PLAZA means a building, monuments, enhanced pavement, outdoor seating, shade structures, pedestrian pathways, lighting, or other improvements and structures on Tract 2 containing information intended to honor current and past community residents and stakeholders.

(e) MASSAGE ESTABLISHMENT means a massage establishment as defined by the Texas Occupation Code 455, as amended, where massage is practiced by anyone not a duly licensed physician or chiropractor. This term does not include, however, duly licensed beauty parlors or barbershops, gyms, fitness studios, or a place wherein registered physical therapists treat only patients recommended by a licensed physician. MASSAGE means a massage as defined by the Texas Occupation Code 455, as amended, but does not include massage by duly licensed physicians and chiropractors, registered physical therapists who treat only patients recommended by a licensed physician, massage services provided in conjunction with a gym or fitness studio, or massage practiced by beauty parlors or barbershops duly licensed under the penal code of the state.

(f) PARKWAY means the portion of a street right-of-way between the projected street curb and the front lot line.

(g) TATTOO OR BODY PIERCING STUDIO means a business in which tattooing or body piercing is performed. TATTOOING means the practice of producing an indelible mark or figure on the human body by scarring or inserting a pigment under the skin using needles, scalpels, or other related equipment. BODY PIERCING means the piercing of body parts, other than ears, for purposes of allowing the insertion of jewelry.

(h) TRANSPARENCY means the total area of window opening, door opening, or other opening, expressed as a percentage of the total facade area by story.

SEC. 51P-____-104. EXHIBITS.

The following exhibits are incorporated into this article:

- (a) Exhibit A: Development plan.
- (b) Exhibit B: Streetscape Standards.

SEC. 51P-____-105. DEVELOPMENT PLAN.

(a) Development and use of the Property must comply with the development plan (Exhibit __A). In the event of a conflict between the text of this article and the development plan, the text of this article controls.

(b) This district is divided into two tracts: Tract 1 and Tract 2 as shown on the development plan.

Staff's Recommendation:

SEC. 51P-____-106. MAIN USES PERMITTED.

(a) ~~In general. The~~ Tract 1. On Tract 1, the, the following uses are the only main uses permitted:

(1) Institutional and community service uses.

-- Community ~~memorial~~tribute plaza.

(2) Office uses.

-- Financial institution without drive-in window. [*only in the same building as an office use.*]

-- Office.

(3) Retail and personal service uses. [*See Section 51P-____-106(b) for use restrictions.*]

-- Commercial parking lot or garage [*This use may be located below ground and within any level at or above ground.*].

-- General merchandise or food store 3,500 square feet or less.

-- General merchandise or food store greater than 3,500 square feet.

-- Personal service uses. [*Excluding tattoo or body piercing studio or massage establishment.*]

-- Restaurant without drive-in or drive-through service.

(b) ~~Additional provisions for retail~~ Tract 2. Except as otherwise provided in Section 51P-106(e), on Tract 2, the following uses are the only main uses permitted:

(1) Institutional and ~~personal~~ community service uses.

-- Community tribute plaza.

(c) Additional provisions for retail and personal service uses on Tract 1.

(1) A general merchandise or food store, personal service use, or restaurant without drive-in or drive through service is only allowed on the first two floors in the same building as an office use.

(2) A commercial parking lot or garage is only allowed if located on the same building site as an office use.

(d) Additional provisions for Tract 2. The only structures permitted on Tract 2 are architectural elements, such as spires or pillars; flag poles; sculptures; tables and seating areas; pavilions, shade structures, colonnades, pergolas, gazebos, or other similar structures that are not fully enclosed. Any structures on Tract 2 are not required to be shown on the development plan.

Staff's Recommendation:

(c) Shared improvements between Tract 1 and Tract 2. Driveways, parking areas, and similar horizontal improvements for uses on Tract 1 may be located on Tract 2.

Applicant's Request:

e) Shared improvements between Tract 1 and Tract 2. Driveways, parking areas, and similar horizontal improvements for uses on Tract 1 may be located on Tract 2.

SEC. 51P-___-107.

ACCESSORY USES.

As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.

SEC. 51P-___-108.

YARD, LOT, AND SPACE REGULATIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Division 51A-4.400. If there is a conflict between this section and Division 51A-4.400, this section controls.)

(a) In general. Except as otherwise provided in this section, the yard, lot, and space regulations in the GO(A) General Office district apply to this district.

Staff's Recommendation:

(1) Increased Development Standards. When the provisions of Section 51P-109 are met, the modifications to the height in this subsection apply.

Applicant's Request:

~~(1) Increased Development Standards.~~ When the provisions of Section 51P-109 are met, the modifications to the height in this subsection apply.

(b) On Tract 1, the residential proximity slope does not apply.

(c) On Tract 2, no building may be located above the residential proximity slope.

Staff's Recommendation:

(d) Height for Tract 1. Except as provided, Maximum structure height is 200 feet. When the provisions of Sec. 51P-108(e)(f)(h) and 51P-109 are met, the maximum structure height may be increased to 300 feet.

Applicant's Request:

(d) Height for Tract 1. Except as provided, Maximum structure height is 200 feet. When the provisions of Sec. 51P-108(e)(f)(h) and 51P-109 are met, the maximum structure height may be increased to 300 feet. Maximum structure height is 400 feet.

Staff's Recommendation:

(e) Height for Tract 2. Maximum structure height is 30 feet.

Applicant's Request:

(e) Height for Tract 2. Maximum structure height is 36 feet.

~~(f)~~ Front Yard. ~~Minimum~~

(1) Except as otherwise provided, minimum front yard is 6 feet.

(2) For portions of a building above 85 feet in height, minimum front yard is 50 feet.

(3) No urban form setback is required.

~~(g)~~ Side and Rear Yard. ~~No minimum~~

(1) Minimum side and rear yard is 10 feet.

(2) No tower spacing setback is required.

Lot coverage.

- (1) Except as otherwise provided in this paragraph, maximum lot coverage is 80 percent.
- (2) Maximum lot coverage for any portion of a building greater than 85 feet in height is 40 percent.
- (3) Maximum lot coverage for any portion of a building greater than 120 feet in height is 30 percent.
- (4) Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

~~(e)~~ (i) Tract 1 and Tract 2 are considered one lot for purposes of floor area ratio calculations.

SEC. 51P-___-109.

URBAN DESIGN REQUIREMENTS FOR TRACT 1.

(a) In general. Development on Tract 1 and 2 must comply with the following urban design requirements.

(b) Architectural elements. A minimum of one architectural element, such as the following, must be provided at all pedestrian entry points to a parking structure or building:

- (1) Arcade,
- (2) Arch,
- (3) Canopy,
- (4) Awning,
- (5) Turret,
- (6) Portal,
- (7) Cantilevered building above entrance, or
- (8) Similar architectural feature.

(c) Ground story transparency. The portion of the main building indicated on the development plan as wrapping around the parking garage must have a minimum transparency of 50 percent for the portion of the building on the ground level between grade and 13 feet in height.

(d) Parking structures.

(1) Parking levels must be concealed by floor area of the main building where indicated on the development plan. Except where parking levels are concealed by the main building, sloping ramps located at the perimeter of garage structures must be screened through the use of vegetation, metal panels, perforated metal screens, solid walls, or other architectural elements to obscure at least half of the sloping ramps' length from view. The garage is not required to be fully enclosed to satisfy this condition.

(2) Exterior parking structure façade openings must provide solid screening with a painted, stained, or masonry-like finish a minimum of 42 inches from the floor level within the parking structure to screen vehicles and vehicle headlights.

(3) Along Gulden Lane, a minimum of every 200' of facade length must provide variation within the vertical plane of a minimum of 5'.

(4) The ground-level must contain pedestrian entrances separate from the entrances for vehicular traffic. At least two pedestrian entrances must be located on Gulden Lane, and at least one must be located along the northern façade of a building or parking structure on Tract 1 facing Tract 2.

(5) All vehicular garage entrances adjacent to a street shall incorporate an enhanced paving strip of at least 10 feet in width, consisting of unit pavers, textured/scored concrete, or other enhanced paving materials.

(6) Murals, enhanced lighting and imaging, or similar artistic installments may be utilized on exposed portions of the garage to enhance visual appeal and compliment the pedestrian experience.

(e) Streetscape and Sidewalk Standards.

(1) In general. Streets and sidewalks must comply with the Streetscape Standards (Exhibit ___B). If there is a conflict between Exhibit B and this article, the text of this article controls.

(2) Crosswalks. Crosswalks must be delineated through the use of contrasting pavement, texture, material, or color. Anti-slip material is encouraged.

(3) Gulden Lane sidewalk.

(A) A minimum seven-foot sidewalk is required along the east side of Gulden Lane, with a minimum of six feet unobstructed, except for tree grates, pedestrian street lamps, street furnishings, utility poles, and service boxes. A portion of the sidewalk may be located within a sidewalk easement, as shown on the Streetscape Standards.

(B) Sidewalks must be level across all driveways and curb cuts.

(4) Pedestrian amenities. A minimum of three of each of the following pedestrian amenities must be provided along Gulden Lane: (i) a bench; (ii) a bicycle rack; and (iii) a trash receptacle and pet waste station.

(5) Lighting.

(A) Lighting should be provided at regular intervals with a spacing of no greater than 100 feet along Gulden Lane, with the exception of visibility triangles and vehicular drives, in order to provide lighting on sidewalks, walkways, and plazas to enhance pedestrian safety.

(B) Lighting must be directed away from residential districts or residential uses.

Staff's Recommendation:

(6) Pedestrian path on Tract 2. A minimum 10-foot wide pedestrian path shall be provided on Tract 2, connecting Tract 2 as close as practicable to land abutting Tract 2 that serves the Continental Bridge Gateway Plaza Park.

Applicant's Request

(6) Pedestrian path on Tract 2. A minimum 10-foot wide pedestrian path shall be provided on Tract 2, connecting Tract 2 as close as practicable to land abutting Tract 2 that serves the Continental Bridge Gateway Plaza Park.

SEC. 51P-___-110.

OFF-STREET PARKING AND LOADING.

(a) In general. Except as provided in this section, consult the use regulations in Division 51A 4.200 for the specific off-street parking and loading requirements for each use.

(b) Off-street parking spaces may be used to provide parking for community events during evenings, weekends, and holidays with permission of the property owner.

Staff's Recommendation:

~~(e) Administrative parking reduction. The director may grant a reduction in the number of off-street parking spaces required for office, retail, and personal service uses in this planned development district if the director finds that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the reduction would not create a traffic hazard or increase traffic congestion on adjacent or nearby streets. The maximum reduction authorized by this section for office, retail and personal service uses is 20 percent. In determining whether to grant a reduction under this subsection, the director shall consider the factors contained in Section 51A-4.313(b).~~

(c) Office use. The director may grant a reduction in the number of off-street parking spaces required for office use in this planned development district if the director finds that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the reduction would not create a traffic hazard or increase traffic congestion on adjacent or nearby streets. The maximum reduction authorized by this section for office use is 10 percent. In determining whether to grant a reduction under this subsection, the director shall consider the factors contained in Section 51A-4.313(b).

~~(d) Office use. Unless Chapter 51A requires less parking, one off street parking space for each 366 square feet of floor area is required.~~

Applicant's Request:

(c) Administrative parking reduction. The director may grant a reduction in the number of off-street parking spaces required for office, retail, and personal service uses in this planned development district if the director finds that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the reduction would not create a traffic hazard or increase traffic congestion on adjacent or nearby streets. The maximum reduction authorized by this section for office, retail and personal service uses is 20 percent. In determining whether to grant a reduction under this subsection, the director shall consider the factors contained in Section 51A-4.313(b).

~~(c) Office use. The director may grant a reduction in the number of off-street parking spaces required for office use in this planned development district if the director finds that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the reduction would not create a traffic hazard or increase traffic congestion on adjacent or nearby streets. The maximum reduction authorized by this section for office use is 10 percent. In determining whether to grant a reduction under this subsection, the director shall consider the factors contained in Section 51A-4.313(b).~~

(d) Office use. Unless Chapter 51A requires less parking, one off-street parking space for each 366 square feet of floor area is required.

(e) Community Tribute Plaza. No parking is required for a community memorial tribute plaza.

(f) Below grade parking structures. Below grade parking structures may extend to the lot line and across lot lines within this district.

SEC. 51P-___-111. ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI.

SEC. 51P-___-112. LANDSCAPING.

(a) Application. This section only becomes applicable to a lot or tract when the nonpermeable coverage on the lot or tract is increased by more than 2,000 square feet within a 24-month period, not including portions of pedestrian pathways that are between three feet in width and 15 feet in width.

(b) Definitions and standards. Except as provided in this section, the definitions and conditions of Article X apply. If there is a conflict, the text of this section controls.

(c) Mandatory landscaping requirements.

(1) Perimeter landscape buffer strip. A landscape buffer strip must be provided along the entire length of the portion of the perimeter of the lot where adjacent to an existing single family use, exclusive of driveways and accessways at points of ingress and egress to and from the lot. The buffer strip must be at least 10 feet wide.

(2) Community plaza buffer and trees. A minimum five-foot-wide landscaped strip must be located along the northern and eastern boundaries of Tract 2. A minimum four-inch-caliper large tree must be located every 30 feet, or fraction thereof within the landscaped strip, unless prohibited by

existing conditions in which case the trees shall be spaced as recommended by the arborist. The buffer may be included as part of the perimeter landscape buffer strip.

(3) Surface parking lot trees. No surface parking space may be located more than 75 feet from the trunk of a large tree. Each tree must have a caliper of at least four inches and may not be planted closer than two and one-half feet from any pavement. Each large tree must be provided a minimum of 160 square feet of surface area.

(d) Street buffer zone and street trees.

(1) Definitions.

(A) TREE PLANTING ZONE means an area measured from the back edge of, and parallel and 15 feet from the back of the projected street curb, or if there is no street curb, from the edge of street pavement.

(B) TREE PLANTING STRIP means an area that is a minimum of five-feet-wide and a minimum of 10 feet in length, or that otherwise provides a minimum horizontal root expansion area of 60 square feet.

(2) Gulden Lane tree planting strip. A tree planting strip is required adjacent to the sidewalk along Gulden Lane as shown on the Streetscape Standards (Exhibit ___B).

(3) Number, location, and type of street trees required.

(A) Except as provided in this section, one large tree must be provided for every 30 linear feet of lot frontage along a public street. The number of required street trees is calculated by dividing the number of feet of lot frontage along a public street by 30. Fractions are rounded to the nearest whole number, with .5 being rounded up to the next higher whole number. Driveway entrances, calculated where the entrance crosses the property line, are not included in lot frontage calculations. When existing conditions prohibit planting large trees, the building official may approve either (i) one medium tree; or (ii) two small trees be substituted for each large tree, and such trees shall be spaced per the requirements of Article X.

(B) Required large street trees shall be spaced 30 feet apart, except where such spacing is made impractical due to overhead or underground utility conflicts or easement restrictions, the location of vehicular access points, conflicts with city signs, signals, crosswalk signs or DART bus signs, or where otherwise recommended by the city arborist.

(C) All required street trees must have a caliper of at least four inches.

(D) Except when tree grates are provided in sidewalks, street trees must be planted within a tree planting strip within the tree planting zone.

(E) Tree planting zones and tree planting strips may be located in the right-of-way in accordance with the obtained license.

(F) If the property owner is unable to locate a tree within the tree planting strip or tree planting zone due to overhead or underground utility conflicts or proximity to structures, the building official may approve a reduction in the number or the size of the required street trees.

(G) It is a defense to prosecution for a violation of the requirements of this section if trees are required to be removed or altered due to conflicts with city signs, signals, crosswalk signs, DART bus signs, or similar structures.

(4) Minimum clearance above pavement for large street trees. The property owner shall maintain large street trees that are five years of age or older at least 14 feet above street pavement and at least eight feet above a public sidewalk located on public or private property.

(5) Tree grates required in sidewalks. Tree grates must be provided for all trees with trunks located in a sidewalk that are not located within a tree planting strip. Suspended brick, pave stones, or similar materials may be used instead of a metal grate to protect tree roots and provide a pedestrian surface. These materials must conform to state standards and specifications adopted to eliminate, insofar as possible, architectural barriers encountered by aged, handicapped, or disabled persons. The grates or containment areas must be large enough to permit healthy tree growth.

(e) Plant requirements. Plants used to satisfy the landscape requirements in Article X must comply with the following requirements:

(1) Except for evergreen shrubs located in a special planting area, a large evergreen shrub must have the ability to grow to a minimum height of three feet within three years.

(2) Artificial plant materials may not be used.

(3) Any required landscaping that dies must be replaced.

(f) The provisions of 51A-125 and 51A-10.126 are not applicable in this district.

(g) If the property owner is unable to comply with any of the requirements in this section, the property owner may apply to the board of adjustment for a special exception in accordance with the procedures set forth in Section 51A-10.110.

(h) Completion. All landscaping must be completed in accordance with this article before the final certificate of occupancy for the new construction or surface parking lot.

SEC. 51P-___-113.

SIGNS.

(a) Except as provided herein, signs must comply with the provisions for business zoning districts in Article VII.

(b) Definitions.

(1) BANNER SIGN means a sign applied on a strip of cloth, vinyl, or similar material and attached to a structure. Awnings, canopy signs, and flags are not banners.

(2) DISTRICT IDENTIFICATION SIGN means a roof sign identifying Trinity Groves using words, symbols, or a combination of both.

Staff's Recommendation:

~~(3) — PROJECT ANNOUNCEMENT SIGN means an attached sign that announces a project or displays a promotional message. Project announcement signs may be digital signs or may be constructed of rigid material, mesh, or a fabric surface. A project announcement sign may not advertise individual tenants of a building on the property.~~

Applicant's Request:

(3) PROJECT ANNOUNCEMENT SIGN means an attached sign that announces a project or displays a promotional message. Project announcement signs may be digital signs or may be constructed of rigid material, mesh, or a fabric surface. A project announcement sign may not advertise individual tenants of a building on the property.

(4) PROMOTIONAL MESSAGE means a message that identifies or promotes a cultural activity within this district or within the broader district known as Trinity Groves, any special event being conducted in this district or Trinity Groves, an event conducted by or on behalf of the La Bajada community group, or any other event that will benefit the city. Benefit to the city is established by:

(A) use of city property in accordance with a contract, license, or permit;

(B) the receipt of city monies for the activity or event; or

(C) an ordinance or resolution of the city council that recognizes the

activity or event as benefitting the city.

Staff's Recommendation:

~~(5) — ROOF SIGN means a sign that is attached to or supported by the roof of a building.~~

Applicant's Request:

(5) ROOF SIGN means a sign that is attached to or supported by the roof of a building.

Staff's Recommendation:

(e) — In addition to those signs otherwise allowed by Article VII, one project announcement sign is allowed on Tract 1 facing Gulden Lane and one project announcement sign is allowed on Tract 1 facing the Margaret Hunt Hill Bridge.

(1) — ~~Maximum effective area of each the project announcement sign facing Gulden Lane is 1,000 square feet. Maximum effective area of the project announcement sign facing the Margaret Hunt Hill Bridge project announcement sign is 1,500 square feet.~~

~~(2) — May contain a changeable message.~~

~~(3) — A project announcement sign constructed of rigid material, mesh or a fabric surface may be displayed no more than 90 days before the project or activity commences and the sign must be removed no more than 15 days after the project or activity is completed. The sign hardware for a project announcement sign may be left in place between displays of a sign. A digital sign may display a message no more than 90 days before a project or activity commences and must change its message no more than 15 days after the project or activity is completed.~~

~~(4) — The project announcement sign on Gulden Lane may not be located above 75 feet in height.~~

~~(5) — The project announcement sign on Gulden Lane may not be illuminated after 12:00 am.~~

~~(6) — Acceptable illumination examples include up lighting or down lighting with a concealed lamp from an external light source, back lit LED, or digital signs.~~

~~(7) — May not cover windows of a main building facade. May cover windows or openings of a parking structure facade.~~

~~(8) — No more than 10 percent of the effective area of a project announcement sign may be devoted to sponsorship identification.~~

~~(9) — A sign permit is required prior to the erection of a project announcement sign. For a digital project announcement sign, after a sign permit is obtained for the initial erection of the sign no additional sign permits for a change in message are required.~~

Applicant's Request:

(c) In addition to those signs otherwise allowed by Article VII, one project announcement sign is allowed on Tract 1 facing Gulden Lane and one project announcement sign is allowed on Tract 1 facing the Margaret Hunt Hill Bridge.

(1) Maximum effective area of ~~each~~ the project announcement sign facing Gulden Lane is 1,000 square feet. Maximum effective area of the project announcement sign facing the Margaret Hunt Hill Bridge project announcement sign is 1,500 square feet.

(2) May contain a changeable message.

(3) A project announcement sign constructed of rigid material, mesh or a fabric surface may be displayed no more than 90 days before the project or activity commences and the sign must be removed no more than 15 days after the project or activity is completed. The sign hardware for a project announcement sign may be left in place between displays of a sign. A digital sign may display a message no more than 90 days before a project or activity commences and must change its message no more than 15 days after the project or activity is completed.

(4) The project announcement sign on Gulden Lane may not be located above 75 feet in height.

(5) The project announcement sign on Gulden Lane may not be illuminated after 12:00 am.

(6) Acceptable illumination examples include up-lighting or down-lighting with a concealed lamp from an external light source, back-lit LED, or digital signs.

(7) May not cover windows of a main building facade. May cover windows or openings of a parking structure façade.

(8) No more than 10 percent of the effective area of a project announcement sign may be devoted to sponsorship identification.

(9) A sign permit is required prior to the erection of a project announcement sign. For a digital project announcement sign, after a sign permit is obtained for the initial erection of the sign no additional sign permits for a change in message are required.

Staff's Recommendation:

~~(d) — In addition to those signs otherwise allowed by Article VII, banner signs are allowed on light poles within the district. No sign permit is required to erect or remove a banner in this district. Banner signs are allowed on streetlight poles within the right of way subject to the following requirements:~~

~~(1) — A banner must display a promotional message, generic graphics, or the name or logo of Trinity Groves.~~

~~(2) — A banner having a promotional message may not be erected more than 90 days prior to the beginning of the advertised activity or event, and must be removed no later than 15 days after that activity or event has ended. The sign hardware for a banner may be left in place between displays of a banner.~~

~~(3) — A banner and its sign hardware must:~~

~~(A) — be mounted on a light pole;~~

~~(B) — meet the sign construction and design standards in the Dallas Building Code;~~

~~(C) — be at least 12 feet above grade, unless it overhangs a roadway, in which case it must be at least 15 feet above grade;~~

~~(D) — be made out of weather resistant and rust proof material;~~

~~(E) — not project more than three feet from the pole onto which it is mounted;~~
and

~~(F) — not exceed 20 square feet in effective area.~~

Applicant's Request:

(d) In addition to those signs otherwise allowed by Article VII, banner signs are allowed on light poles within the district. No sign permit is required to erect or remove a banner in this district. Banner signs are allowed on streetlight poles within the right-of-way subject to the following requirements:

(1) A banner must display a promotional message, generic graphics, or the name or logo of Trinity Groves.

(2) A banner having a promotional message may not be erected more than 90 days prior to the beginning of the advertised activity or event, and must be removed no later than 15 days after that activity or event has ended. The sign hardware for a banner may be left in place between displays of a banner.

(3) A banner and its sign hardware must:

(A) be mounted on a light pole;

(B) meet the sign construction and design standards in the Dallas Building Code;

(C) be at least 12 feet above grade, unless it overhangs a roadway, in which case it must be at least 15 feet above grade;

(D) be made out of weather-resistant and rust-proof material;

(E) not project more than three feet from the pole onto which it is mounted; and

(F) not exceed 20 square feet in effective area

Staff's Recommendation:

~~(e) — District identification sign. [SUP required.]~~

~~(1) — A maximum of one district identification sign is allowed.~~

~~(2) — Maximum effective area is 1,800 square feet.~~

~~(3) — A district identification sign may project up to 50 feet above the roof surface.~~

~~(4) — The sign supports for the sign must consist of open, exposed metal framing. The metal must be painted, coated, or of a material that will not rust or corrode.~~

~~(5) — The sign must comply with the Dallas Fire Code and must be approved by the fire marshal before a sign permit may be approved by the Director.~~

~~(6) — The district identification sign is allowed in addition to the square footage and number of attached signage otherwise allowed by Article VII.~~

Staff's Recommendation:

~~(f) — On Tract 1, the facades of a building facing Gulden Lane or the Margaret Hunt Hill Bridge may have building accent lighting consisting of LED or similar technology that changes colors and brightness. This accent lighting may display images, symbols, logos, or words that are associated with holidays, local sports teams, or an event or activities taking place within Trinity Groves or the La Bajada neighborhood. Any lighting facing Gulden Lane may not be illuminated after 12:00 a.m.~~

Applicant's Request:

(e) District identification sign. [SUP required.]

- (7) A maximum of one district identification sign is allowed.
- (8) Maximum effective area is 1,800 square feet.
- (9) A district identification sign may project up to 50 feet above the roof surface.
- (10) The sign supports for the sign must consist of open, exposed metal framing. The metal must be painted, coated, or of a material that will not rust or corrode.
- (11) The sign must comply with the Dallas Fire Code and must be approved by the fire marshal before a sign permit may be approved by the Director.
- (12) The district identification sign is allowed in addition to the square footage and number of attached signage otherwise allowed by Article VII.

(f) On Tract 1, the facades of a building facing Gulden Lane or the Margaret Hunt Hill Bridge may have building accent lighting consisting of LED or similar technology that changes colors and brightness. This accent lighting may display images, symbols, logos, or words that are associated with holidays, local sports teams, or an event or activities taking place within Trinity Groves or the La Bajada neighborhood. Any lighting facing Gulden Lane may not be illuminated after 12:00 a.m

SEC. 51P-___-114.

ADDITIONAL PROVISIONS.

- (a) The Property must be properly maintained in a state of good repair and neat appearance.
- (b) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.
- (c) Traffic Impact Study. Before the issuance of a building permit for new construction on Tract 1, a traffic impact study must be submitted to the ~~city's traffic engineer~~ director to determine if additional traffic improvements are necessary; and, if so, the extent which such additional improvements are attributable to the proposed development. Traffic improvements necessitated by and wholly attributable to new development of the property, which have been identified in the traffic impact study, shall either be (i) made by the owner as part of the new development; or (ii) a payment in amount equal to the estimated cost of constructing the improvement must be provided to the city. For traffic improvements partially attributable to the new development of the property, which have been identified in the traffic impact study, the property owner shall make a payment to the city in an amount equal to the property

owner's roughly proportionate share of the estimated cost of constructing the improvements. Either the contract for any improvements made by the developer or payment in an amount equal to the property owner's roughly proportionate share of the estimated cost of constructing the improvements must be completed or provided prior to the issuance of a final certificate of occupancy for Tract 1. The owner shall only be responsible for constructing or paying the cost (or portion thereof, as applicable), of any additional improvements to the extent such improvements are attributable to the new development. All right-of-way or easement dedication shall be determined through the platting process.

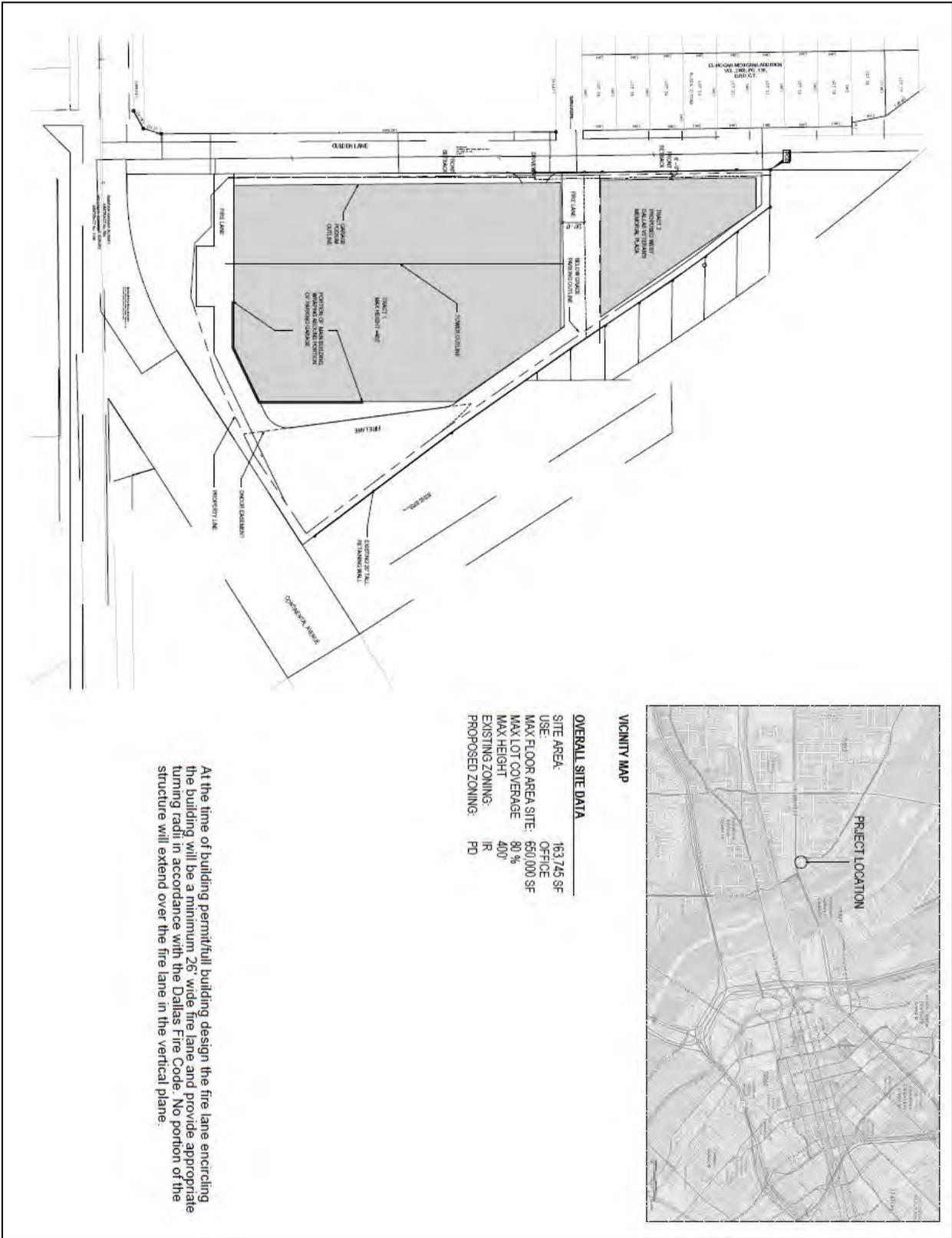
SEC. 51P-____-116.

COMPLIANCE WITH CONDITIONS.

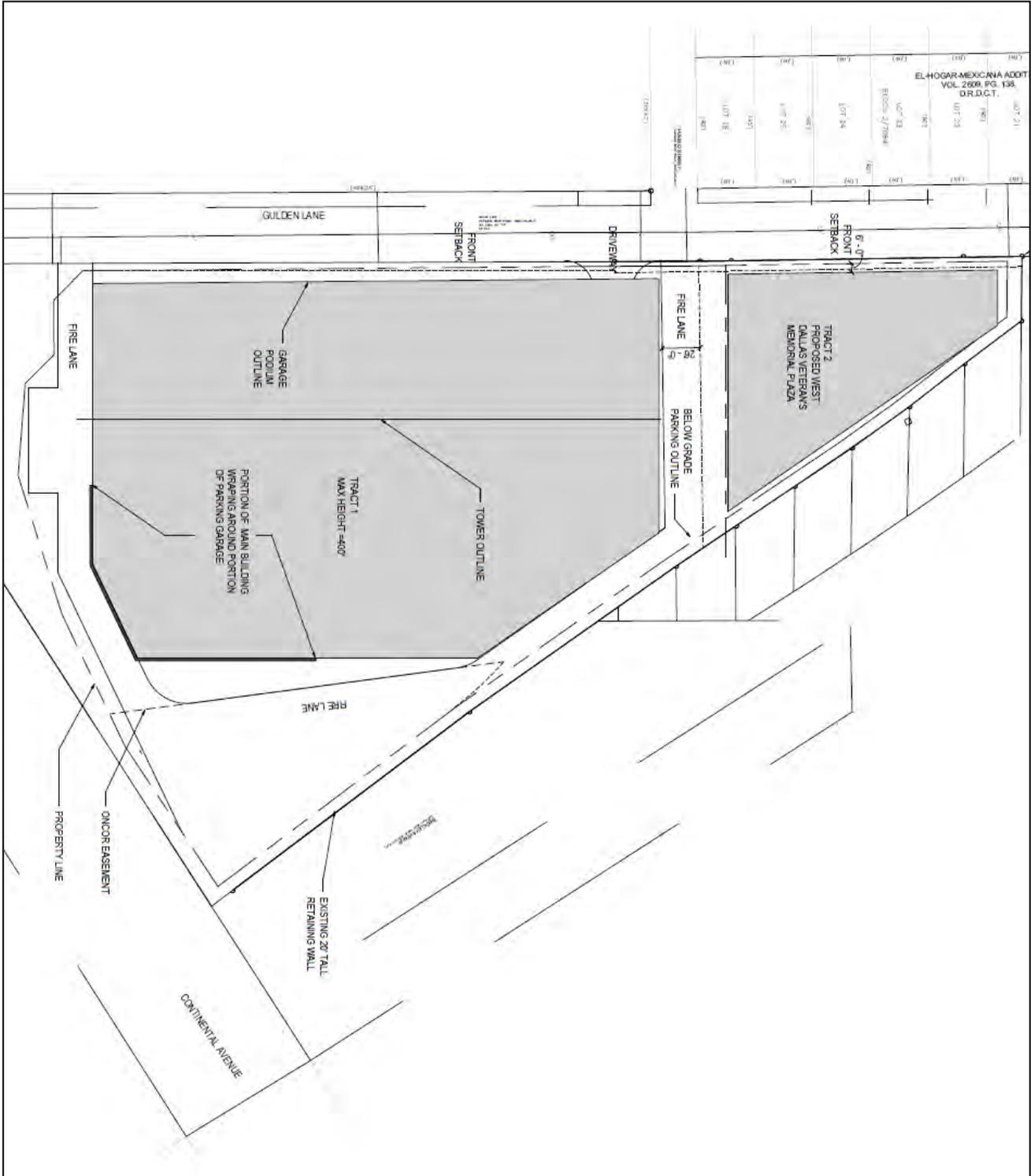
(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the city.

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

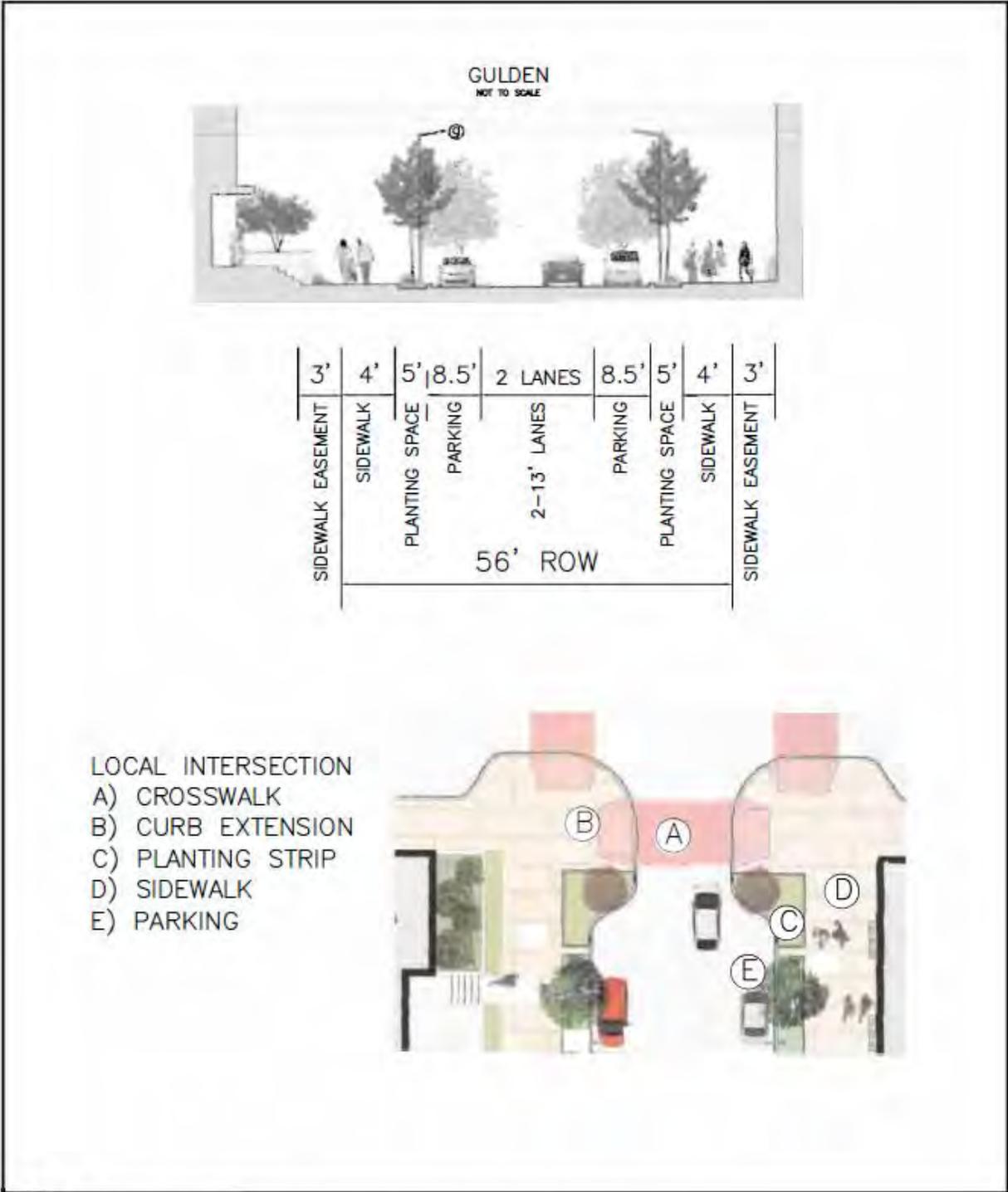
PROPOSED DEVELOPMENT PLAN



ENLARGED PROPOSED DEVELOPMENT PLAN



PROPOSED STREETScape EXHIBIT

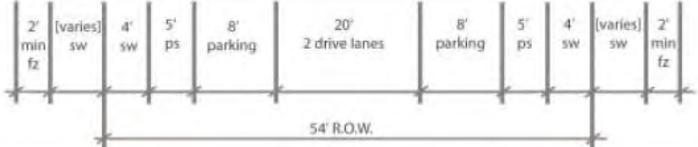


Stantec Consulting Services Inc.
 12222 Merit Drive, Suite 400
 Dallas, Texas 75251
 Tel: +1.972.991.0011
 www.stantec.com

EXHIBIT B - STREETScape STANDARDS
CITY OF DALLAS, DALLAS COUNTY, TEXAS

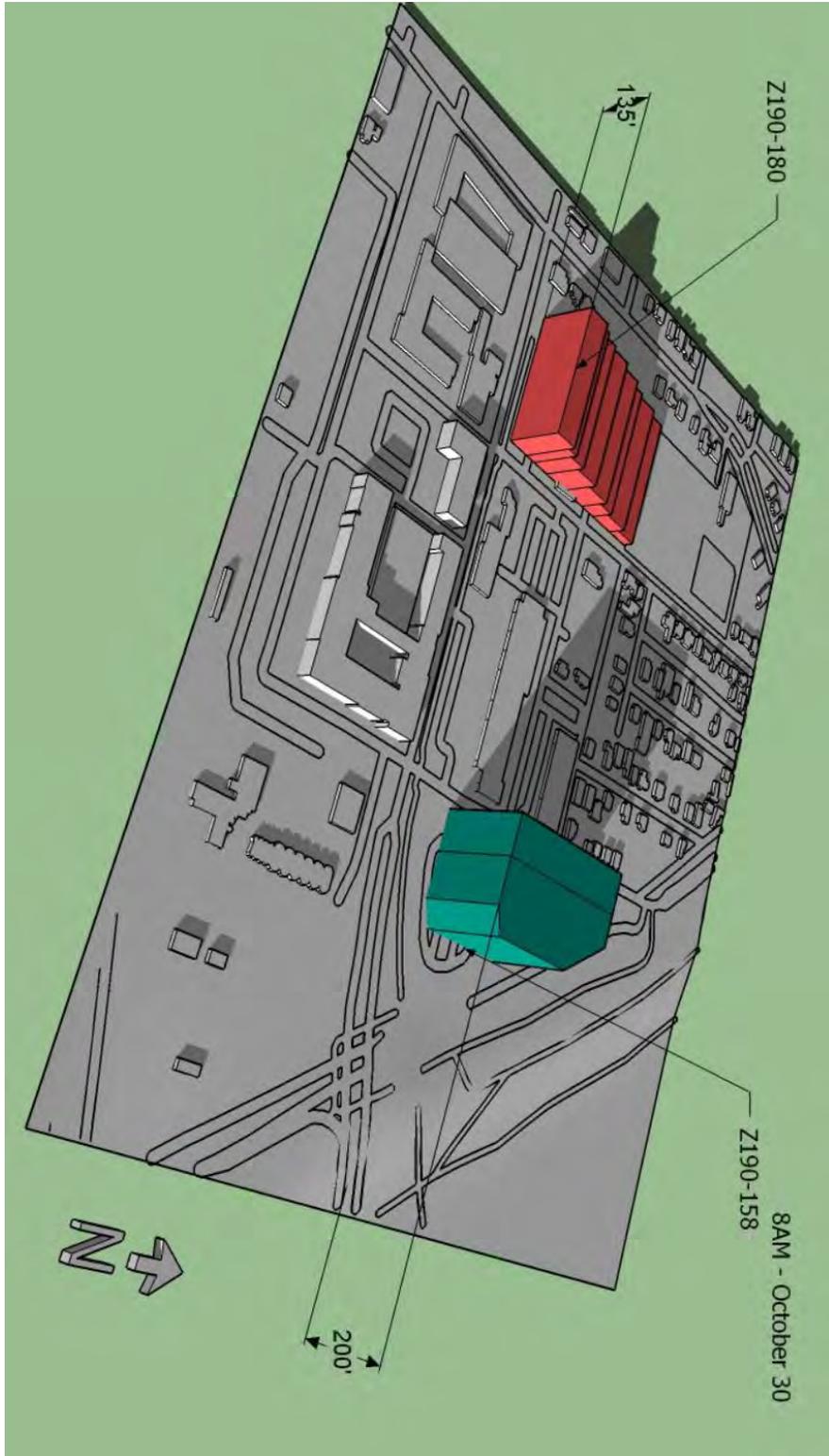
**AREA PLAN STREETSCAPE EXHIBIT
for Local Street (mixed use)**

Legend: (bu) buffer; (sb) sidewalk buffer; (sw) sidewalk; (ps) planting strip; (bl) bike lane; (m) median; (rtw) raised tree well

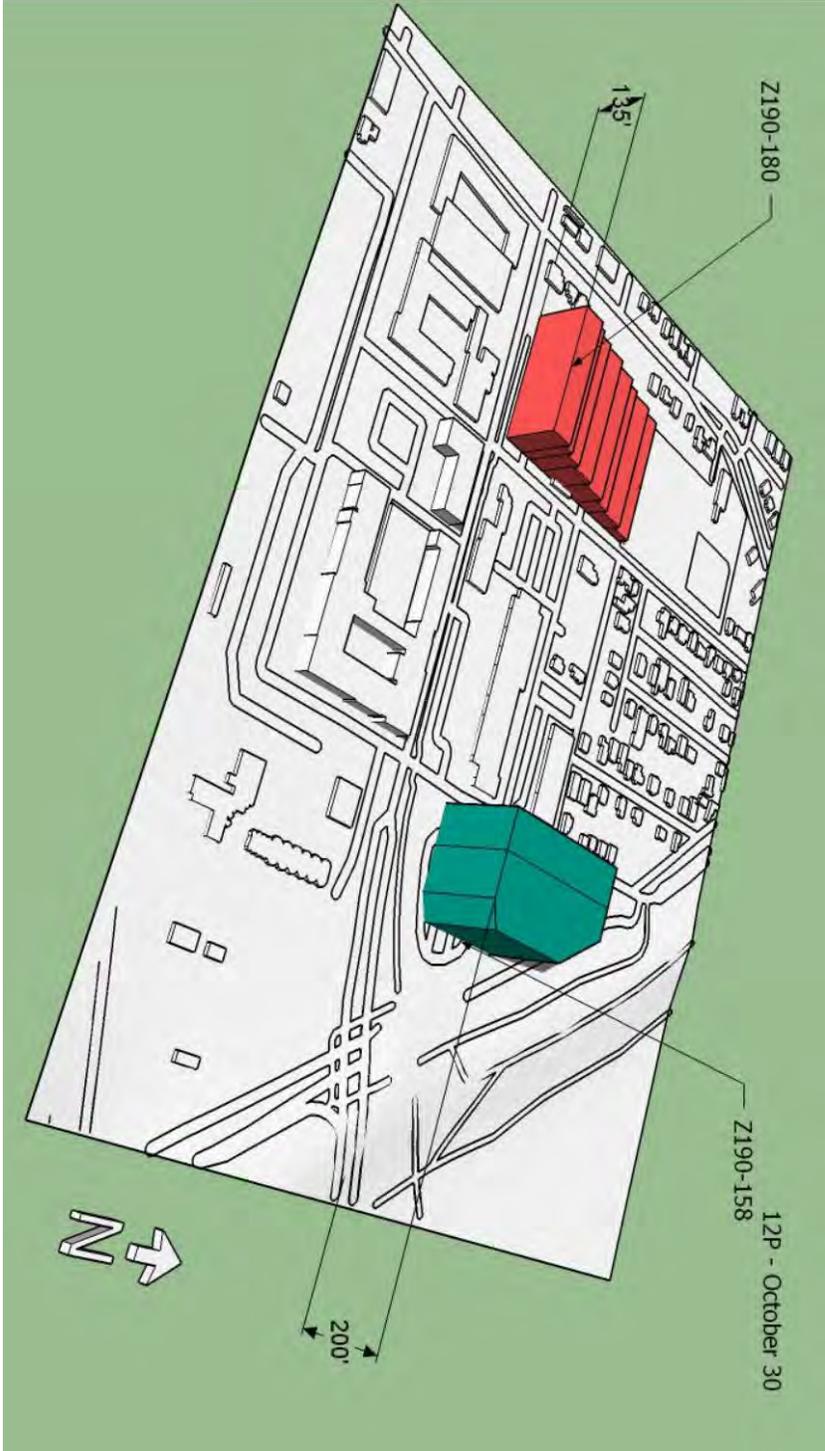


Street Section and Partial Street Plan shown for illustrative purpose

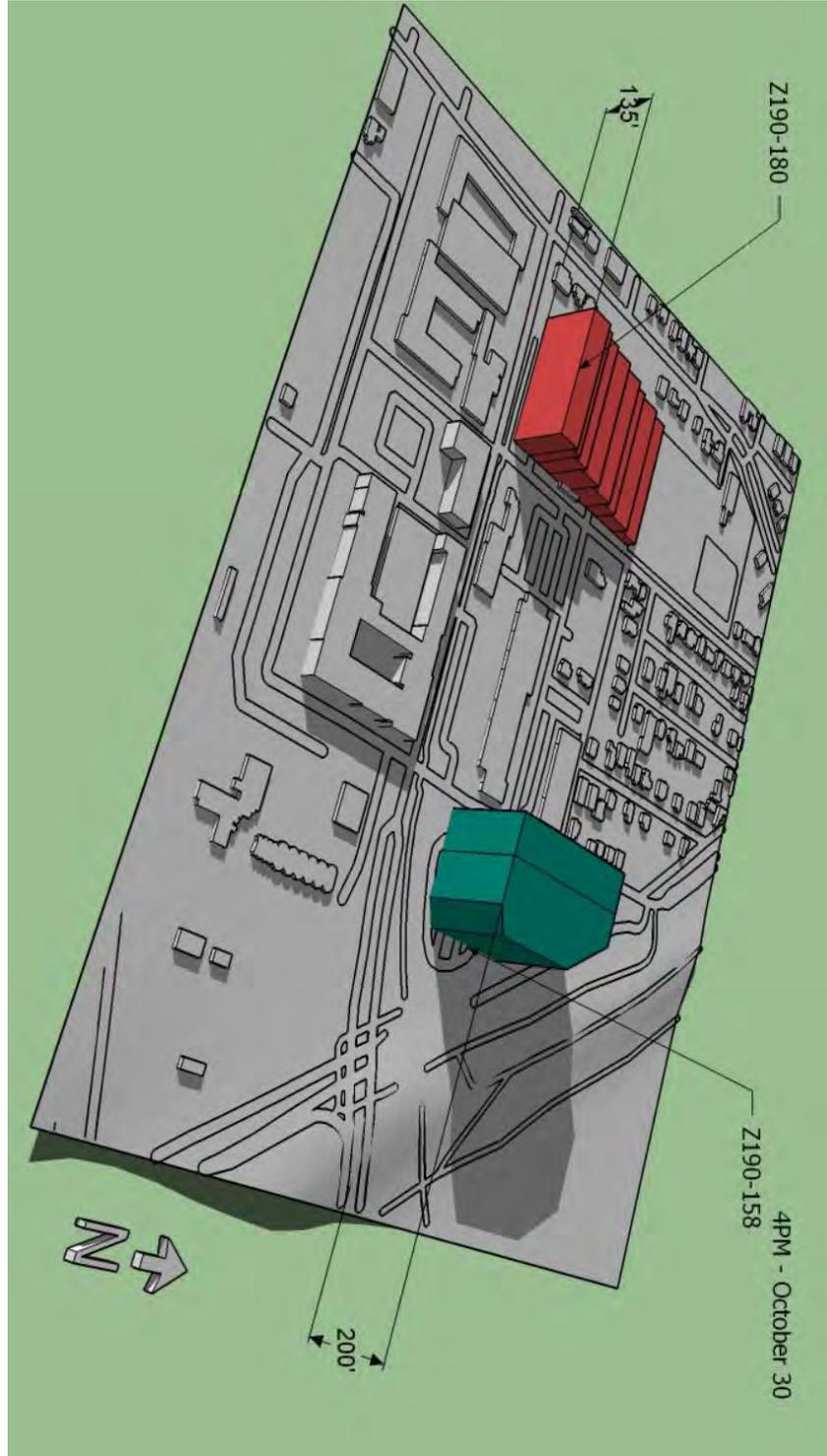
HEIGHT IMPACT/SHADE EXHIBIT MORNING
At 200 feet
(for illustrative purposes only)



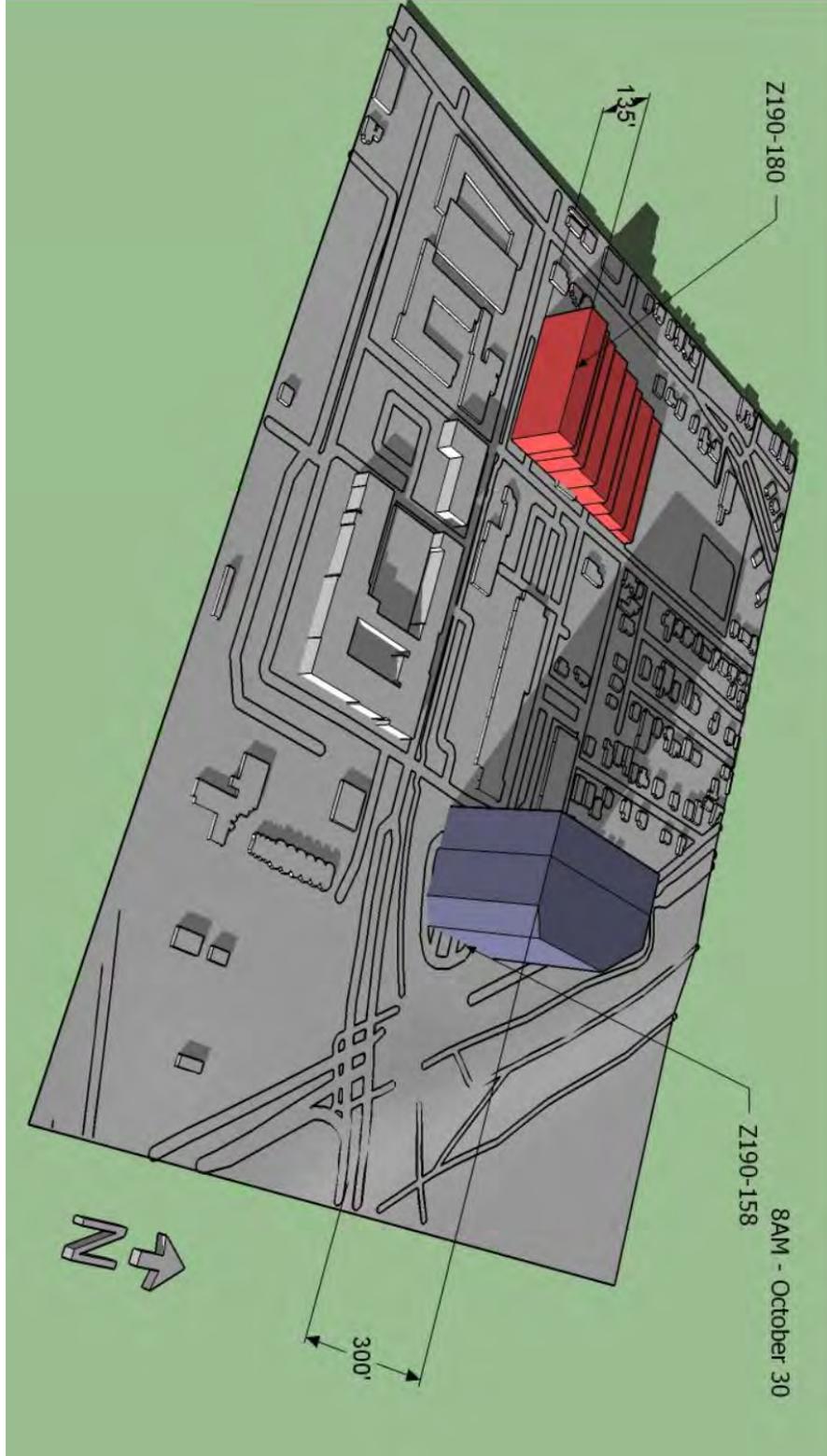
HEIGHT IMPACT/SHADE EXHIBIT NOON
At 200 feet
(for illustrative purposes only)



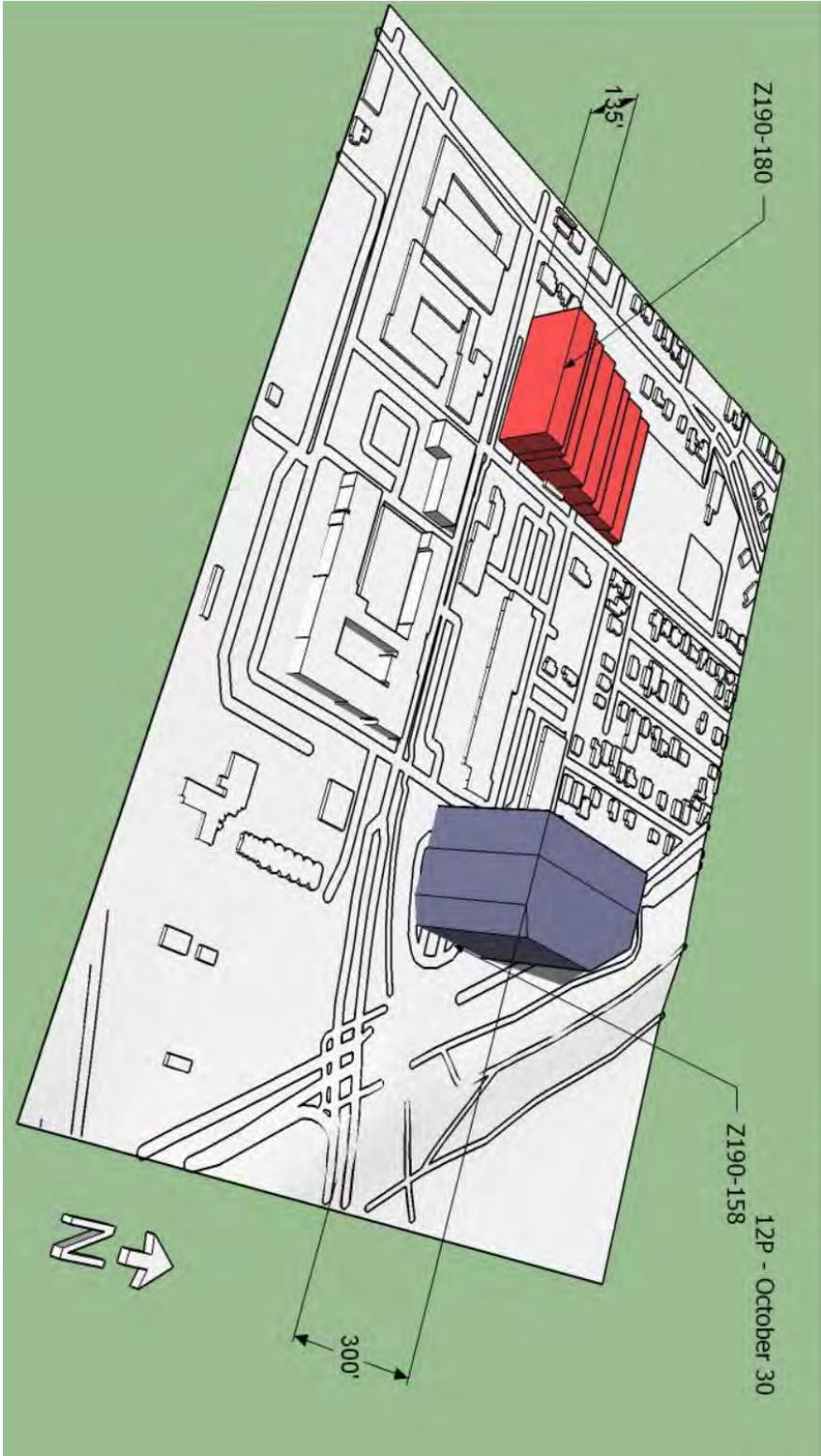
HEIGHT IMPACT/SHADE EXHIBIT EVENING
At 200 feet
(for illustrative purposes only)



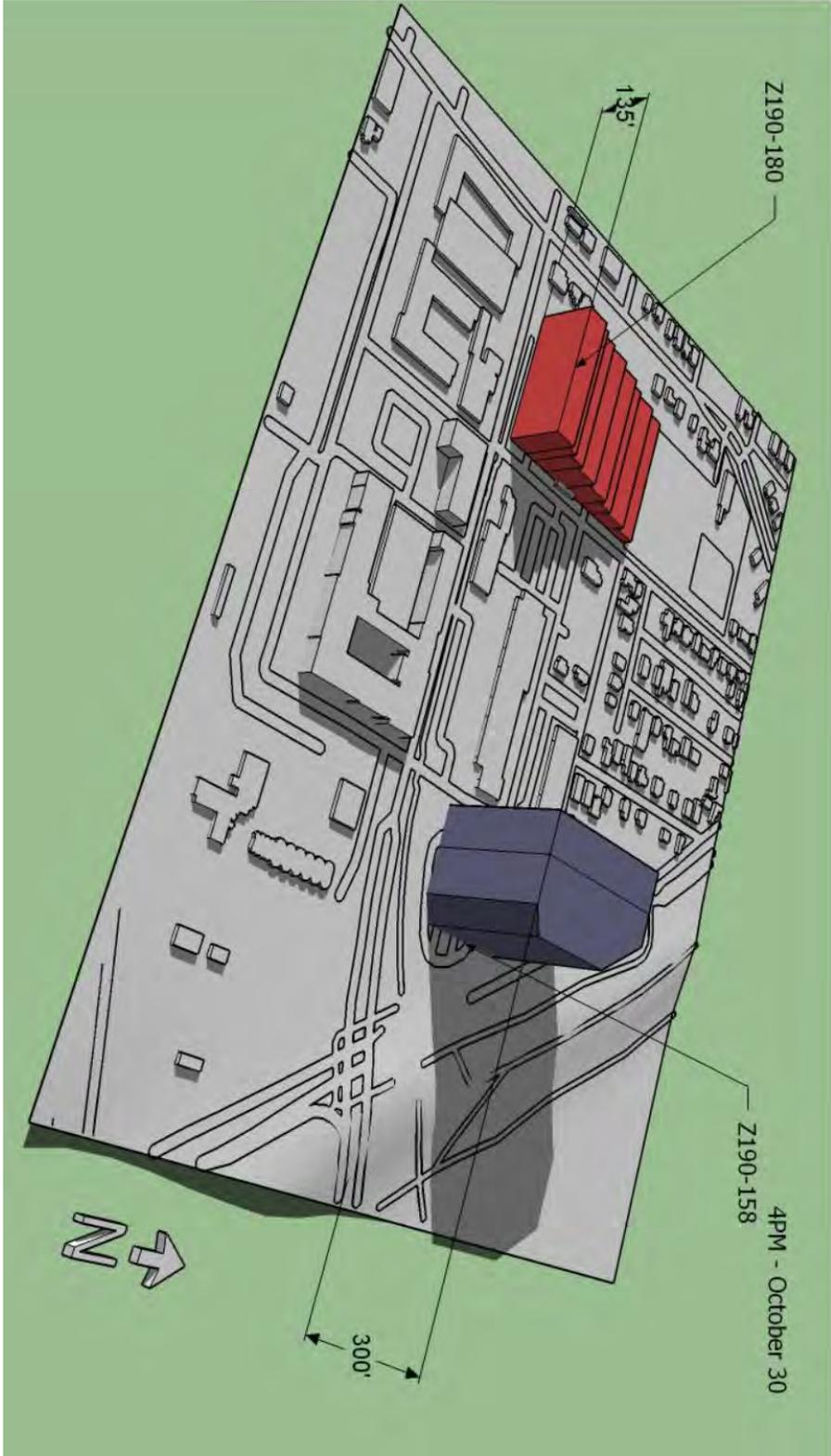
HEIGHT IMPACT/SHADE EXHIBIT MORNING
At 300 feet
(for illustrative purposes only)



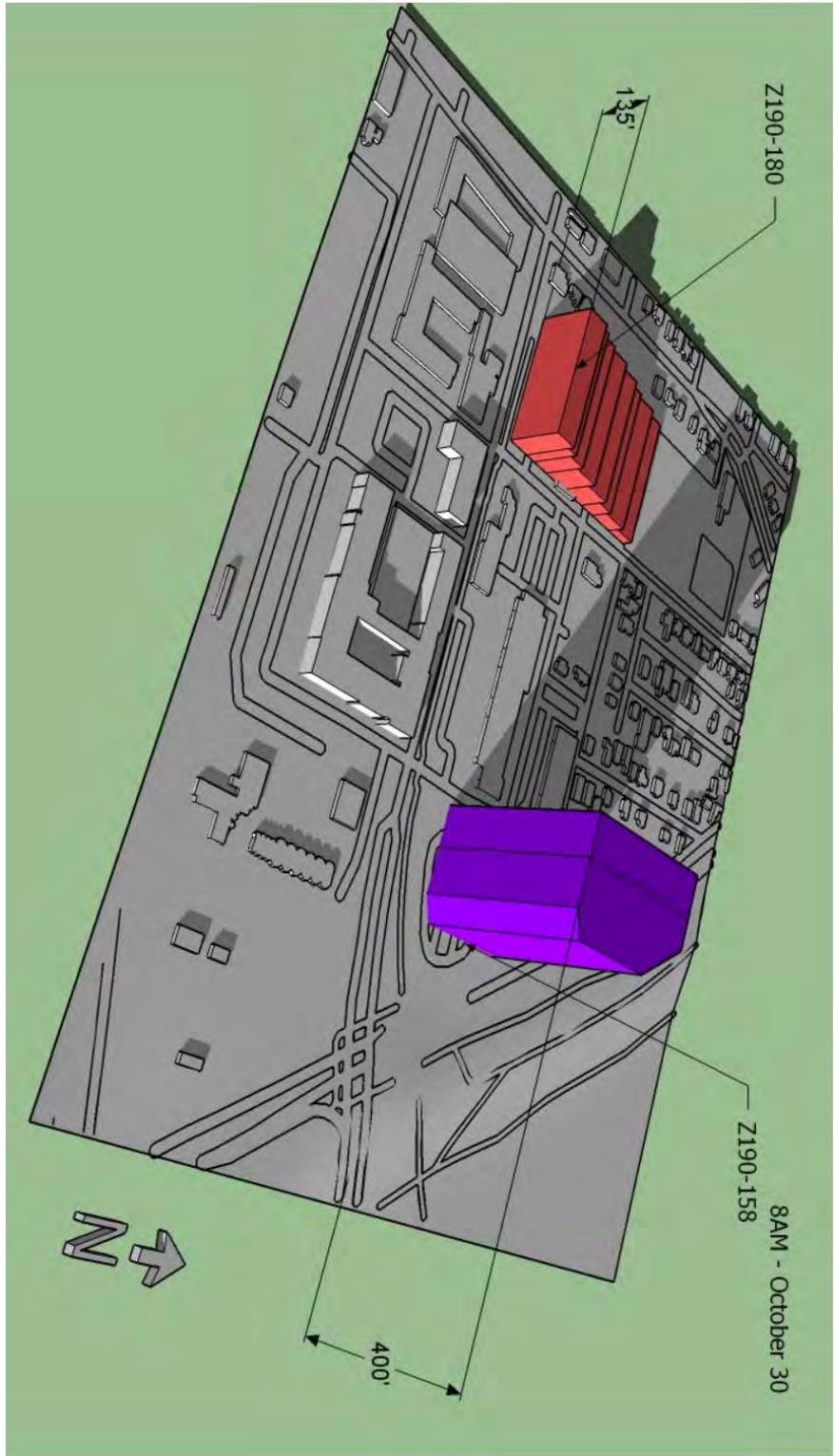
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At 300 feet
(for illustrative purposes only)



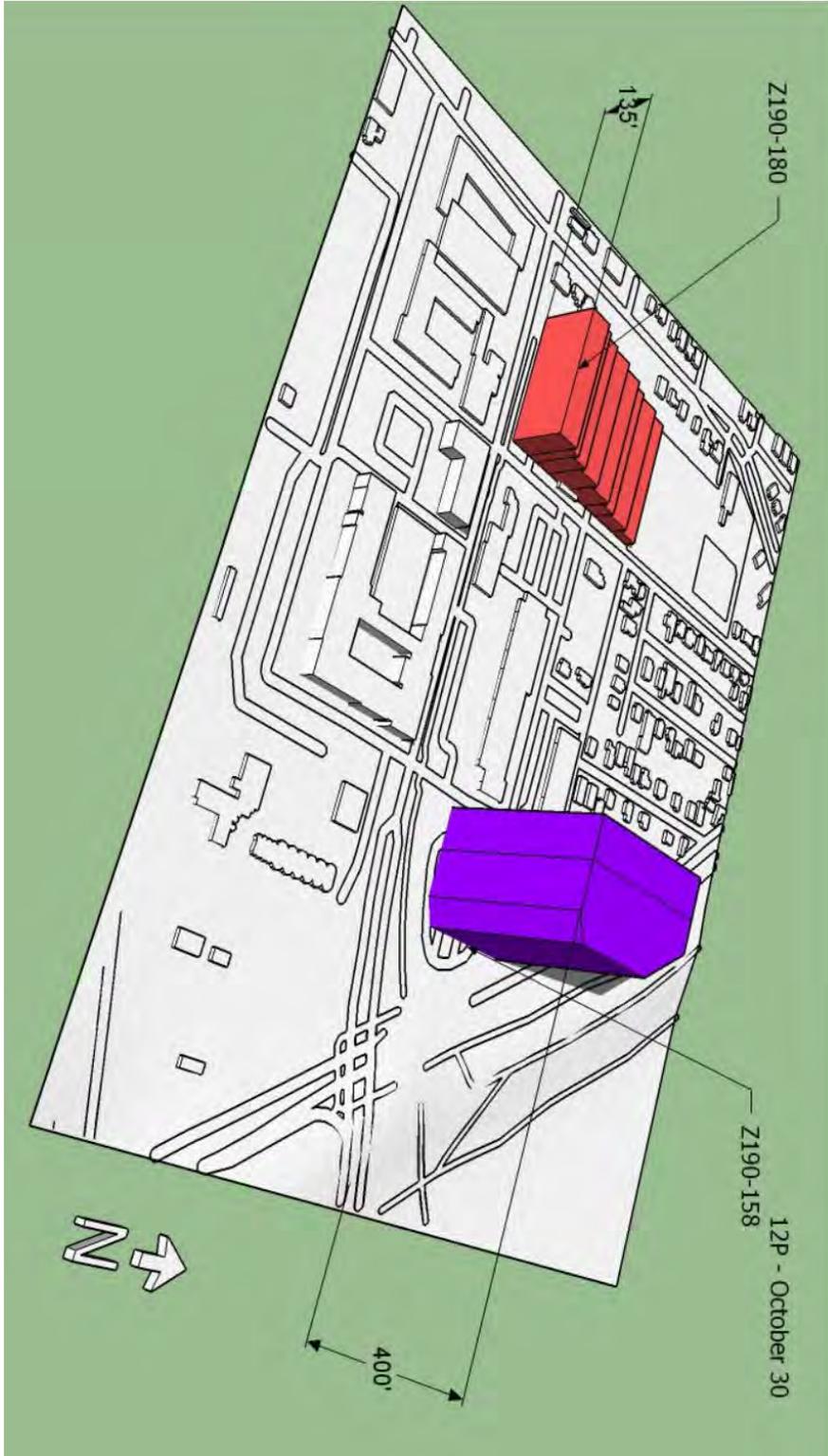
HEIGHT IMPACT/SHADE EXHIBIT EVENING
At 300 feet
(for illustrative purposes only)



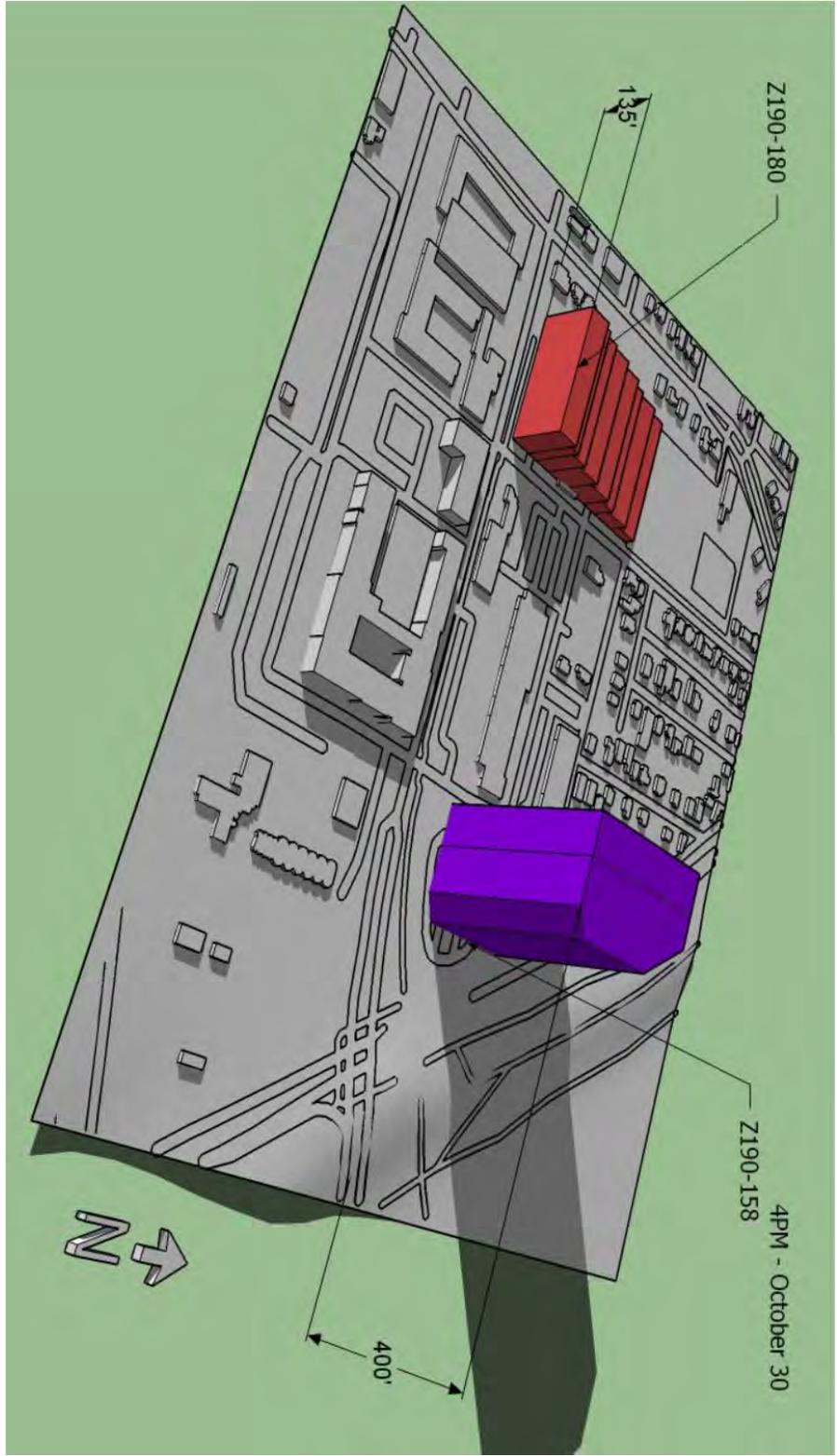
HEIGHT IMPACT/SHADE EXHIBIT MORNING
At 400 feet
(for illustrative purposes only)



HEIGHT IMPACT/SHADE EXHIBIT NOON
At 400 feet
(for illustrative purposes only)



HEIGHT IMPACT/SHADE EXHIBIT EVENING
At 400 feet
(for illustrative purposes only)





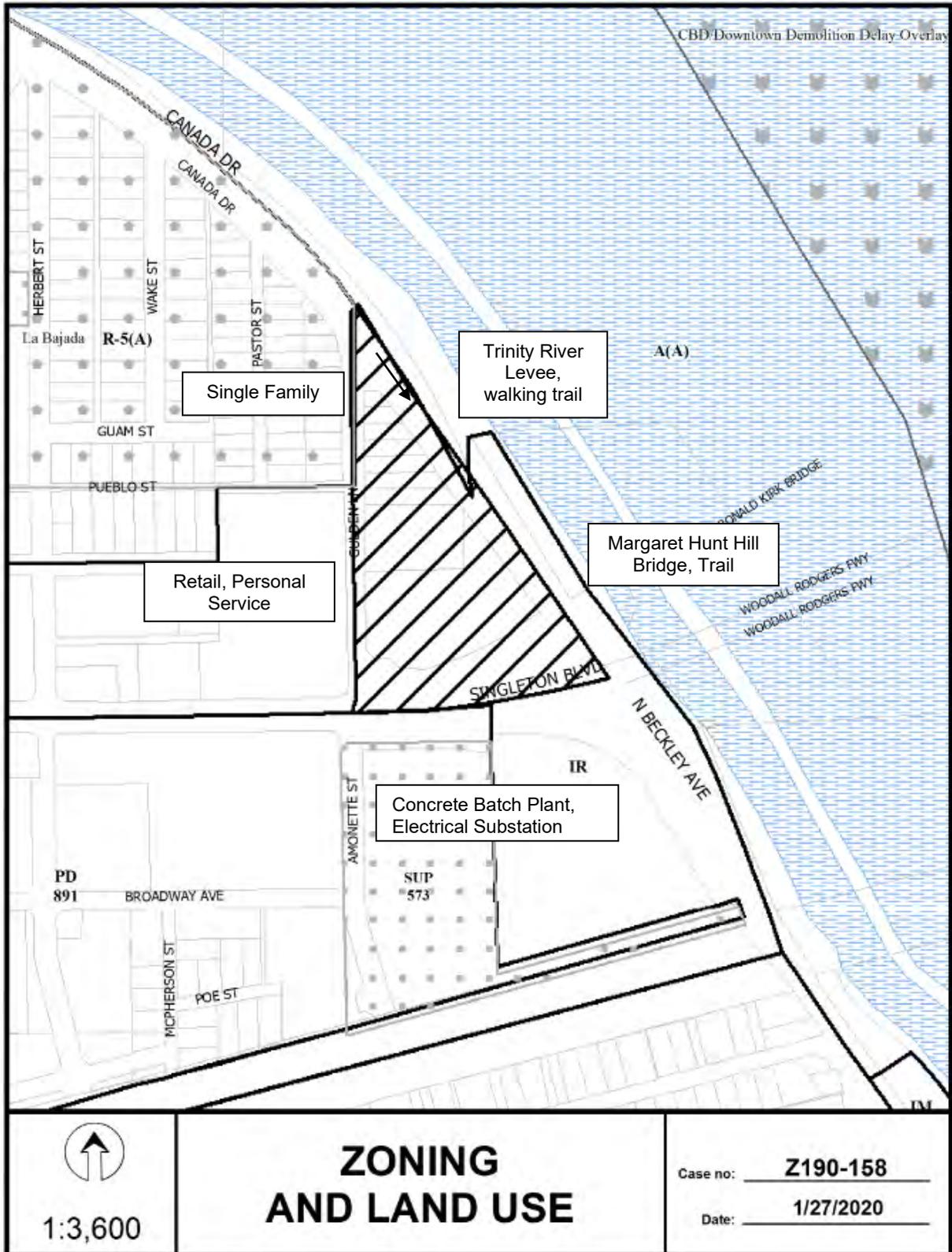
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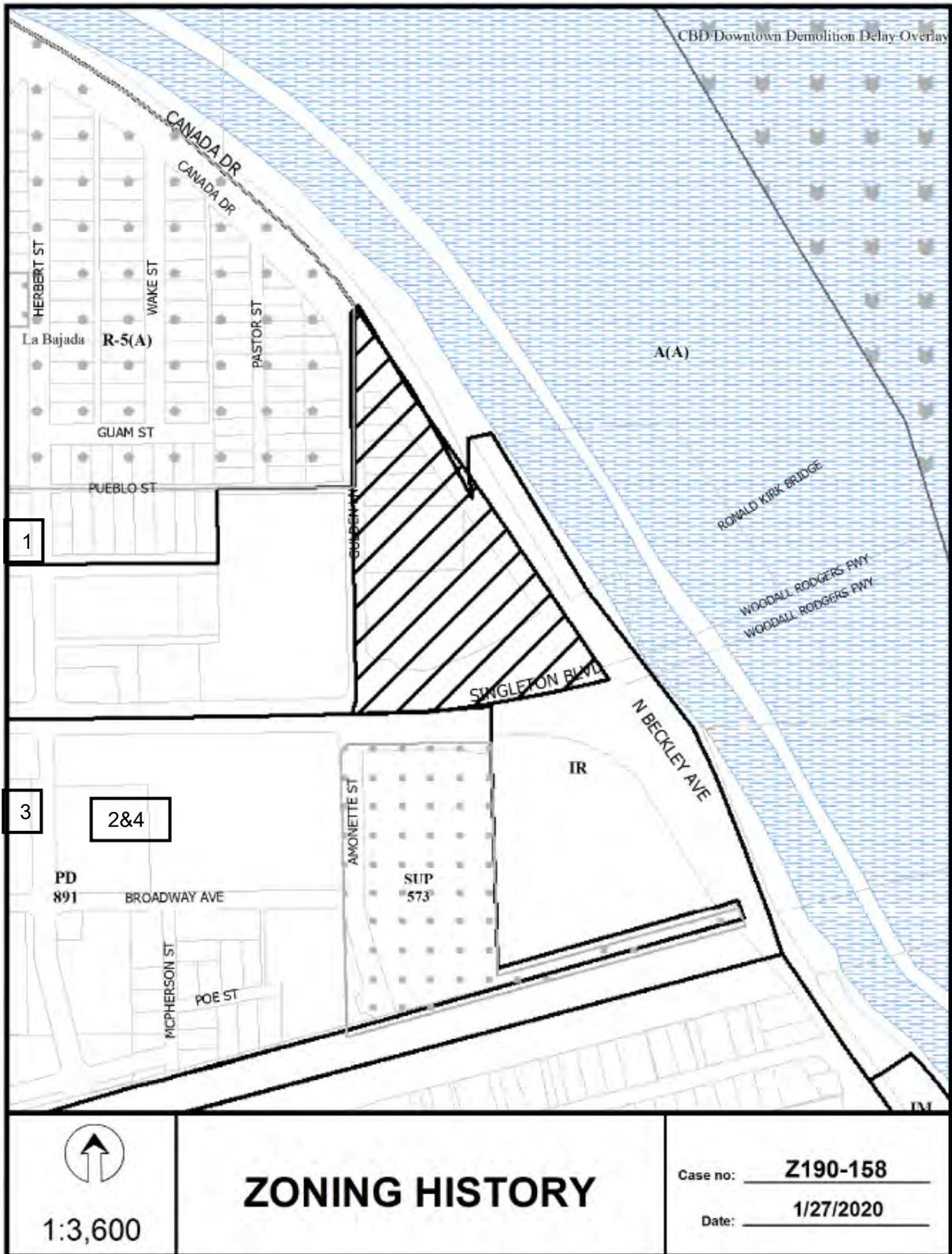
VICINITY MAP

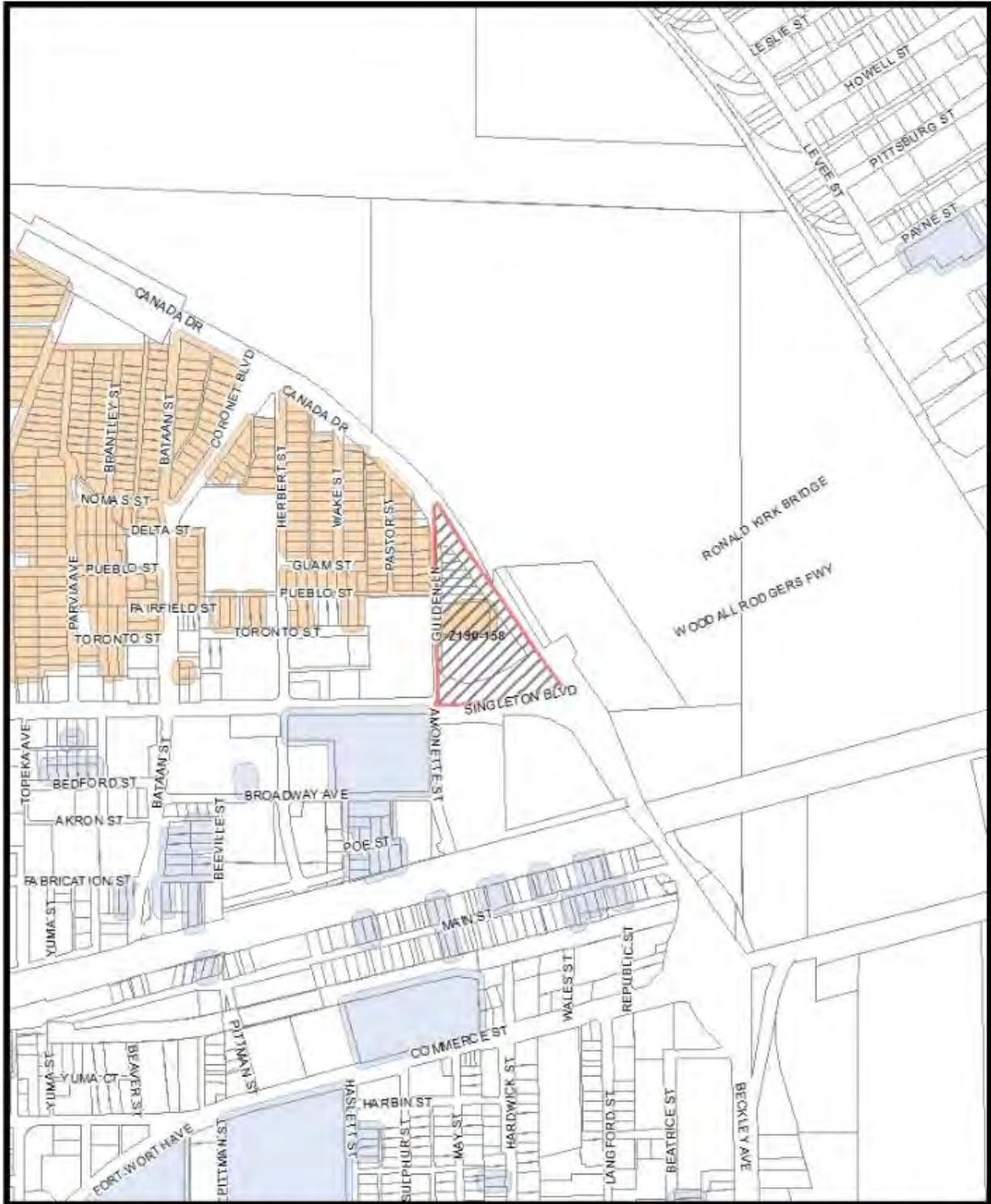
Case no: Z190-158

Date: 1/27/2020







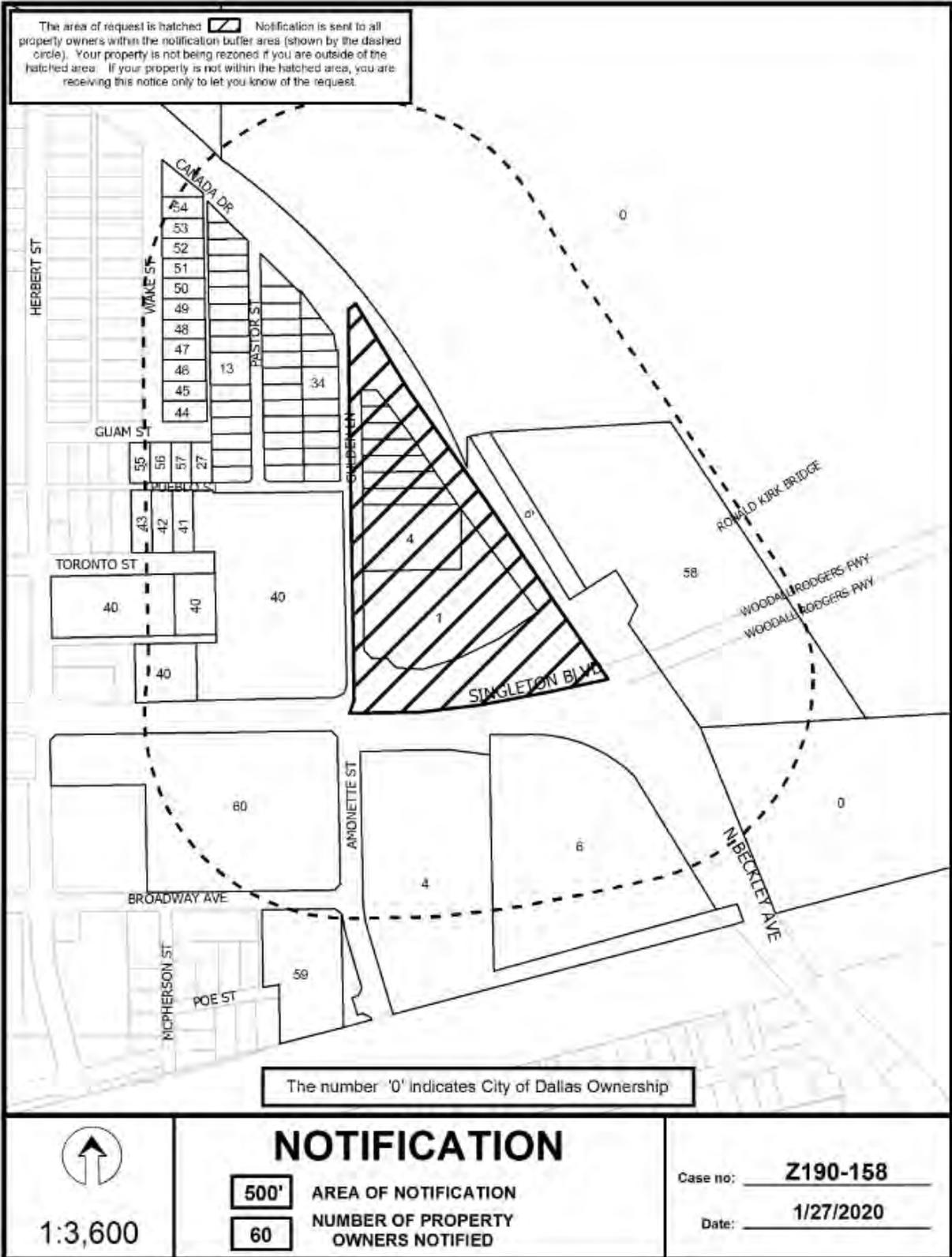


Market Value Analysis A B C D E F G H I NA



Market Value Analysis

Printed Date: 1/27/2020



01/27/2020

Notification List of Property Owners***Z190-158******60 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	3016 GULDEN LN	WEST DALLAS INVESTMENT LP
2	3118 GULDEN LN	WEST DALLAS INV LP
3	3110 GULDEN LN	WEST DALLAS INV L P
4	240 SINGLETON BLVD	WEST DALLAS INVESTMENTS LP
5	3046 GULDEN LN	WEST DALLAS INVESTMENTS LP
6	2901 N BECKLEY AVE	ONCOR ELECRTCIC DELIVERY COMPANY
7	3149 CANADA DR	MENDEZ JOE
8	3145 PASTOR ST	MENDEZ JOSE N
9	3141 PASTOR ST	RODRIGUEZ VIVIAN
10	3139 PASTOR ST	GARCIA TOMASA C
11	3135 PASTOR ST	ALVAREZ JOSE M & MARY E
12	3127 PASTOR ST	RODRIGUEZQUIROZ PETE
13	3121 PASTOR ST	MARTINEZ JOSEFINA RODRIGUEZ
14	3119 PASTOR ST	LARA IGNACIO JR & ESTHER
15	3115 PASTOR ST	GUZMAN JUAN GARCIA
16	3111 PASTOR ST	MENDEZ JOE N
17	3109 PASTOR ST	PADILLA MARY T
18	3105 PASTOR ST	SOLAJA STEVE & VICKI
19	3101 PASTOR ST	DELAROSA THELMA
20	3140 PASTOR ST	PEREZ VINCENT
21	3138 PASTOR ST	PEREZ DOLORES REYNOSA ESTATE OF
22	3134 PASTOR ST	ESTATE OF PEREZ DOLORES REYNOSA
23	3126 PASTOR ST	MENDEZ DANIEL
24	3124 PASTOR ST	CARRASCO JUAN
25	3120 PASTOR ST	GARCIA SAN JUANA R
26	3118 PASTOR ST	GARICA SAN JUANA R &

01/27/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	3114 PASTOR ST	RIOS GUADALUPE REVOCABLE LIVING TRUST
28	3110 PASTOR ST	MARTINEZ SILVERIO &
29	3108 PASTOR ST	RANGEL ANTONIO P
30	3104 PASTOR ST	SHETH HEMANG A
31	3102 PASTOR ST	AGUERO VERA
32	310 CANADA DR	HMK LTD
33	3123 GULDEN LN	CARRIZALES RICHARD E &
34	3119 GULDEN LN	HERNANDEZ PRISCILLA A &
35	3115 GULDEN LN	MARTINEZ SILVERIO
36	3111 GULDEN LN	RAMIREZ CONSUELO
37	3109 GULDEN LN	GONZALEZ MARGARITO S
38	3107 GULDEN LN	PARNELL WINFRED
39	3103 GULDEN LN	LOPEZ MARIA EUGENIA &
40	3011 GULDEN LN	WEST DALLAS INVMTS LP
41	331 TORONTO ST	NUNCIO MARGARET
42	335 TORONTO ST	WEST DALLAS INVESTMENTS
43	339 TORONTO ST	WEST DALLAS INVESTMENTS
44	3202 WAKE ST	MARTINEZ NICHOLAS R
45	3206 WAKE ST	GILDED ASPIRATIONS LLC
46	3210 WAKE ST	MONTES JOSEPHINA
47	3214 WAKE ST	MARTINEZ FRED
48	3218 WAKE ST	HERNANDEZ JULIA MARTINEZ
49	3222 WAKE ST	YAZDANI ENTERPRISES LLC
50	3302 WAKE ST	MEDRANO MARY A &
51	3306 WAKE ST	ZAMORA MARIO
52	3310 WAKE ST	MOJICA BENITO
53	3314 WAKE ST	FAZ MARIA ELENA
54	3320 WAKE ST	BUENTELLO REGINA
55	336 GUAM ST	DIAZ JUANITA NUNCIO
56	332 GUAM ST	ALCALA ARTHUR &
57	328 GUAM ST	ESQUIVEL ARTURO O &

Z190-158(PD)

01/27/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	1001 CONTINENTAL ST	VIADUCT DALLAS CITY & COUNTY
59	302 BROADWAY BLVD	WEST DALLAS INVESTMENTS LP
60	320 SINGLETON BLVD	TRINITY GROVES RESIDENTIAL I LP

Planner: Pamela Daniel

FILE NUMBER: Z190-180(PD) **DATE FILED:** January 10, 2020
LOCATION: North side of Singleton Boulevard, between Bataan Street and Herbert Street
COUNCIL DISTRICT: 6 **MAPSCO:** 44 Q
SIZE OF REQUEST: ± 5.086 acres **CENSUS TRACT:** 0101.02

REPRESENTATIVE: Laura Hoffman & Tommy Mann, Winstead PC

APPLICANT/OWNER: West Dallas Investments, L.P.

REQUEST: An application for a Planned Development District for a GO General Office District and mixed uses on property zoned an R-5(A) Single Family District, an IR Industrial Research District, and a CS Commercial Service District.

SUMMARY: The applicant proposes to develop the site with a special office project and mixed uses. The applicant requests to create a Planned Development District to allow for varied increases in the maximum height; (penetrating the residential proximity slope), and the floor area ratio; deviation from the streetscapes, landscape, sign regulations; and decreases to the front yard and side yard setbacks.

STAFF RECOMMENDATION: Denial.

The West Dallas Urban Structure & Guidelines Area Plan:

https://dallascityhall.com/departments/pnv/Documents/WD_Urban%20Structure%20Guidelines%20033111%20Adopted1.pdf

The Trinity River Corridor Comprehensive Land Use Plan:

<https://dallascityhall.com/departments/pnv/Documents/Trinity%20River%20Corridor%20Comprehensive%20Land%20Use%20Plan%202005%20Rev%202009.pdf>

BACKGROUND INFORMATION:

- The request site consists of 19 parcels with seven parcels being separated by a public street [Toronto Street] situated between Singleton Boulevard and Pueblo Street proposed to be abandoned. Existing uses consist of four surface parking lots, 12 undeveloped lots, one approximately 12,000-square-foot microbrewery, microdistillery, or winery use with accessory surface parking, and two lots developed with single family dwellings.
- The applicant proposes to raze the existing improvements and redevelop the site with a special office project with a maximum height of 135 feet varied to 75 feet and a garage podium with a maximum height of 74 feet varied to 26 feet regulated through the use of a height exhibit. Additionally, the request seeks to provide a multipurpose space, a pedestrian connection, and abandon a public street that provides an east to west connection.
- The proposed standards of the PD will deviate from the district regulations for R-5(A), CS, and IR Districts as follows:
 - 1) increase the maximum allowable height from 30 feet (R-5(A)) and 45 feet (GO) respectively as permitted in the above referenced districts to varied heights per a height exhibit
 - 2) decrease the maximum allowable height from 200 feet as permitted in an IR District;
 - 3) decrease front yard setbacks from 20 feet in an R-5(A) District and 15 feet in CS and IR Districts to 12 feet for portions of a building between grade and below 14 feet and six feet for portions of a building between 14 feet and grade. Based on the development plan 20-foot setback is required along the northern and western portion of the property and a 12-foot setback is required along the southern and eastern portion of the property. An additional setback is required where residential adjacency exists for an additional 30 feet in an IR District and 20 feet in a CS District;
 - 4) deviating from the streetscapes per Complete Streets, compliance which envisioned by “the Structure Area Plan.”
 - 5) reduce the landscape requirement per Article X, as amended, and
 - 6) increase the number of allowable signs and sign types.

Zoning History: There have been four recent zoning cases within the vicinity in the past five years.

1. **Z190-158:** On November 5, 2020, the City Plan Commission will hear a request for a Planned Development District for office and mixed uses on property zoned an IR Industrial Research District, located on the northeast corner of Gulden Lane and Singleton Boulevard.
2. **Z189-350:** On March 25, 2020, the City Council approved an amendment to Planned Development District No. 891 which incorporated the property in an IR District into and expanding PD No. 891.
3. **Z156-302:** On September 28, 2016, City Council approved the expansion of Planned Development District No. 891 for certain Mixed Uses on property zoned an IR Industrial Research District.
4. **Z112-319:** On June 13, 2016, City Council approved Planned Development District No. 891 for certain Mixed Uses on property zoned an IR Industrial Research District.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Thoroughfare Plan Dimension; ROW
Singleton Boulevard	Major Arterial	88 feet
Herbert Street	Collector	56 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department reviewed the request and finds that the deviation from the Complete Streets Manual regarding streetscape standards will negatively and significantly impact the surrounding roadway system. The traffic study for Gateway Tower incorrectly assumed zero annual growth for background traffic and did not consider recent construction or latent developments on Singleton. The traffic study assumes a 0.5% annual growth; the amount is inconsistent with observations of traffic or amount of private development in recent years and still pending. Staff disagrees with an assumed ten percent reduction to trip generation. Although transit should be considered an alternate mode of transportation, ride hailing also generates added trips not accounted in the study. The report is missing Exhibit 3 and Exhibit 4 showing existing and proposed geometries and should provide an illustration showing buildout conditions

delay/LOS/V/C/Queue with existing roadway geometry and proposed geometry. A traffic signal warrant analysis is required before development of these properties. Given the amount of development, which exceeds the range of published data, the project traffic trip generation is not considered accurate. Either data from existing similar developments or a traffic study of actual (future) conditions is required. Alternatively, the study could have been based on parking spaces and a general understanding of any passenger loading operations. The study should have included recommendations of roadway cross section and design of recommended right turn lanes, which are not feasible given the limited space available, and all other recommendations of roadway geometry. Further, staff cannot support the request, since a study including sight distance analysis at Bataan Street, which is impeded by existing buildings was not provided.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The applicant's request is not consistent with the following goals and policies of the Comprehensive Plan.

The request site lies within an area designated Urban Neighborhood as depicted on the *forwardDallas! Comprehensive Plan* Vision Illustration. The proposed request is not characteristic of this building block. The Urban Mixed-Use Building Block is characterized by being predominately residential but are distinguished from other neighborhoods by the wide variety of housing options they provide and easy access to public transit. Housing choices should include single-family detached dwellings, townhomes and low- to midrise condominiums or apartments. These neighborhoods are characterized by having concentrations of shops and offices along key corridors or at key intersections, providing important services and job opportunities within walking distance of residences. These areas may have mixed-use buildings with ground floor shops. Areas currently developed with single-family or duplex uses should generally be maintained unless redevelopment is addressed through an Area Planning process. Urban Neighborhood streets are characterized with very pedestrian friendly, providing excellent connectivity to shopping, schools and other community services. Emphasis should be placed on slowing traffic through use of on-street parking and other similar traffic calming measures. Public investments in these areas will focus on parks, pathways, transit stops, pedestrian-oriented landscaping and road improvements.

GOAL 1.1 Align land use strategies with economic development priorities

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

GOAL 1.2 Promote desired development.

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

ECONOMIC ELEMENT

GOAL 2.5 FOSTER A CITY OF GREAT NEIGHBORHOODS

Policy 2.5.2 Ensure that existing and future residential areas are appropriately linked in order to enhance economic development and urban design benefits.

URBAN DESIGN

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY

Policy 5.1.1 Promote pedestrian-friendly streetscapes.

Implementation Measure 5.1.1.3 Apply urban design tools in pedestrian or transit-oriented districts when approving zoning cases and when developing Area Plans.

Policy 5.1.3 Encourage complementary building height, scale, design and character.

The *Neighborhood Plus Plan* was adopted by the City Council in October 2015 to set a new direction and shape new policy for housing and neighborhood revitalization in Dallas. The final chapter, Strategic Goals, delineates six strategic goals to shift our approach, policies and actions to achieve greater equity and prosperity for all Dallas residents, expand the range of housing options, and enhance the quality of neighborhoods.

GOAL 5 EXPAND HOMEOWNERSHIP

Policy 5.1 Encourage a wider range of well-designed and affordable housing types as a response to emerging homeownership preferences.

Area Plans:

On March 9, 2011, Council approved the **West Dallas Urban Structure and Guidelines Area Plan (the Structure)**. This document provides a template for redevelopment of an area generally bounded by Canada Drive/Beckley Avenue, IH-30, and Sylvan Avenue; and envisions dense, pedestrian-oriented, mixed-use neighborhoods along the Singleton Boulevard and Herbert Street corridors.

The Structure was developed using a collaborative community-based process under the guidance of the Dallas CityDesign Studio. Public input was a cornerstone of the Structure's development, with over 40 community meetings as well as detailed discussion and interaction with the applicant in order to reach a consensus around the vision for the area. The development objectives include:

1. Preserve, enhance, conserve the La Bajada community in its entirety;
2. Re-Create Singleton Boulevard and Commerce Street as handsome "parkway" streets entering the inner city;
3. Create a new neighborhood spine street of retail and services with high-density mixed-use clustered along it;
4. Step-down in density from the new neighborhood spine east, west and toward La Bajada;
5. Development of three to four (3-4) active mixed-use nodes at major intersections;
6. Allow for incremental rehabilitation and infill re-development of properties east, west, and south of new neighborhood spine as demand emerges, and;
7. Create a high-density, residentially focused neighborhood along the levee with connections into the Trinity Park.

As determined by staff, the three primary objectives of "the Structure are to enhance and protect La Bajada, encourage incremental development, and foster new development that complies with the vision". The key to achieving these objectives successfully lies in the concept of reorienting development pressure away from La Bajada and concentrating the opportunities for density along a newly-established Herbert Street spine that runs from Singleton to West Commerce Street. As an investment in this key move to reformat the built environment in the area, the City of Dallas included \$34 million in the 2012 Bond Program to design and construct underpasses under the existing Union Pacific Railroad. This improved connectivity places the target for growth south of Singleton Boulevard; however, its success hinges on concentrating growth in a manner that establishes Herbert Street as the central spine street that includes key development nodes and high density from W. Commerce Street to Single Boulevard with a step-down in density from east, west, and toward La Bajada.

The **Trinity River Corridor Comprehensive Land Use Plan**, adopted by Dallas City Council in March 2005, serves as a framework for a coordinated approach to the Trinity Project infrastructure improvements, land use and economic development. Its broad vision describes the character this corridor should have for the future. It establishes general principles that direct preparation of detailed plans for smaller parts of the corridor. It provides guidance about the appropriate land uses and development patterns for the corridor that can be used by citizens, property owners, and City officials as they review specific development proposals. Within this larger plan lies West Dallas. With its strategic location across the Trinity from downtown, it is envisioned to follow a mixed-use development pattern. This pattern should incorporate a vibrant mix of residential and employment uses at a lower density than that found in downtown but providing residents with a vibrant blend of opportunities to live, work, shop and play within a closely defined area. "This Structure" is an updated and refined vision for this area.

Trinity Corridor Comprehensive Land Use Plan **Study Area 16: La Bajada / Los Altos**

The Trinity River Corridor Comprehensive Land Use Plan is designated by seven planning Districts within the Trinity River Corridor. These seven districts were established based on natural and man-made boundaries and the character of the existing land uses and development. The Study Area discussion include a map and description of the Urban Design Framework Plan for the study area. These framework plans provide general recommendation related to the urban design details that will make these study areas successful and distinctive. These framework plans are divided by twenty-three study areas within the corridor. The Study Areas within each district are discussed immediately after the overall district plan is described. For each study area, a general assessment of the area's existing conditions and potential are presented. The key elements of the *Land Use Opportunity Plan* for the study area are described and the Land Use Opportunity Plan map is presented. These land use categories are applied more precisely to the properties within the study area. Since these study areas have had more detailed professional analysis and received more extensive public comment during the planning process, the resulting Land Use Opportunity Plans can provide a more precise level of policy guidance for future development and investment decisions. The Study Area discussions also include a map and description of the *Urban Design Framework Plan* for the study area. These framework plans provide general recommendations related to the urban design details that will make these study areas successful and distinctive.

The Prototype Sites located within a district are discussed after the study area plans. The prototype site plans are not intended to reflect specific development proposals. Rather, they are meant to be examples of the types of site development that can occur consistent with this plan's policy direction. The prototype site plans apply to particular geographic areas; however, similar site development opportunities exist in other areas

of the corridor as well. The locations of these ten prototype sites as depicted below in the Prototype Site Plan.

The Land Use Opportunity Plan for this area protects and retains the existing neighborhoods. It envisions a mix of uses, including Office and Retail – Special, at the point where the Margaret Hunt Hill Bridge will create a new connection across the river and a new gateway into West Dallas. The area between Singleton Boulevard and the rail line will redevelop with a mix of uses designated as Residential – Urban consisting of a variety of housing types such as townhomes, multifamily, and mid-rise residential. Lastly, Retail – Community uses are designated along Sylvan in response to stakeholder interest in retail uses that will serve both local residents and visitors using the Trinity Park. A development concept for this key location is shown in the Woodall Rodgers Intercept Prototype Site Plan as depicted on the Land Use Opportunity Plan below.

STAFF ANALYSIS:

Surrounding Land Uses:

	Zoning	Land Use
Site	R-5(A), CS, IR	Surface parking lots, single family, undeveloped lots, microbrewery
North	R-5(A), NSO No. 13	Open space, community service center, single family
East	IR, R-5(A)	Retail and personal service, Single family
South	PD No. 891	Multifamily
West	CR, IR, R-5(A)	Church, personal service, single family

Land Use Compatibility:

The request site contains 19 total parcels, possessing three different zoning districts. The portion south of Toronto Street fronting along Singleton Boulevard is zoned an IR Industrial Research District developed with a 12,000-square-foot microbrewery use and off-street parking use. The portions of the property north of Toronto Street are zoned a CS Commercial Service District to the far west and north of Pueblo Street an R-5(A) Single Family District with Neighborhood Stabilization Overlay No. 13 to the east with scattered undeveloped lots and two single family dwelling units.

The applicant is proposing to develop the request site with a “special office project” and a garage podium with a maximum height of 135 feet with variations or a step-down in height to 26 feet for the lowest portion of the garage podium. While the request proposes to default to a GO(A) General Office District, the request proposes to limit the number of uses permitted within the district by permitting a temporary construction or sales office use, financial institution without drive-in window [*only in the same building as an office use*], office use, retail and personal services uses further limited to a commercial parking lot or garage use, a general merchandise or food store 3,500 square feet or less use, a general merchandise or food store greater than 3,500 square feet [*maximum 15,000 square feet for any single user*], personal service uses [*excluding tattoo or body piercing studio or massage establishment*]. Additional provisions for retail and personal service uses further include a general merchandise of food store, personal service use, or restaurant without drive-in or drive through service use and restricting the use within an original brewery building or in the same building as an office use.

The request seeks to further decrease the front yard and side yard setbacks where residential adjacency exists and remove both the urban form setback requirement and residential proximity slope. Lastly, the request seeks to abandon a portion of a public street [Toronto Street] to facilitate the portion of the development containing the garage podium.

The request site is surrounding by an open space, a community service center and residential dwellings to the north, residential uses immediately adjacent to the northeast, retail and personal service uses to the east, residential uses and undeveloped tracts to the west and surface parking lots and a microbrewery, microdistillery or winery use to the south.

The area encompassing the request site is unique in the aspect of having adjacency to Downtown, the Design District, Victory Park, and the recreational opportunities of the planned Trinity Park. The area is home to a strong and vibrant Mexican American neighborhood that comprises the residential core for the community. Having undergone decades of disinvestment, the area is burdened by negative external perceptions. Since the completion of the Margaret Hunt Hill Bridge, the area and request site acts as a gateway into West Dallas and the La Bajada Neighborhood. However, previous disinvestment and disconnection from the rest of the city created challenges that gave the impression of a declining urban environment. However, reinvestment into the community is revitalizing the desire to enhance and utilize the area’s advantages to create a more desirable place to live, conduct business, and experience unique cultural and urban amenities.

Established small scale neighborhoods such as La Bajada contribute to the overall vitality of the city. Such neighborhoods act as an important part of the mix that creates an active community life in Dallas and its character should be considered in current and future design and planning of adjacent and denser development patterns. Therefore, buffering of neighborhood edges should be addressed through use, height, setback, scale, massing and detailing of adjacent buildings. Additionally, vehicular access and parking requirements for new development(s) should minimize impact on neighborhood traffic flow and avoid disturbing the character of the neighborhood. According to “the Structure”, to ensure compatibility with La Bajada, in-fill construction should be limited to single family uses and should respect the R-5(A) yard, lot, and space regulations. Further to ensure compatibility between adjacent uses when current single-family zoning meets existing IR districts. Replacing incompatible uses and in-fill lots with single family, duplex, and/or townhome buffers to the existing community is encouraged. As development moves closer to Singleton and Sylvan, density and height allowances should be increased. Additionally, no portion of a building over twenty-six (26) feet in height may be located above the residential proximity slope as established in Section 51A-4.412. The request as proposed stands in contradiction to the long-range area plan, “the Structure”.

As previously mentioned, a garage podium is proposed with a maximum height of 72 feet to be gradually reduced to 26 feet as the garage nears the residential neighborhood. As it relates the parking structures, “the Structure” calls for underground structured parking to satisfy parking requirements. Parking structures should exhibit the same principles as those for good building design that respect the context and character of its neighbors. With the exception for minimum ground-level frontage required for access to parking and loading, integrated parking and loading areas should not be visible on any building façade facing a public street.

Where parking, loading or circulation is provided above the ground floor, development should be lined with occupied floor area along all street frontages and integrated into the design of the building. Stand-alone parking structures are encouraged to integrate an external skin designed to improve the building’s appearance over the basic concrete structure of ramps, walls and columns. This can include heavy-gage metal screen, pre-cast concrete panels, laminated glass, photovoltaic panels, etc. A “green screen” coordinated with the design of the parking structure may also be employed to screen the structure. Sustainable design features such as photovoltaic panels (especially on the top parking deck), renewable materials with proven longevity, and stormwater treatment may be integrated into the design of the parking structure. Vertical circulation cores should be located on primary pedestrian corners and be highlighted architecturally. The ground floor along public streets should provide active uses along

the street frontage of the garage. On service streets or mews, the ground floor treatment may consist of an appropriate screening element. Location of ventilation exhaust of parking structures and the noise from fans and blowers and impacts to adjacent uses and pedestrian environments should be considered in the design and impacts avoided where feasible. Pedestrian entrances to parking facilities should be directly accessed by sidewalks, covered walkways, pedestrian paseos, or through internal building vestibules. As proposed the garage podium does not provide any of the architectural design elements or uses at grade as specified within the guidelines for “the Structure”.

The proposed development is not consistent with the existing low density, single-family, urban character of the surrounding area, as a gateway neighborhood into West Dallas. Staff recognizes that a portion of the site fronts along a major thoroughfare, thus having the potential to support density increases only along Singleton Boulevard without further encroachments into the existing residential districts.

In addition to establishing the amount and phasing of development, the adopted Structure is organized around three main regulatory areas to emphasize the importance of urban design and placemaking as development priorities:

- **Defining Street Character.** Mobility functions must be balanced with creating economically vibrant and viable neighborhoods that contribute to a physically beautiful environment and a sustainable ecology. Streets must support all modes of travel, provide a high level of connectivity, accommodate development flexibility over time, and encourage pedestrian activity. The request proposes a superblock with approximately 437 feet of continuous structure with no real pedestrian connection from Herbert Street to Bataan Street. Yet the request proposes that pedestrians walk under the first story of the garage podium for connectivity and access between two residential blocks [Herbert Street and Bataan Street].
- **Organizing a Network of Open Space Opportunities.** The Structure calls for accommodating demand on land for development and infrastructure in a manner that provides for livability for the community. To that end, the Structure details the need for a hierarchy of open space of a variety of characters to serve the anticipated population in the area, as well as including public, semi-private and private open space distributed throughout the community. The request proposes to a garage podium with a maximum height of 26 feet to face the residential district, no screening between the garage podium of residential district to mitigate vehicular nuisances such as lights, noise from fans and blowers. As envisioned

by “the Structure” parking structures should its relationship and impacts to adjacent uses and pedestrian environments should be considered in the design and impacts avoided where feasible. “The Structure” further encourages pedestrian entrances to parking facilities should be directly accessed by sidewalks, covered walkways, pedestrian paseos, or through internal building vestibules. Additionally, the request proposes a “multipurpose space” that is essentially a blank space and along the 26-foot fire lane. The proposed “multipurpose spaces” is additionally located within a small pocket area to the west of the garage podium and contains no open space or pedestrian amenities.

- **Architecture.** Development standards should focus on how buildings relate to form and public space. Successfully achieving the vision relies heavily upon PD conditions that ensure each of these development priorities is achieved. Regulations should guarantee the transformation of the built environment to realize the Structure’s vision and build a strong sense of place. The request as a whole does not support the vision of “the Structure”, stabilization and/or integration into the existing residential built environment.

Buffering of neighborhood edges should be addressed through use, height, setback, scale, massing and detailing of adjacent buildings. Further vehicular access and parking requirements for new development(s) should minimize impacts on neighborhood traffic flow and avoid disturbing the character of the neighborhood. The creation of a superblock, midblock within an established residential neighborhood, abandoning a City street to facilitate the development of a structure that prevents pedestrian and vehicular access from an east/west linkage, and providing a public open space (multipurpose space) that plays little to no critical role in the successful integration of commercial and residential uses to necessarily achieve livability in a mixed use community as envisioned by “the Structure” does not come close to consideration of the area plan.

As a result of considering the vision of the *forwardDallas! Comprehensive Plan*, The Structure, and the Trinity River Corridor Area Plan, staff does not believe that this development with modifications could be an opportunity to activate an area of the city that is transitioning into a more mixed-use urban and walkable pedestrian friendly environment with complementary streetscapes, as envisioned. Considering the totality of the request, the proposed development rights drastically deviating from the GO General Office District and the surrounding established single family district without regard to compatibility and sensitivity to protect the character of the adjacent neighborhood, staff cannot support the request. Lastly, for a better view of the scale, intensity and impact of the request staff has include a height impact exhibit that is included for illustrative purposes only.

Development Standards:

SUBDISTRICT	SETBACKS		FAR	Height	Lot Coverage	Additional Provisions	PRIMARY Uses
	Front	Side/Rear					
R-5(A) Single Family	20'	5'5' OTHER: 10'	None	30'	45% for res 25% for nonres	RPS	Single Family
IR Industrial	15'	30' res adj OTHER: No min.	.5 Retail & personal svcs .75 lodging, office, retail & personal svcs 2.0 all combined	200'	80%	RPS	Light industrial, office and supporting commercial uses
CS Retail	15'	20' res adj OTHER: No min.	.5 lodging, office, retail & personal svcs .75 all combined	45'	80%	RPS	Retail
PD Proposed	12' for portion of a bldg. b/w grade and below 14' 6' for portion of a bldg. 14' taller	No min. 20' in location noted on development plan	350,000 sqft 1.58 office	135'	80%	None	Office tower, mixed uses

Parking:

Off-street parking will be provided for each use in accordance with the Development Code. The applicant proposes an office project with a mix of uses consisting of retail, restaurant and multifamily uses. Office uses require one space per 366 square feet of floor area. Retail related uses generally require one space per 220 square feet of floor area. Restaurant uses require one space per 100 square feet of floor area. The applicant proposes to provide the off-street parking and loading spaces in surface parking lots and within an above-ground structure which is discouraged in “the Structure.”

Signs:

The proposed announcement sign proposes an increased effective area of 1,000 square feet. Under the current zoning regulations for signs on this site, attached signs are allowed to cover up to 25% of the primary elevation & up to 15% of the secondary elevations. However, any attached sign located within 100' of private property in a non-business zoning district, is restricted to 40 sq. ft. A digital display is allowed where any other sign is allowed, however the size must be reduced to 50% of the allowed square

footage for that sign or 50 sq. ft., whichever is more. Attached signs are limited to eight words over four-inches-tall per façade (words less than four inches in height can be used with restriction as to number). The word rule applies to attached digital displays as well as static signs. Thus, the proximity of the site to the protected single family residential, district to the west, northwest, north and east, staff cannot support the sign request for project announcement signs and accent lighting as proposed.

Landscaping:

The proposed landscape plan is an exception to Article X, as amended. The request deviates from Article X because it fails to provide for landscaping on impervious surfaced designated as multipurpose space and pedestrian connection. Additionally, the request does not distinguish landscape open soil areas or provide screening along the portions of the multipurpose spaces immediately adjacent to a residential district.

Staff cannot support the applicant's request because while the proposed conditions are reasonable and consistent with the spirit of Article X, tree planting areas are insufficient to support high intensity vehicle areas.

Market Value Analysis:

Market Value Analysis (MVA), is a tool to aid residents and policy makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Portions of the property to the north along Pueblo Street are within an identifiable "H" MVA cluster while the remaining parcels are not within an identifiable MVA cluster. The request is immediately adjacent to an "H" MVA cluster to the west, northwest, northeast and an "E" MVA cluster to the southeast across Singleton Boulevard to the southeast.

LISTS OF OFFICERS

West Dallas Investments, LP
J. Stuart Fitts, Managing Partner
Philip Romano, Managing Partner
Larry McGregor, Managing Partner

Applicant's Proposed PD Conditions

ARTICLE ____.

PD ____.

SEC. 51P-____-101.

LEGISLATIVE HISTORY

PD ____ was established by Ordinance No. _____, passed by the Dallas City Council on _____, 2020. (Ord. No. _____)

SEC. 51P-____-102.

PROPERTY LOCATION AND SIZE.

PD ____ is established on property generally bounded by _____, and _____ Street. The size of PD ____ is approximately 5.086 acres.

SEC. 51P-____-103.

DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51A apply to this article.

(b) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51A.

(c) This district is considered to be a nonresidential zoning district.

(d) **MASSAGE ESTABLISHMENT** means a massage establishment as defined by the Texas Occupation Code 455, as amended, where massage is practiced by anyone not a duly licensed physician or chiropractor. This term does not include, however, duly licensed beauty parlors or barbershops, gyms, fitness studios, or a place wherein registered physical therapists treat only patients recommended by a licensed physician. **MASSAGE** means a massage as defined by the Texas Occupation Code 455, as amended, but does not include massage by duly licensed physicians and chiropractors, registered physical therapists who treat only patients recommended by a licensed physician, massage services provided in conjunction with a gym or fitness studio, or massage practiced by beauty parlors or barbershops duly licensed under the penal code of the state.

(e) **MULTIPURPOSE SPACE** means the area shown on the development plan (Exhibit __A) as multipurpose space.

(f) **NEWLY CONSTRUCTED BUILDING** means a building that is not an original brewery building.

(g) **ORIGINAL BREWERY BUILDING** means a building constructed before **[insert effective date of the PD ordinance]**, the floor area of which has not since **[effective date of the PD ordinance]**, been increased by more than 20 percent.

(h) **PARKWAY** means the portion of a street right-of-way between the projected street curb and the front lot line.

(i) **PEDESTRIAN CONNECTION** means the area shown on the development plan (Exhibit __A) as a pedestrian connection.

(j) TATTOO OR BODY PIERCING STUDIO means a business in which tattooing or body piercing is performed. TATTOOING means the practice of producing an indelible mark or figure on the human body by scarring or inserting a pigment under the skin using needles, scalpels, or other related equipment. BODY PIERCING means the piercing of body parts, other than ears, for purposes of allowing the insertion of jewelry.

(k) TRANSPARENCY means the total area of window opening, door opening, or other opening, expressed as a percentage of the total facade area by story.

SEC. 51P-____-104. EXHIBITS.

The following exhibits are incorporated into this article:

- (1) Exhibit A: Development plan.
- (2) Exhibit B: Height exhibit.
- (3) Exhibit C: Streetscape Standards

SEC. 51P-____-105. DEVELOPMENT PLAN.

(a) Except as provided in this section, development and use of the Property must comply with the development plan (Exhibit __A). In the event of a conflict between the text of this article and the development plan, the text of this article controls.

(b) For an original brewery building, no development plan is required, and the provisions of Section 51A-4.702 regarding submission of or amendments to a development plan, site analysis plan, conceptual plan, development schedule, and landscape plan do not apply.

SEC. 51P-____-106. MAIN USES PERMITTED.

(a) In general. The following uses are the only main uses permitted:

- (1) Miscellaneous uses.

-- Temporary construction or sales office.

- (2) Office uses.

-- Financial institution without drive-in window [*only in the same building as an office use*]

-- Office.

- (3) Retail and personal service uses. [*See Section 51P-____-106(b) for use restrictions.*]

-- Commercial parking lot or garage.

-- General merchandise or food store 3,500 square feet or less.

-- General merchandise or food store greater than 3,500 square feet.
[Maximum 15,000 square feet for any single user.]

-- Personal service uses. *[Excluding tattoo or body piercing studio or massage establishment.]*

-- Restaurant without drive-in or drive-through service.

(b) Additional provisions for retail and personal service uses.

(1) A general merchandise or food store, personal service use, or restaurant without drive-in or drive through service is only allowed (i) within an original brewery building; or (ii) in the same building as an office use.

(2) A commercial parking lot or garage is only allowed if located on the same building site as an office use.

SEC. 51P-___-107. ACCESSORY USES.

As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.

SEC. 51P-___-108. YARD, LOT, AND SPACE REGULATIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Division 51A-4.400. If there is a conflict between this section and Division 51A-4.400, this section controls.)

(a) In general. Except as provided in this section, the yard, lot, and space regulations in the GO(A) General Office district apply to this district.

(b) Height.

(1) Except as otherwise provided herein, the maximum structure height is 135 feet.

(2) Maximum structure height for certain portions of the Property is further limited as shown on the height exhibit (Exhibit ___B).

(3) The residential proximity slope does not apply.

(c) Front Yard.

(1) Minimum front yard for the portion of a building between grade and below 14 feet is 12 feet.

(2) Minimum front yard for the portion of a building 14 feet or taller is 6 feet.

(3) No urban form setback is required.

(d) Side and Rear Yard.

(1) Except as otherwise expressly provided in this subsection, no minimum.

(2) A minimum 20 foot building setback is required in the locations noted on the development plan. The following may be located within the minimum 20 foot setback: shade structures, landscaping, trees, sculptures, retaining walls, mechanical equipment with associated screening, pavilions, gazebos, outdoor seating, structures and associated improvements for recreational purposes such as a basketball court or volleyball court, and any other improvements except for fully enclosed, occupiable building structures or parking structures. For the avoidance of doubt, this provision shall not be interpreted to allow permanent structures to be located within a fire lane. All fire lanes within the Property designated at the time of building permit must comply with City of Dallas Fire Code requirements.

(3) No tower spacing is required.

(e) Maximum floor area. 350,000 square feet.

(f) Lot Coverage.

(1) Except as otherwise provided in this paragraph, maximum lot coverage is 80 percent.

(2) Maximum lot coverage for any portion of a building greater than 90 feet in height is 30 percent.

(3) Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

SEC. 51P-___-109.

URBAN DESIGN REQUIREMENTS.

(a) In general. Except for an original brewery building, development must comply with the following urban design requirements.

(b) Architectural elements. A minimum of one architectural element, such as the following, must be provided at all public entry points:

(1) Arcade,

(2) Arch,

(3) Canopy,

(4) Awning,

(5) Turret,

(6) Portal,

(7) Cantilevered building above the entrance, or

(8) Similar architectural feature.

(c) Façade variation.

Z190-180(PD)

(1) A minimum of every 50 feet of building facade length must provide variation within the vertical plane of a minimum of 5 feet.

(2) A minimum of every 400 feet of building facade length must provide a minimum of 25 feet of variation within the vertical plane.

(d) Ground story transparency. Any facade facing Singleton Boulevard must have a minimum transparency of 50 percent for the portion of the building on the ground level between grade and 13 feet in height.

(e) Service and loading zones. Service and loading zones shall not be placed along Singleton Boulevard or Herbert Street and will be screened so as not to be visible from any adjacent public right-of-way.

(f) Streetscape Standards.

(1) In general. Streets must comply with the Streetscape Standards (Exhibit C). If there is a conflict between Exhibit C and the text of this article, the text of this article controls.

(A) For the northern side of Singleton Boulevard abutting the building site, the planting zone, bike lane, and sidewalk shown in the Streetscape Standards must be completed prior to issuance of a final certificate of occupancy for a newly constructed building. The median is shown on the Streetscape Standards for illustrative purposes only and will not be required as part of construction or certificate of occupancy within this district.

(B) For the west side of Herbert Street abutting the building site, the planting zone and the sidewalk shown in the Streetscape Standards must be completed prior to issuance of a final certificate of occupancy for a newly constructed building.

(2) Curb Extensions. A curb extension is required on Herbert Street abutting the building site where on-street parking is provided, except where parking is used as a lane of traffic during peak hours. On Herbert Street, curb extensions shall be provided at all mid-block crossings (if any), except where parking is used as a lane of traffic during peak hours. Curb extensions shall not encroach into traffic lanes or bike lanes.

(3) Crosswalks. Crosswalks must be delineated through the use of contrasting pavement, texture, material, or color. Anti-slip material is encouraged.

(4) Sidewalks. A minimum seven-foot sidewalk is required along Herbert Street and Singleton Boulevard, with a minimum of six feet unobstructed, except for tree grates, pedestrian street lamps, street furnishings, utility poles, and service boxes. A portion of the sidewalk may be located within a sidewalk easement, as shown in the Streetscape Standards. Sidewalks must be level across all driveways and curb cuts.

(5) Lighting.

(A) Lighting should be provided at regular intervals with a spacing of no greater than 100 feet along Singleton Boulevard and Herbert Street, with the exception of visibility triangles and vehicular drives, in order to provide lighting on sidewalks and walkways to enhance pedestrian safety.

(B) Lighting must be directed away from residential districts or residential uses.

(6) Additional pedestrian amenity along the Herbert Street frontage. Public art, such as but not limited to sculpture(s) or mural(s), and/or a pocket park shall be incorporated along the Herbert Street frontage to encourage activation of the corridor for pedestrians between Singleton Boulevard and the property to the north of the site.

SEC. 51P-___-110.

OFF-STREET PARKING AND LOADING.

(a) In general.

(1) Except as provided in this section, consult the use regulations in Division 51A-4.200 for the specific off-street parking and loading requirements for each use.

(2) Off-street parking areas may be used for community events during evenings, weekends, and holidays.

(3) Section 51A-4.301(f)(1) does not apply in the locations where multipurpose space is shown on the development plan.

(b) Parking Structure Screening.

(1) Sloping ramps located at the perimeter of garage structures must be screened through the use of vegetation, metal panels, perforated metal screens, solid walls, or other architectural elements to obscure at least half of the sloping ramps' length from view. The garage is not required to be fully enclosed to satisfy this condition.

(2) Exterior parking structure façades must provide solid screening a minimum 42 inches from the floor level within the parking structure to screen vehicles and vehicle headlights.

(3) Murals or similar artistic installments may be utilized on exposed portions of a parking structure to enhance visual appeal and compliment the pedestrian experience.

~~(c) Public transit parking reduction. The off street parking requirement for all uses except restaurant uses may be reduced by 10 percent if the use(s) are within 1,200 feet, measured along the sidewalk from a DART bus stop at which DART bus service is available, during the morning and evening peak periods (between 7:00 a.m. and 8:30 a.m. and between 4:30 p.m. and 6:00 p.m., Monday through Friday)~~

(c) Administrative parking reduction. The director may grant a reduction in the number of off-street parking spaces required for office, retail, and personal service uses in this planned development district if the director finds that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the reduction would not create a traffic hazard or increase traffic congestion on adjacent or nearby streets. The maximum reduction authorized by this section for office, retail and personal service uses is 20 percent. In determining whether to grant a reduction under this subsection, the director shall consider the factors contained in Section 51A-4.313(b).

(d) Office use. Unless Chapter 51A requires less parking, one off-street parking space for each 366 square feet of floor area is required.

SEC. 51P-___-111.

ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI.

SEC. 51P-___-112.

LANDSCAPING.

(a) Application. This section only becomes applicable to a lot or tract when the nonpermeable coverage on the lot or tract is increased by more than 2,000 square feet within a 24-month period, not including portions of pedestrian pathways that are between three feet in width and 15 feet in width.

(b) Definitions and standards. Except as provided in this section, the definitions and conditions of Article X apply. If there is a conflict, the text of this section controls.

(c) Surface parking lot trees. No surface parking space may be located more than 75 feet from the trunk of a large tree. Each tree must have a caliper of at least four inches and may not be planted closer than two and one-half feet from any pavement. Each large tree must be provided a minimum of 160 square feet of surface area.

(d) Street buffer zone and street trees.

(1) Definitions.

(A) TREE PLANTING ZONE means an area measured from the back edge of, and parallel and 15 feet from the back of the projected street curb, or if there is no street curb, from the edge of street pavement.

(B) TREE PLANTING STRIP means an area that is a minimum of five-foot-wide and a minimum of 10 feet in length, or that otherwise provides a minimum horizontal root expansion area of 60 square feet.

(2) Tree planting strip requirements.

(A) Herbert Street planting strip. A minimum five-foot wide tree planting strip is required adjacent to the sidewalk along Herbert Street as shown on the Streetscape Standards (Exhibit ___C).

(B) Singleton Boulevard planting strip. A minimum five-foot wide tree planting strip is required adjacent to the bike lane along Singleton Boulevard as shown on the Streetscape Standards (Exhibit ___C).

(3) Number, location, and type of street trees required.

(A) Except as provided in this section, one large tree must be provided for every 30 linear feet of lot frontage along a public street. The number of required street trees is calculated by dividing the number of feet of lot frontage along a public street by 30. Fractions are rounded to the nearest whole number, with .5 being rounded up to the next higher whole number. Driveway entrances, calculated where the entrance crosses the property line, are not included in lot frontage calculations. When existing conditions prohibit planting large trees, the building official may approve either (i) one medium tree; or (ii) two small trees be substituted for each large tree, and such trees shall be spaced per the requirements of Article X.

(B) Required large street trees shall be spaced 30 feet apart, except where such spacing is made impractical due to overhead or underground utility conflicts or easement restrictions, the location of vehicular access points, conflicts with city signs, signals, crosswalk signs or DART bus signs, or where otherwise recommended by the city arborist.

(C) All required street trees must have a caliper of at least four inches.

(D) Except when tree grates are provided in sidewalks, street trees must be planted within a tree planting strip within the tree planting zone.

(E) Tree planting zones and tree planting strips may be located in the right-of-way in accordance with SEC. 51P-___114.

(F) If the property owner is unable to locate a tree within the tree planting strip or tree planting zone due to overhead or underground utility conflicts or proximity to structures, the building official may approve a reduction in the number or the size of the required street trees.

(G) It is a defense to prosecution for a violation of the requirements of this section if trees are required to be removed or altered due to conflicts with city signs, signals, crosswalk signs, DART bus signs, or similar structures.

(4) Minimum clearance above pavement for large street trees. The property owner shall maintain large street trees that are five years of age or older at least 14 feet above street pavement and at least eight feet above a public sidewalk located on public or private property.

(5) Tree grates required in sidewalks. Tree grates must be provided for all trees with trunks located in a sidewalk that are not located within a tree planting strip. Suspended brick, pave stones, or similar materials may be used instead of a metal grate to protect tree roots and provide a pedestrian surface. These materials must conform to state standards and specifications adopted to eliminate, insofar as possible, architectural barriers encountered by aged, handicapped, or disabled persons. The grates or containment areas must be large enough to permit healthy tree growth.

(e) Site trees for the multipurpose space. One large tree having a caliper of at least three inches must be provided in the area designated as multipurpose space on the development plan for each 4,000 square feet of multipurpose space exclusive of easements and fire lanes. Surface parking lot trees required pursuant to Section ___-112(c) may be included towards the site tree requirement for the multipurpose space.

(f) Plant requirements. Plants used to satisfy the landscape requirements in Article X must comply with the following requirements:

(1) Except for evergreen shrubs located in a special planting area, a large evergreen shrub must have the ability to grow to a minimum height of three feet within three years.

(2) Artificial plant materials may not be used.

(3) Any required landscaping that dies must be replaced.

(g) Garage screening and landscaping. Except for frontage along Herbert Street and Singleton Boulevard (which must comply with the Streetscape Standards ((Exhibit C)), aboveground parking structures must have a 5-foot landscaping buffer on any side facing a residential district or

residential use. This landscape buffer must contain solid evergreen screening with shrubs or other plantings, planted three feet on center. Initial plantings must be capable of obtaining a solid appearance within three years.

(h) The provisions of 51A-125 and 51A-10.126 are not applicable in this district.

(hi) If the property owner is unable to comply with any of the requirements in this section, the property owner may apply to the board of adjustment for a special exception in accordance with the procedures set forth in Section 51A-10.110.

(ij) Completion. All landscaping must be completed in accordance with this article before the final certificate of occupancy for new construction or surface parking lot.

SEC. 51P-___-113. SIGNS.

(a) Except as provided herein, signs must comply with the provisions for business zoning districts in Article VII.

(b) Definitions.

(1) BANNER SIGN means a sign applied on a strip of cloth, vinyl, or similar material and attached to a structure. Awnings, canopy signs, and flags are not banners.

(2) PROJECT ANNOUNCEMENT SIGN means an attached sign that announces a project or displays a promotional message. Project announcement signs may be digital signs, constructed of rigid material, mesh, or a fabric surface, or a projection of a light image onto a wall face. A project announcement sign may not advertise individual tenants of a building on the property.

(3) PROMOTIONAL MESSAGE means a message that identifies or promotes a cultural activity within this district or within the broader district known as Trinity Groves, any special event being conducted in this district or Trinity Groves, an event conducted by or on behalf of the La Bajada community group, or any other event that will benefit the city. Benefit to the city is established by:

- (A) use of city property in accordance with a contract, license, or permit;
- (B) the receipt of city monies for the activity or event; or
- (C) an ordinance or resolution of the city council that recognizes the activity or event as benefitting the city.

(c) In addition to those signs otherwise allowed by Article VII, one project announcement sign is allowed.

(1) Maximum effective area of the project announcement sign is 1,000 square feet.

(2) May contain a changeable message.

(3) A project announcement sign constructed of rigid material, mesh or a fabric surface may be displayed no more than 90 days before the project or activity commences and the sign must be removed no more than 15 days after the project or activity is completed. The sign hardware

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for a project announcement sign may be left in place between displays of a sign. A digital sign may display a message no more than 90 days before a project or activity commences and must change its message no more than 15 days after the project or activity is completed.

(4) May not be illuminated after 10:00 pm if located on a building façade facing a residential zoning district.

(5) Acceptable illumination examples include up-lighting or down-lighting with a concealed lamp from an external light source, back-lit LED, or digital signs.

(6) May not cover windows of a main building facade. May cover windows or openings of a parking structure façade.

(7) No more than 10 percent of the effective area of a project announcement sign may be devoted to sponsorship identification.

(8) A maximum of forty (40%) of the total effective area of the sign may contain text. The remainder of the sign must contain images or graphics.

(9) A sign permit is required prior to the erection of a project announcement sign. For a digital project announcement sign, after a sign permit is obtained for the initial erection of the sign no additional sign permits for a change in message are required.

(d) In addition to those signs otherwise allowed by Article VII, banner signs are allowed on light poles within the district. No sign permit is required to erect or remove a banner in this district. Banner signs are allowed on streetlight poles within the right-of-way subject to the following requirements:

(1) A banner must display a promotional message, generic graphics, or the name or logo of the district or Trinity Groves.

(2) A banner having a promotional message may not be erected more than 90 days prior to the beginning of the advertised activity or event, and must be removed no later than 15 days after that activity or event has ended. The sign hardware for a banner may be left in place between displays of a banner.

(3) A banner and its sign hardware must:

(A) be mounted on a light pole;

(B) meet the sign construction and design standards in the Dallas Building Code;

(C) be at least 12 feet above grade, unless it overhangs a roadway, in which case it must be at least 15 feet above grade;

(D) be made out of weather-resistant and rust-proof material;

(E) not project more than three feet from the pole onto which it is mounted; and

(F) not exceed 20 square feet in effective area.

SEC. 51P-___-115.

ADDITIONAL PROVISIONS.

(a) Either an emergency access gate or bollards are required within the driveway adjacent to Bataan Street in the location shown on the development plan.

(b) The area shown as multipurpose space on the development plan (Exhibit A) may include one or a combination of the following: shade structures, gazebos, pavilions, recreational amenities such as a basketball court, volleyball court, or similar amenities, surface parking, driveways, mechanical equipment with associated screening, dumpsters with associated screening, fire lanes, pervious paving, landscaping, trees, plazas, open space, outdoor seating, and similar structures or features. These structures or features are not required to be shown on the development plan. Other than foundations for allowed structures, fire lanes, driveways, and surface parking, ground cover within the multipurpose space shall be pervious. Any lighting provided in the multipurpose space must be directed downward and away from any adjacent residentially zoned properties.

(c) The Property must be properly maintained in a state of good repair and neat appearance.

(d) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.

(e) Traffic Impact Study. Before the issuance of a building permit for construction of a newly constructed building, a traffic impact study must be submitted to the ~~city's traffic engineer~~director to determine if additional traffic improvements are necessary; and, if so, the extent which such additional improvements are attributable to the proposed development. Traffic improvements necessitated by and wholly attributable to new development of the property, which have been identified in the traffic impact study, shall either be (i) made by the owner as part of the new development; or (ii) a payment in amount equal to the estimated cost of constructing the improvement must be provided to the city. For traffic improvements partially attributable to the new development of the property, which have been identified in the traffic impact study, the property owner shall make a payment to the city in an amount equal to the property owner's roughly proportionate share of the estimated cost of constructing the improvements. Either the contract for any improvements made by the developer or payment in an amount equal to the property owner's roughly proportionate share of the estimated cost of constructing the improvements must be completed or provided prior to the issuance of a final certificate of occupancy for a newly constructed building on the property. The owner shall only be responsible for constructing or paying the cost (or portion thereof, as applicable), of any additional improvements to the extent such improvements are attributable to the new development. All right-of-way or easement dedication shall be determined through the platting process.

(f) Pedestrian connection. Prior to the issuance of a certificate of occupancy for a newly constructed building, an improved, 20 foot-wide public pedestrian path must be provided at the northwest corner of the property in the general location shown on the development plan (Exhibit ___A). This pedestrian path will serve to connect the city right-of-way along Pueblo Street and the city right-of-way along Fairfield Street resulting in a continuous 20-foot wide pedestrian path that connects Herbert Street to Bataan Street. The pedestrian path shall be kept free from trash and debris and shall not be gated.

SEC. 51P-___-116.

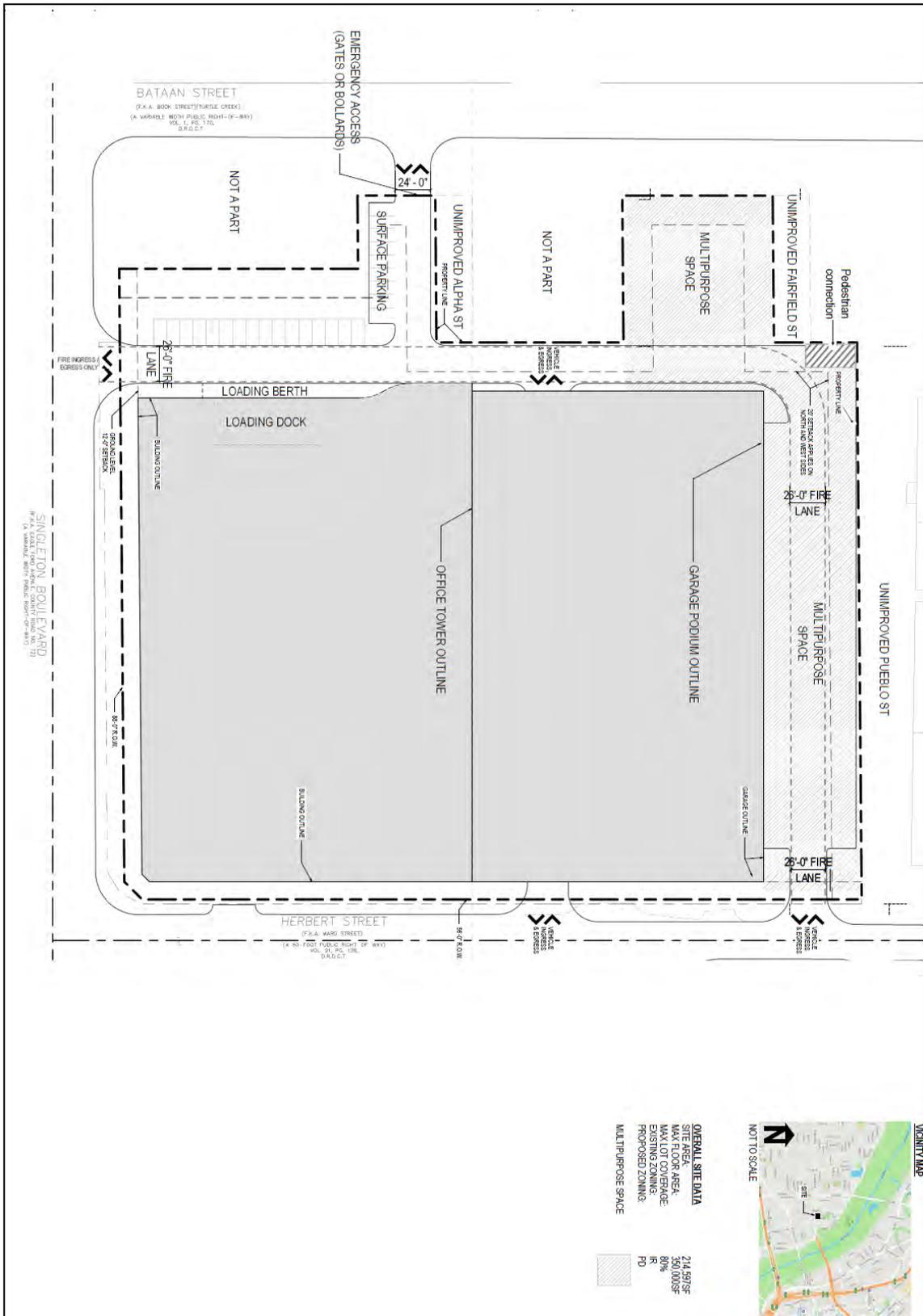
COMPLIANCE WITH CONDITIONS.

(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the city.

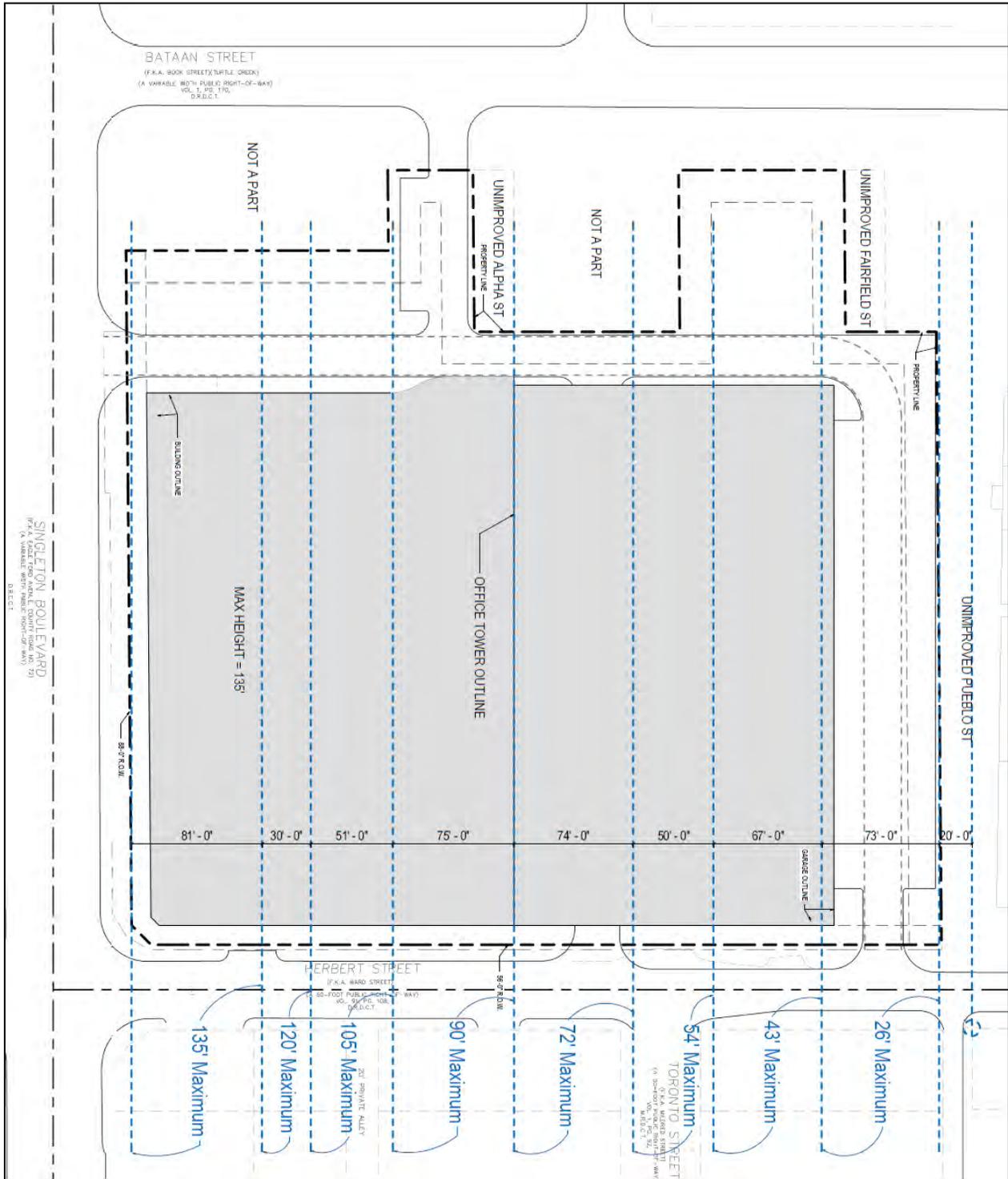
Z190-180(PD)

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

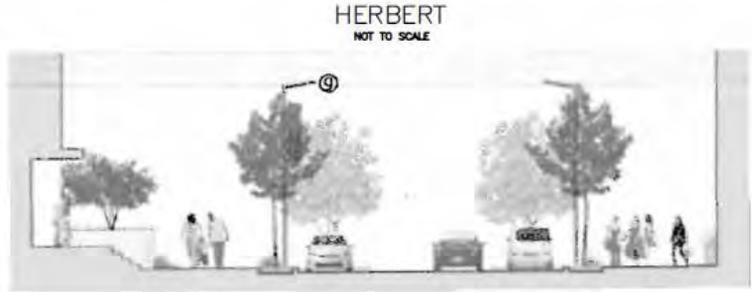
PROPOSED DEVELOPMENT PLAN



PROPOSED HEIGHT EXHIBIT

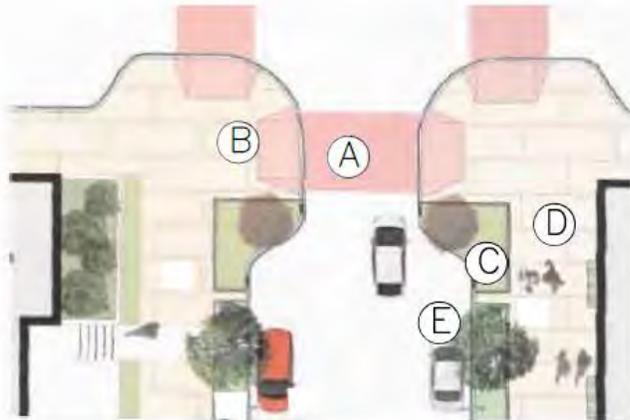


PROPOSED STREETScape EXHIBIT

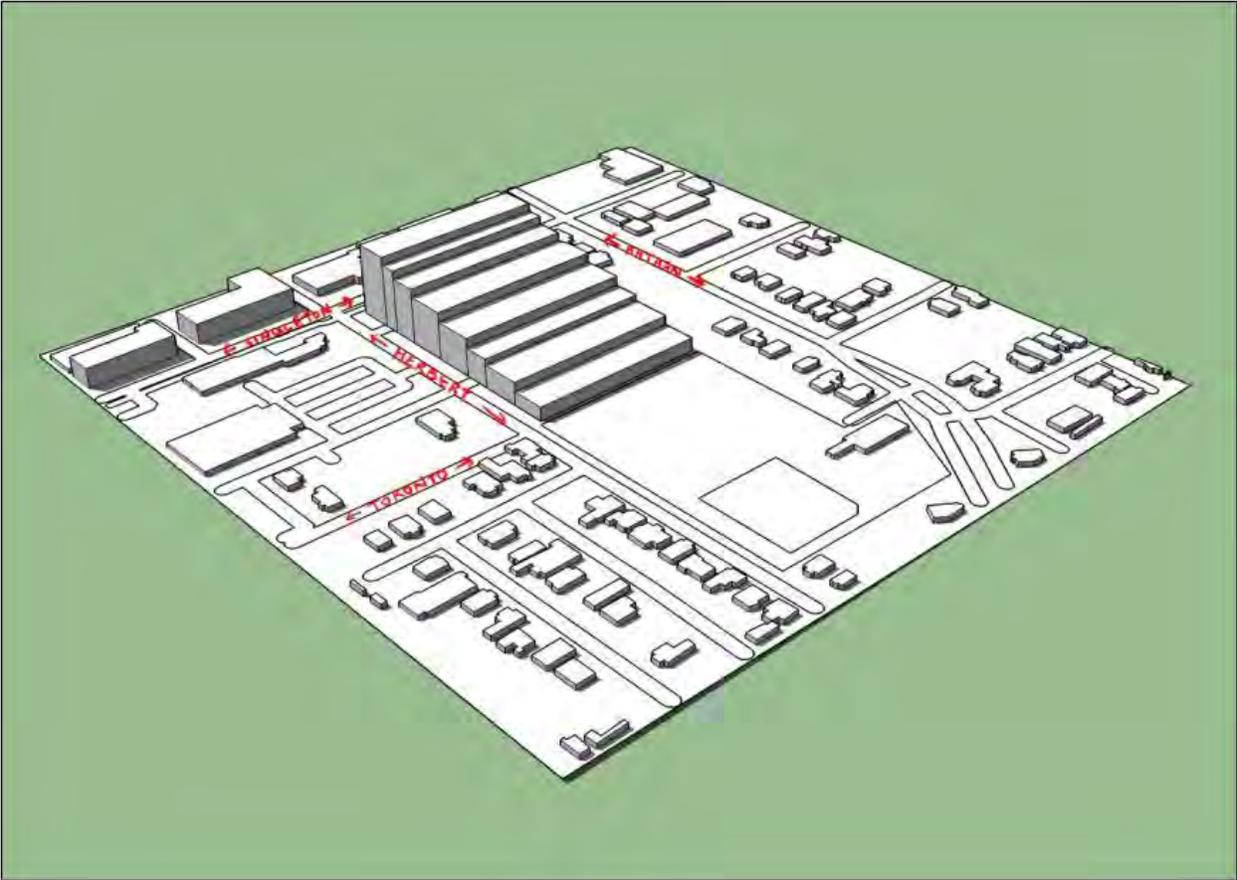


3'	4'	5'	8.5'	2 LANES 2-13' LANES	8.5'	5'	4'	3'
SIDEWALK EASEMENT	SIDEWALK	PLANTING SPACE	PARKING		PARKING	PLANTING SPACE	SIDEWALK	SIDEWALK EASEMENT
56' ROW								

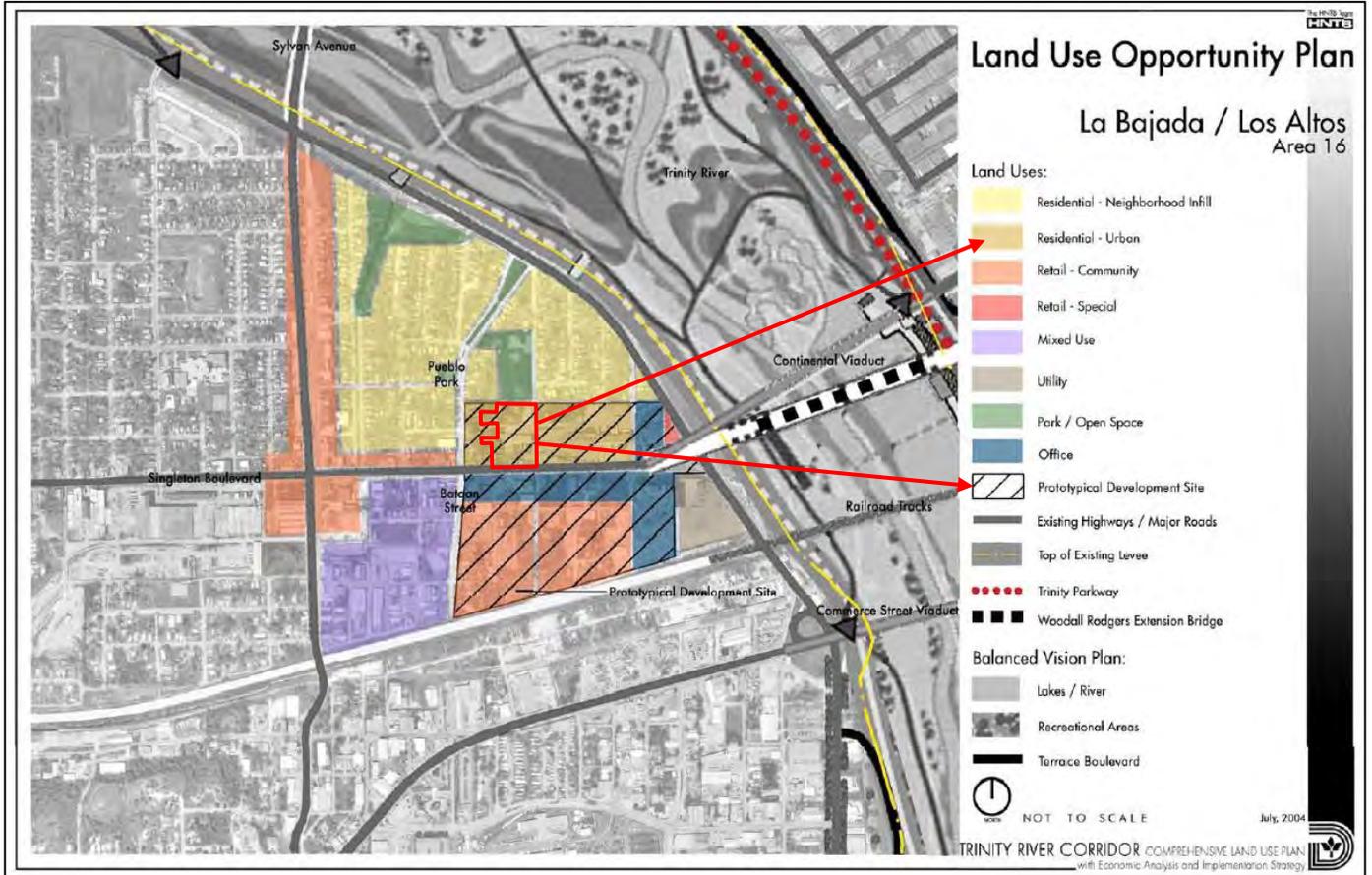
- LOCAL INTERSECTION
- A) CROSSWALK
 - B) CURB EXTENSION
 - C) PLANTING STRIP
 - D) SIDEWALK
 - E) PARKING



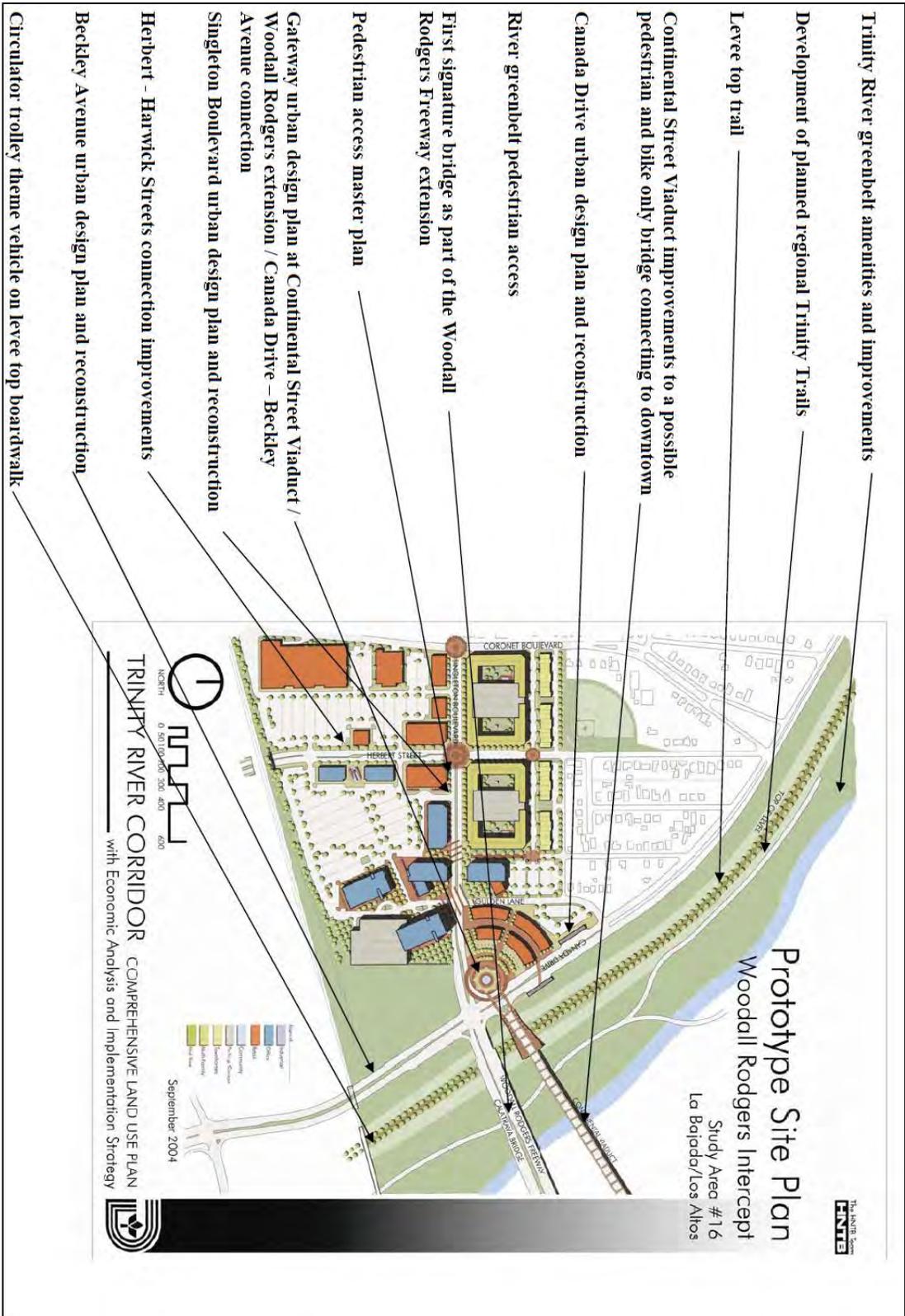
HEIGHT IMPACT EXHIBIT
(for illustrative purposes only)



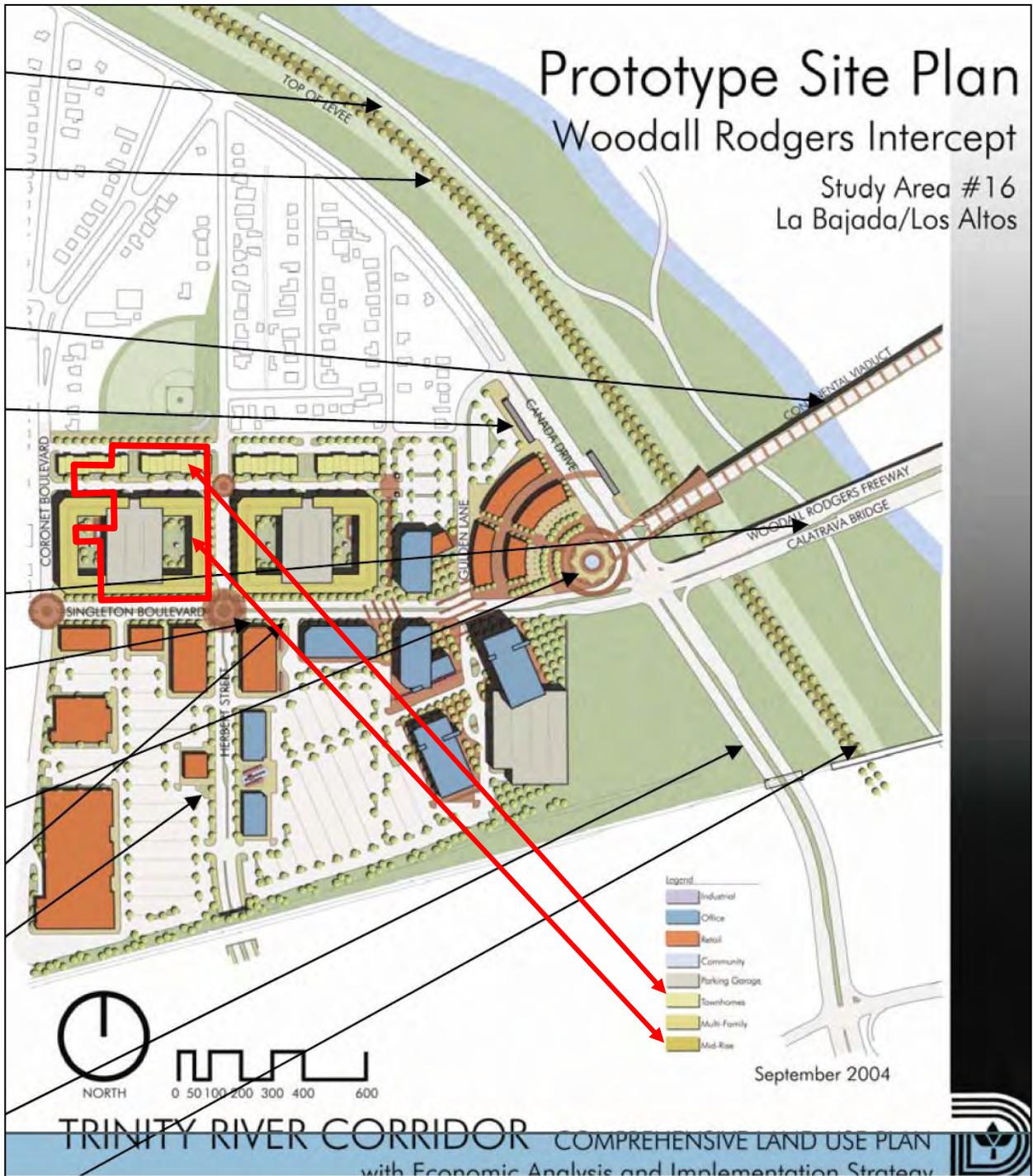
Trinity River Corridor La Bajada/Los Altos Study Area Land Use Designation

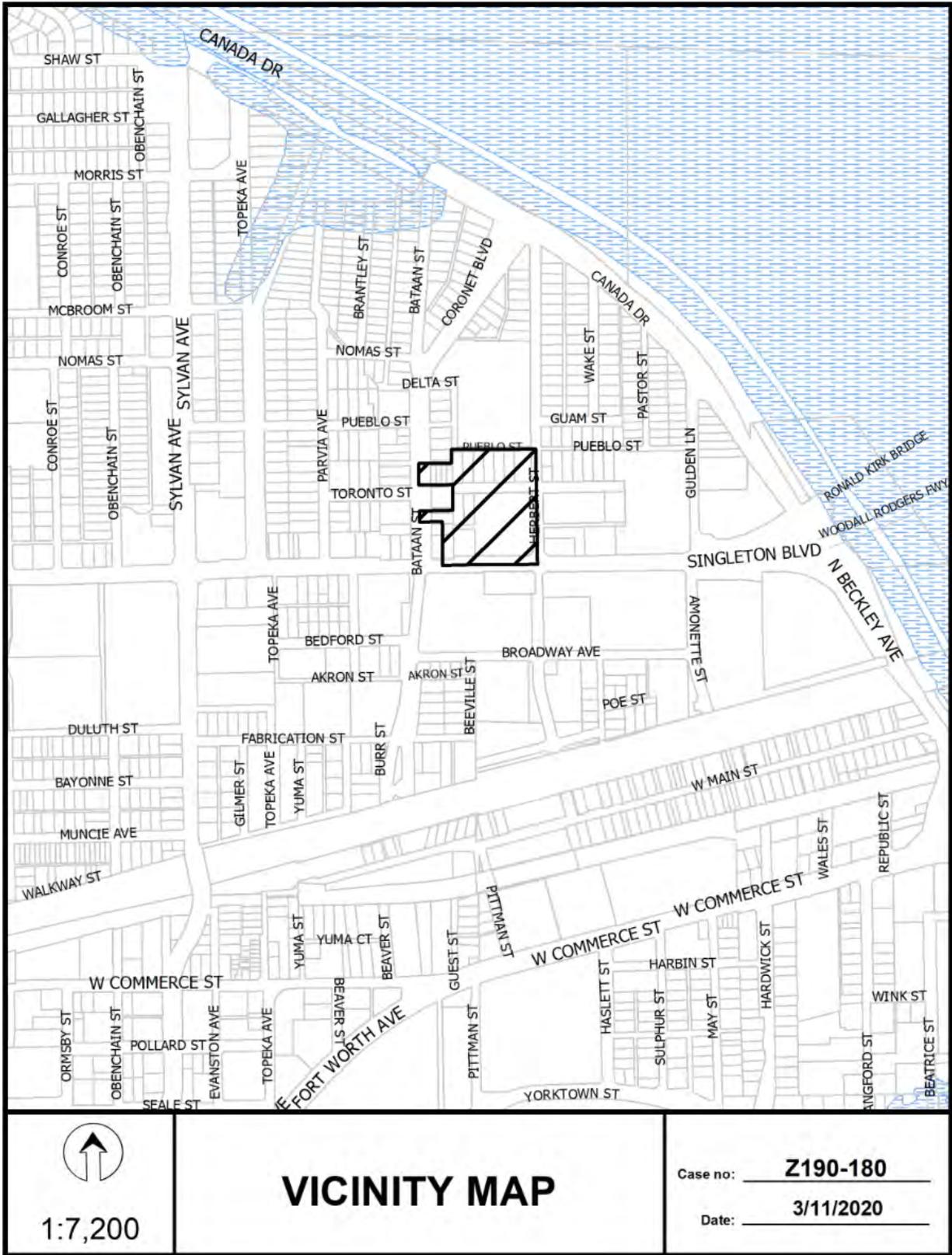


**Trinity River Corridor
La Bajada/Los Altos Study Area Prototype Site Plan**



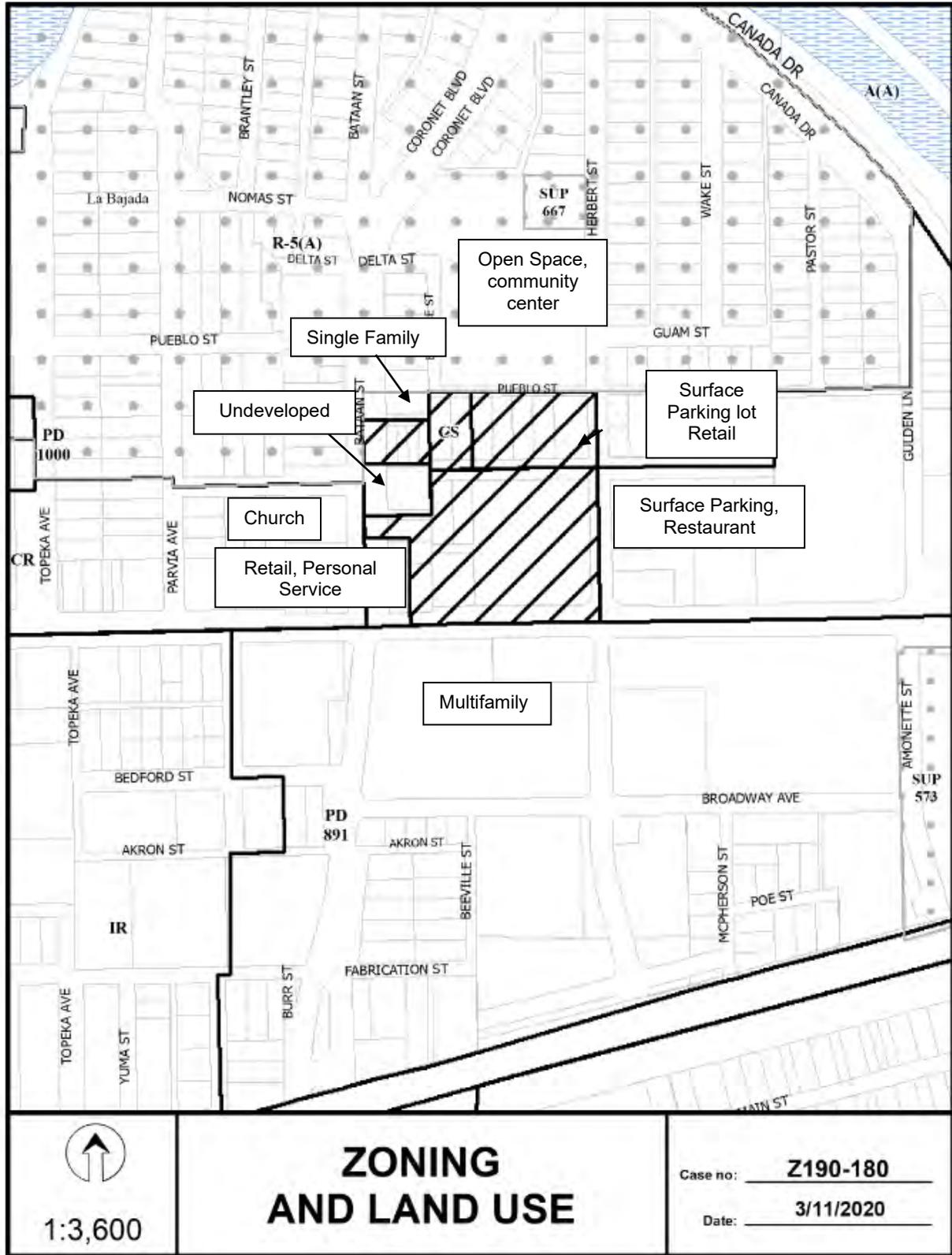
**Enlarged Trinity River Corridor
La Bajada/Los Altos Study Area Prototype Site Plan**



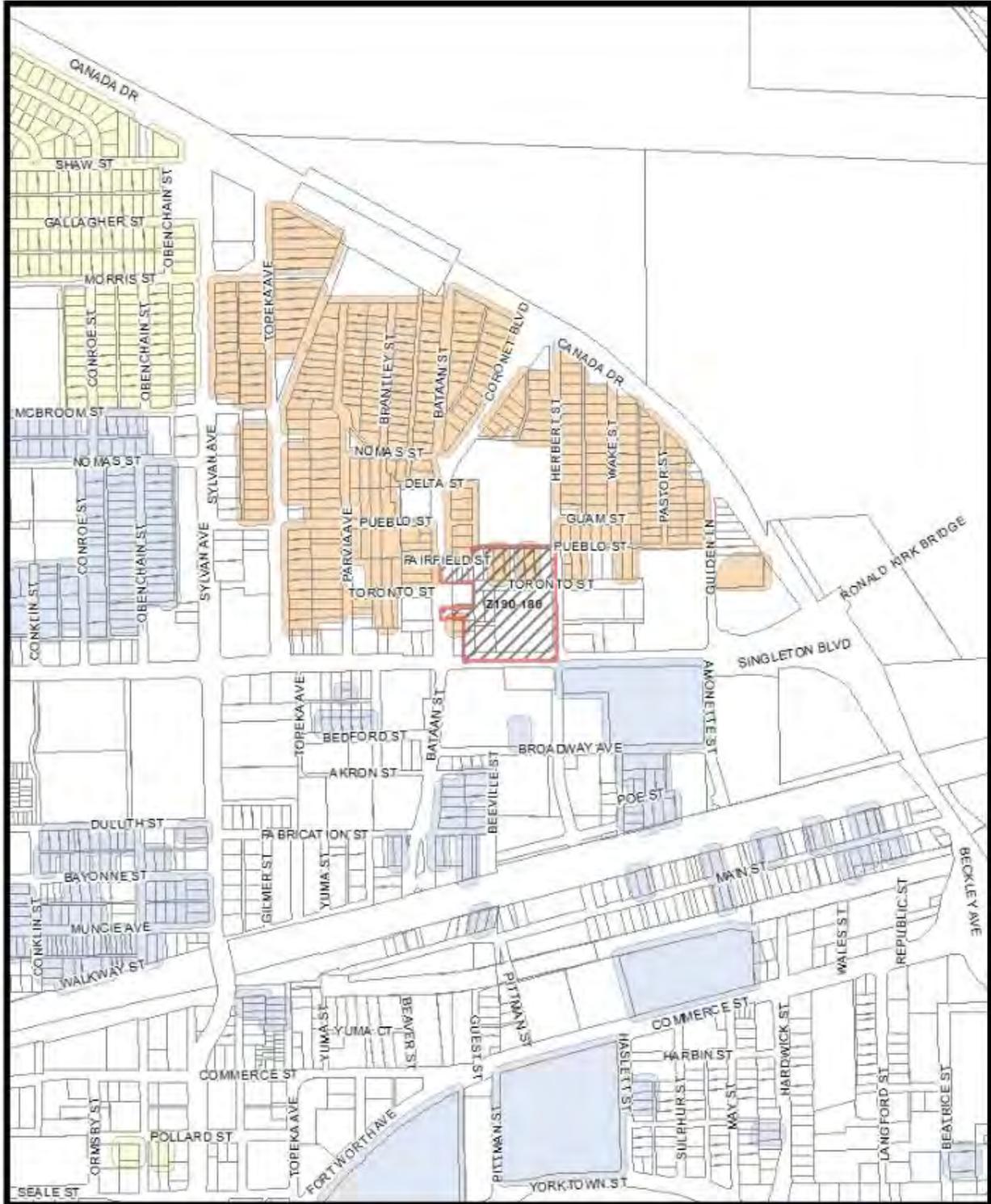




 1:3,600	<h1>AERIAL MAP</h1>	Case no: <u> Z190-180 </u> Date: <u> 3/11/2020 </u>
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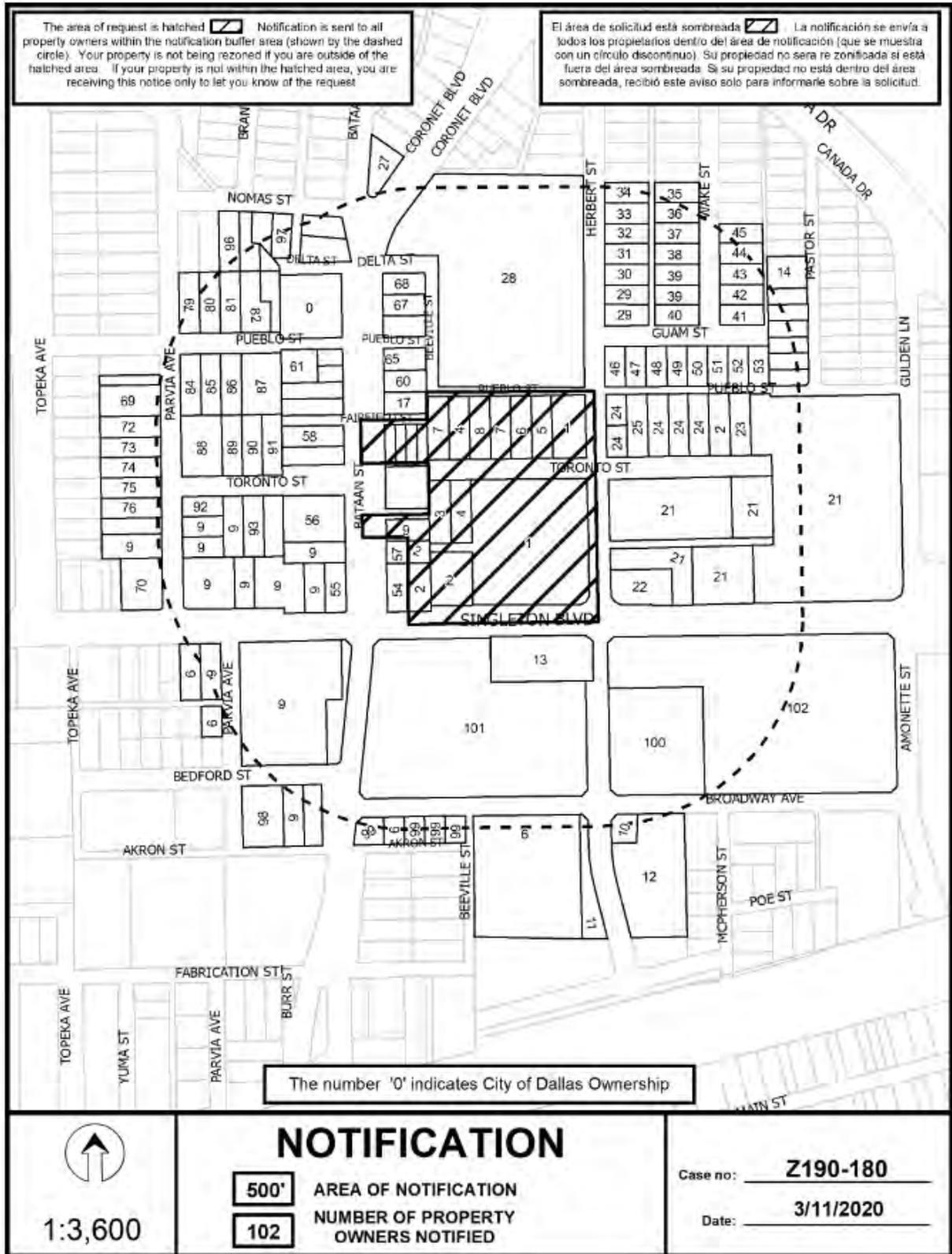


Market Value Analysis A B C D E F G H I NA

1:7,200

Market Value Analysis

Printed Date: 3/11/2020



03/11/2020

Notification List of Property Owners***Z190-180******102 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	423 SINGLETON BLVD	WEST DALLAS INVESTMENTS L
2	425 SINGLETON BLVD	WEST DALLAS INVESTMENTS
3	453 TORONTO ST	WEST DALLAS INVESTMENTS
4	424 TORONTO ST	WORKFORE MULTIFAMILY LLC
5	407 TORONTO ST	RAMIREZ THOMAS &
6	2712 BEEVILLE ST	WEST DALLAS INV LP
7	417 TORONTO ST	ZUNIGA GILBERT
8	421 TORONTO ST	WORKFORCE MULTIFAMILY LLC
9	507 SINGLETON BLVD	WEST DALLAS INVESTMENTS LP
10	2800 HERBERT ST	WEST DALLAS INVESTMENTS LP
11	2729 HERBERT ST	WEST DALLAS INV
12	350 BROADWAY BLVD	WEST DALLAS INV
13	408 SINGLETON BLVD	IZZAA FUND LLC
14	3121 PASTOR ST	MARTINEZ JOSEFINA RODRIGUEZ
15	3119 PASTOR ST	LARA IGNACIO JR & ESTHER
16	3115 PASTOR ST	GUZMAN JUAN GARCIA
17	3111 PASTOR ST	MENDEZ JOE N
18	3109 PASTOR ST	PADILLA MARY T
19	3105 PASTOR ST	SOLAJA STEVE & VICKI
20	3101 PASTOR ST	DELAROSA THELMA
21	3011 GULDEN LN	WEST DALLAS INVMTS LP
22	353 SINGLETON BLVD	J R S B PETRO INC
23	331 TORONTO ST	NUNCIO MARGARET
24	339 TORONTO ST	WEST DALLAS INVESTMENTS
25	351 TORONTO ST	NUNCIO EDWARD
26	3237 BATAAN ST	2007-2009 VIRGINIA LAND TRUST

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03/11/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	3313 CORONET BLVD	CHANTACA AGUSTINA M
28	3201 HERBERT ST	LUCIOUS L WILLIAMS FOUNDATION THE
29	3202 HERBERT ST	MARTINEZ SILVERIO
30	3210 HERBERT ST	SANTOYA SOFIA RIVERA
31	3214 HERBERT ST	RANGEL YOLANDA &
32	3218 HERBERT ST	RANGEL YOLANDA
33	3222 HERBERT ST	CUEVAS BENICNO
34	3302 HERBERT ST	GARABITO CIPRIANO
35	3303 WAKE ST	GUZMAN MARIA LF EST ET AL
36	3221 WAKE ST	MARTINEZ SUNNY R
37	3217 WAKE ST	CASTILLO DARRELL F &
38	3215 WAKE ST	JORDAN CORRINE
39	3211 WAKE ST	ROJAS RUSSELL SANDOVAL
40	3203 WAKE ST	ROJAS RUSSELL SANDOVAL
41	3202 WAKE ST	MARTINEZ NICHOLAS R
42	3206 WAKE ST	GILDED ASPIRATIONS LLC
43	3210 WAKE ST	MONTES JOSEPHINA
44	3214 WAKE ST	MARTINEZ FRED
45	3218 WAKE ST	HERNANDEZ JULIA MARTINEZ
46	3122 HERBERT ST	HERNANDEZ RAUL
47	348 GUAM ST	HERNANDEZ FELIPE R
48	344 GUAM ST	PADILLA JIMMY P
49	340 GUAM ST	GONZALES MANUELA
50	336 GUAM ST	DIAZ JUANITA NUNCIO
51	332 GUAM ST	ALCALA ARTHUR &
52	328 GUAM ST	ESQUIVEL ARTURO O &
53	322 GUAM ST	RIOS GUADALUPE REVOCABLE LIVING TRUST
54	437 SINGLETON BLVD	EJK USA ENTERPRISE LLC
55	3001 BATAAN ST	HUERTA YSIDRO
56	3015 BATAAN ST	IGLESIA DE DIOS MANANTIA
57	3012 BATAAN ST	CASTILLO NATIVIDAD M &

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03/11/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	3115 BATAAN ST	CURZ ARMANDO
59	3111 BATAAN ST	MARY PADILLA
60	3208 BATAAN ST	ESQUIVEL IRIS
61	3207 BATAAN ST	PENA MARTHA
62	3203 BATAAN ST	ESQUIVEL ARNULFO & ROSA
63	3213 BATAAN ST	PEREZ CORINA
64	3209 BATAAN ST	ALVARADO MARIA DELCARMEN
65	3210 BATAAN ST	CARILLO JOHANA SORA
66	3216 BATAAN ST	AGUILAR LEONARDO & MARIA
67	3222 BATAAN ST	FLORES JOSE
68	3228 BATAAN ST	LOZADA FELIX EST OF
69	3115 PARVIA AVE	TRINITY MODERN LLC
70	603 SINGLETON BLVD	EMEM III LLC
71	3119 PARVIA AVE	VELAZQUEZ IDALIA
72	3109 PARVIA AVE	CARRILLO TONY &
73	3107 PARVIA AVE	SALAZAR CATHERINE EST OF
74	3101 PARVIA AVE	CAZARES FORTUNATA EST OF
75	3023 PARVIA AVE	OROZCO AMELIA
76	3019 PARVIA AVE	HUERTA WALTER A
77	3015 PARVIA AVE	LUNA PAULA &
78	510 DELTA ST	BURKE RHONDA
79	531 PUEBLO ST	ORANTES GODOFREDO &
80	527 PUEBLO ST	MENDEZ JOE
81	523 PUEBLO ST	HUERTA MARIA C
82	517 PUEBLO ST	FLORES JOHN
83	513 PUEBLO ST	FLORES EDUARDO
84	530 PUEBLO ST	MARTINEZ RUBEN JR &
85	526 PUEBLO ST	URBINA ALFREDO
86	522 PUEBLO ST	DELCASTILLO PIO &
87	514 PUEBLO ST	DELEROSA ARGENTINA
88	531 TORONTO ST	NEW MOUNT CORINTH BAPTIST

Z190-180(PD)

03/11/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	523 TORONTO ST	HERRERA ZULEMA
90	519 TORONTO ST	GARCIA ELVIRA MORALES
91	515 TORONTO ST	GARCIA ISIDRA
92	3020 PARVIA AVE	MOON MARGARET P LUNA EST OF
93	518 TORONTO ST	GALVAN PASCUAL & LORENZA
94	522 NOMAS ST	JONES WALLACE L &
95	518 NOMAS ST	RODRIQUEZ DAVID & EMMA
96	524 NOMAS ST	GALLEGOS BEATRICE FAZ &
97	512 NOMAS ST	REYES ANASTACIO R
98	516 BEDFORD ST	WEST DALLAS INVESTMENTS LP
99	432 BROADWAY BLVD	WEST DALLAS INV L P
100	360 SINGLETON BLVD	WEST DALLAS INVESTMENTS LP
101	440 SINGLETON BLVD	TRINITY GROVES RESIDENTIAL II LP
102	320 SINGLETON BLVD	TRINITY GROVES RESIDENTIAL I LP

FILE NUMBER: Z190-223(PD) **DATE FILED:** March 20, 2020
LOCATION: Northwest side of South Belt Line Road, northeast of Garden Grove Drive
COUNCIL DISTRICT: 8 **MAPSCO:** 70 J
SIZE OF REQUEST: ±11.75 acres **CENSUS TRACT:** 171.01

OWNER/APPLICANT: NAN Investments, LLC.
REPRESENTATIVE: Correen C. Robertson, Civil Engineering Professionals, LLC.
REQUEST: An application for an MF-1(A) Multifamily District and NS(A) Neighborhood Service District uses on property zoned an R-7.5(A) Single Family District.
SUMMARY: The purpose of the request is to allow for the development of the property with three, three-story apartment buildings each containing 96 dwelling units [for a total of 288 units], and one, one-story approximately 8,000-square-foot retail building.

STAFF RECOMMENDATION: Denial.

PRIOR CPC ACTION: On October 15, 2020, the City Plan Commission held the request under advisement until December 3, 2020.

BACKGROUND INFORMATION:

- The area of request is zoned an R-7.5(A) Single Family District and is currently undeveloped.
- The purpose of the request is to allow for the development of the property with three, three-story apartment buildings each containing 96 dwelling units [for a total of 288 units], and one, one-story approximately 8,000-square-foot retail building.
- The applicant proposes to develop the retail building under the NS(A) District regulations and the apartment buildings under the MF-1(A) District regulations.
- Since, holding the request on October 15th, no revisions or updates have been provided to staff.

Zoning History: There have been two zoning changes in the surrounding area, in the past five years.

1. Z190-224: On March 6, 2020, an application for an MF-1(A) Multifamily District on property zoned an R-7.5(A) Single Family District was submitted to our office. The application has yet to fulfill GIS requirements to be scheduled for a public meeting.

2. Z167-381: On March 3, 2018, City Council approved an ordinance granting Specific Use Permit No. 2275 for a mini-warehouse use on property zoned a CR Commercial Retail District, located north line of S. Beltline Road, east of Garden Grove Drive.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
South Belt Line Road	Major Arterial	100 feet	107 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the request will significantly impact the surrounding roadway system. Engineering staff is still unable to support the request of a proposed curb cut on Belt Line that is not aligned with Merrydale Drive without any proposed mitigation to eliminate left turn overlaps.

The development is also proposing substandard dimensions without alternative access or a standard turnaround. Engineering staff also found no information on the requested signal warrant analysis back in May.

STAFF ANALYSIS

Comprehensive Plan

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request. The applicant's request is not consistent with the following goals and policies of the comprehensive plan.

ECONOMIC ELEMENT

GOAL 2.5 FOSTER A CITY OF GREAT NEIGHBORHOODS

Policy 2.5.2 Ensure that existing and future residential areas are appropriately linked in order to enhance economic development and urban design benefits.

The *Neighborhood Plus Plan* was adopted by the City Council in October 2015 to set a new direction and shape new policy for housing and neighborhood revitalization in Dallas. The final chapter, Strategic Goals, delineates six strategic goals to shift our approach, policies and actions to achieve greater equity and prosperity for all Dallas residents, expand the range of housing options, and enhance the quality of neighborhoods.

NEIGHBORHOOD PLUS PLAN

GOAL 4.3 Enhance neighborhood desirability by improving infrastructure, housing stock, recreation and safety.

GOAL 5 EXPAND HOMEOWNERSHIP

Policy 5.1 Encourage a wider range of well-designed and affordable housing types as a response to emerging homeownership preferences.

GOAL 5.2 Strengthen community and neighborhood identity.

Policy 5.2.1 Maintain neighborhood scale and character.

Land Use Policy Area Plan:

The intent of “The West Kleberg Community Plan” was to provide an overall vision to create economic development that will stimulate specific types of development for the community.

Based on the Community Plan, the request site is located within an area that is designated as “Sub-area 1, which was comprised of approximately 2,047 acres of which 46 percent was vacant or undeveloped, and 33 percent was comprised of Single Family (SF) uses” at the time of publication in 2007. An analysis of the existing conditions in Sub-area 1 on page 3-15 states, “Of utmost concern by the community is land speculation. In areas zoned Agricultural (A) and R-10(A) where there are large parcels of undeveloped land, developers are seeking high density development that may devalue existing property in stable areas.”

The Community Vision section of the Plan was developed in close cooperation with community stakeholders and paints a picture of what the community desires to see happen in the area in terms of future development patterns. The third growth forecast for the study area was based on a build-out of vacant land according to the Community Vision. In contrast to the previous two forecasts that were made for the Year 2030, this Community Vision forecast is not tied to a specific timeframe. Instead, it is intended to quantify anticipated growth when all vacant land is built out according to the Community Vision. This build-out was conducted by subarea based on assumptions of development patterns that were informed by community choices. The assumptions and calculations are provided below.

TABLE 5: SUB-AREA 1 BUILD-OUT

Development Type	Net Vacant Land (Minus Streets, Civic, Parks)	DENSITY (DU/AC)	FAR (Input)	HOUSING UNITS	COMMERCIAL SQ FT
RESIDENTIAL					
- Large Lot SF	169	1	n/a	169	n/a
- Medium Lot SF	429	4	n/a	1,717	n/a
- Townhouse SF	28	6	n/a	168	n/a
RETAIL/COMMERCIAL					383,328
- Neighborhood Commercial	35	n/a	0.25	n/a	344,995
- Highway Commercial Strip	40	n/a	0.20	n/a	
MIX USE	14	n/a	1.2	120	577,083
Totals	715			2,174	1,305,406

The residential build-out for Sub-area 1 would be 66.4% medium and 22.4% large lot development, with the remaining build-out at 9.1% for commercial and 2.1% for mix use

development. Based on these figures, the forecast would generate 2,174 new housing units and 1,305,406 square feet of new commercial construction.

In conclusion, the Plan notes the following on page 5-13:

Citizens continue to be adamant about retention of the area as a “bedroom community” with neighborhood-serving businesses along Hwy. 175-freeway corridor. They are supportive of new development that will contribute to open space and recreational facilities, with appropriate buffers from residential land uses. If the infrastructure demand does not parallel development activity, various neighborhoods within the community will continue to suffer from issues that already plague it (e.g., flooding, crime, school system, public facilities and so on). There is a need to ensure that development of residential subdivisions occurs in such a manner that it does not adversely impact existing low-density residential neighborhoods and that adequate land is reserved for large-lot single family type development. Where higher density housing occurs, adequate setbacks, buffers and open space are needed to protect adjacent single family neighborhoods.

The request proposed to develop the R-7.5(A) Single Family District as a MF-1(A) Multifamily District and an NS(A) Neighborhood Service District does not conform to the West Kleberg Land Use Plan’s vision for Sub-area 1, the request also seeks to decrease the 66.4 percent of available acreage designated for medium density residential development.

Land Use:

	Zoning	Land Use
Site	R-7.5(A)	Undeveloped
North	R-7.5(A)	Undeveloped
Northwest Northeast	R-10(A)	Single Family
West	R-10(A)	Single Family
Southwest	R-10(A), SUP No. 801	Inoperable water tower
South	MH(A)	Manufactured home park

Land Use Compatibility:

The request is for two zoning districts: an MF-2(A) Multifamily District along the western portion and an NS(A) Neighborhood Service District along the eastern portion of the site fronting. The western portion along the rear of the site proposes the development of three, three-story apartment buildings each containing 96 dwelling units [for a total of 288 units] and contains approximately 10.637 acres of land. The eastern portion of the request site fronting along South Belt Line Road proposes the one, one-story approximately 8,000-square-foot retail building and contains approximately 1.117 acres of land.

Uses surrounding the request site consist of an undeveloped tract to the north, single family tracts to the northwest, west and east, an inoperable water tower to the southwest and a manufactured home park to the south.

The applicant's request for dual zoning of MF-1(A) and NS(A) District would allow more density than the surrounding zoning districts and run contrary to the West Kleberg Community Plan. Therefore, as stated in the Plan, the "City should support neighborhood efforts to maintain the residential character of the West Kleberg area with new and infill residential development densities that maintain its existing rural densities." This is attainable by retaining the rural character of the area by minimizing potential adverse impacts of growth and maximizing opportunities to enhance the community's quality of life by supporting requests that propose larger lot sizes.

Further, the Plan does not speak to zoning districts with lot sizes less than 16,000 square feet. Therefore, staff recommends denial of the applicant's request for an MF-1(A) Multifamily District because staff supports the West Kleberg Community Plan "to protect the area from "cookie cutter" type single family development that could detrimentally impact a community that has struggled to protect its uniqueness since annexation". Contrarily, since the West Kleberg Plan proposes that additional retail uses are needed for the surrounding community, staff can support reducing a portion of the site for retail uses limited to community-serving retail and nonresidential uses. However, staff would not consider such a zoning change without consideration of the impact to the adjacent single family district and assurances to limit such impact.

While staff requested a Planned Development District be considered, the representative was not amendable to staff's recommendation. Staff may have considered approval of a PD with amenities, a reduction in density, limitation of uses, and design standards. However, since a PD was not offered, the uses and yard, lot and space regulations, will default to MF-1(A) and NS(A) District regulations and does not provide consideration of landscape and/or design standards to protect the existing abutting single family uses from the proposed multifamily and retail districts.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	PRIMARY Uses
	Front	Side/Rear				
Existing: R-7.5(A) Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	30'	45%	Single family
Proposed: NS(A) Retail	15'	20' adjacent to residential OTHER: No Min	0.5 FAR	30' gable roof & 35' for all others	40%	Neighborhood serving retail
Proposed: MF-1(A)	15'	5' for duplex 10' other/ 10' duplex 15' & 10' other	No max Unit/ 15 dus per acre	36'	60% res 25% nonres	Multifamily

Use comparison table for existing and proposed districts:

MF-1(A) Proposed	NS(A) Proposed	R-7.5(A) Existing
(A) <u>Agricultural uses.</u> Crop production.	(A) <u>Agricultural uses.</u> Crop production.	(A) <u>Agricultural uses.</u> Crop Production.
(B) <u>Commercial and business service uses.</u> None permitted.	(B) <u>Commercial and business service uses.</u> None permitted.	(B) <u>Commercial and business service uses.</u> None permitted.
(C) <u>Industrial uses.</u> Gas drilling and production. [SUP] Temporary concrete or asphalt batching plant. [By special authorization of the building official.]	(C) <u>Industrial uses.</u> Gas drilling and production. [SUP] Temporary concrete or asphalt batching plant. [By special authorization of the building official.]	(C) <u>Industrial uses.</u> Temporary concrete or asphalt batching plant. [By special authorization of the building official.]
(D) <u>Institutional and community service uses.</u> Adult day care facility. [SUP] Cemetery or mausoleum. [SUP] Child-care facility. [SUP] Church. College, university or seminary. [SUP] Community service center. [SUP] Convalescent and nursing homes, hospice care, and related institutions. [RAR]	(D) <u>Institutional and community service uses.</u> Adult day care facility. Cemetery or mausoleum. [SUP] Child-care facility. Church. College, university or seminary. [SUP] Community service center. [SUP] Convent or monastery.	(D) <u>Institutional and community service uses.</u> Adult day care facility. Cemetery or mausoleum. [SUP] Child-care facility. [SUP] Church. College, university, or seminary. [SUP] Community service center. [SUP] Convent or monastery. [SUP] Library, art gallery or museum.

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<p>Convent or monastery. Foster home. Hospital. [SUP] Library, art gallery, or museum. [SUP] Public or private school. [SUP]</p>	<p>Foster home. Hospital. [SUP] Library, art gallery, or museum. Open-enrollment charter school or private school. [SUP] Public school other than an open-enrollment charter school. [RAR]</p>	<p>[SUP] Public or private school. [SUP]</p>
<p>(E) <u>Lodging uses.</u> None permitted.</p>	<p>(E) <u>Lodging uses.</u> None permitted.</p>	<p>(E) <u>Lodging uses.</u> None permitted.</p>
<p>(F) <u>Miscellaneous uses.</u> Carnival or circus (temporary). [By special authorization of the building official.] Temporary construction or sales office.</p>	<p>F) <u>Miscellaneous uses.</u> Attached non-premise sign. [SUP] Carnival or circus (temporary). [By special authorization of the building official.] Temporary construction or sales office.</p>	<p>(F) <u>Miscellaneous uses.</u> Carnival or circus (temporary). [By special authorization of the building official.] Temporary construction or sales office.</p>
<p>(G) <u>Office uses.</u> None permitted.</p>	<p>(G) <u>Office uses.</u> Financial institution without drive-in window. Medical clinic or ambulatory surgical center. Office.</p>	<p>(G) <u>Office uses.</u> None permitted.</p>
<p>(H) <u>Recreation uses.</u> Country club with private membership. [RAR] Private recreation center, club, or area. [SUP] Public park, playground, or golf course.</p>	<p>(H) <u>Recreation uses.</u> Country club with private membership. Private recreation center, club, or area. [SUP] Public park, playground, or golf course.</p>	<p>(H) <u>Recreation uses.</u> Country club with private membership. [SUP] Private recreation center, club, or area. [SUP] Public park, playground, or golf course.</p>
<p>(I) <u>Residential uses.</u> College dormitory, fraternity, or sorority house. Duplex. Group residential facility. [See Section 51A-4.209(3).] Handicapped group dwelling unit. [See Section 51A-4.209 (3.1).] Multifamily.</p>	<p>(I) <u>Residential uses.</u> College dormitory, fraternity, or sorority house. [SUP]</p>	<p>(I) <u>Residential uses.</u> Handicapped group dwelling. Single family dwelling</p>

<p>Retirement housing. Single family.</p>		
<p>(J) <u>Retail and personal service uses.</u> None permitted.</p>	<p>(J) <u>Retail and personal service uses.</u> Dry cleaning or laundry store. General merchandise or food store 3,500 square feet or less. Motor vehicle fueling station. [SUP] Personal service uses. Restaurant without drive-in or drive-through service. [RAR]</p>	<p>(J) <u>Retail and personal service uses.</u> None permitted.</p>
<p>(K) <u>Transportation uses.</u> Transit passenger shelter. Transit passenger station or transfer center. [SUP]</p>	<p>(K) <u>Transportation uses.</u> Transit passenger shelter. Transit passenger station or transfer center. [By SUP or City Council resolution]</p>	<p>(K) <u>Transportation uses.</u> Private street or alley. [SUP] Transit passenger shelter. Transit passenger station or transfer center. [SUP]</p>
<p>(L) <u>Utility and public service uses.</u> Electrical substation. [SUP] Local utilities. [SUP or RAR may be required. See Section 51A-4.212(4).] Police or fire station. [SUP] Radio, television, or microwave tower. [SUP] Tower/antenna for cellular communication. [See Section 51A-4.212(10.1).] Utility or government installation other than listed. [SUP]</p>	<p>(L) <u>Utility and public service uses.</u> Electrical substation. [SUP] Local utilities. [SUP or RAR may be required. See Section 51A-4.212(4).] Police or fire station. [SUP] Post office. [SUP] Radio, television, or microwave tower. [SUP] Tower/antenna for cellular communication. [See Section 51A-4.212(10.1).] Utility or government installation other than listed. [SUP]</p>	<p>(L) <u>Utility and public service uses.</u> Electrical substation. [SUP] Local utilities. [SUP or RAR may be required. See Section 51A-4.212(4).] Police or fire station. [SUP] Radio, television, or microwave tower. [SUP] Tower/antenna for cellular communication. [See Section 51A-4.212(10.1).] Utility or government installation other than listed. [SUP]</p>
<p>(M) <u>Wholesale, distribution, and storage uses.</u> Recycling drop-off container. [See Section 51A-4.213 (11.2).] Recycling drop-off for special occasion collection. [See Section 51A-4.213 (11.3).]</p>	<p>(M) <u>Wholesale, distribution, and storage uses.</u> Recycling drop-off container. [See Section 51A-4.213 (11.2).] Recycling drop-off for special occasion collection. [See Section 51A-4.213 (11.3).]</p>	<p>(M) <u>Wholesale, distribution, and storage uses.</u> Recycling drop-off container. [See Section 51A-4.213(11.2).] Recycling drop-off for special occasion collection. [See Section 51A-4.213(11.3).]</p>

Parking:

Pursuant to the Dallas Development Code, off-street and loading required parking must be provided in accordance with Division 51A-4.200 for the specific off-street parking and loading requirements for each use. Since parking for retail uses are based on the particular use proposed, staff cannot provide a parking ratio for the retail portion. However, parking requirements for multifamily uses require one space per bedroom with an additional .25 spaces for guest.

Landscaping:

Landscaping of the property must be provided in accordance to the proposed landscape plan. Initially, the applicant proposed to meet Article X, as amended requirements for the landscaping

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The area of request is not within an identifiable MVA category; however, it is in proximity to a "F" MVA cluster to the north, west, south and east.

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List of Officers

NAN Investments, LLC.

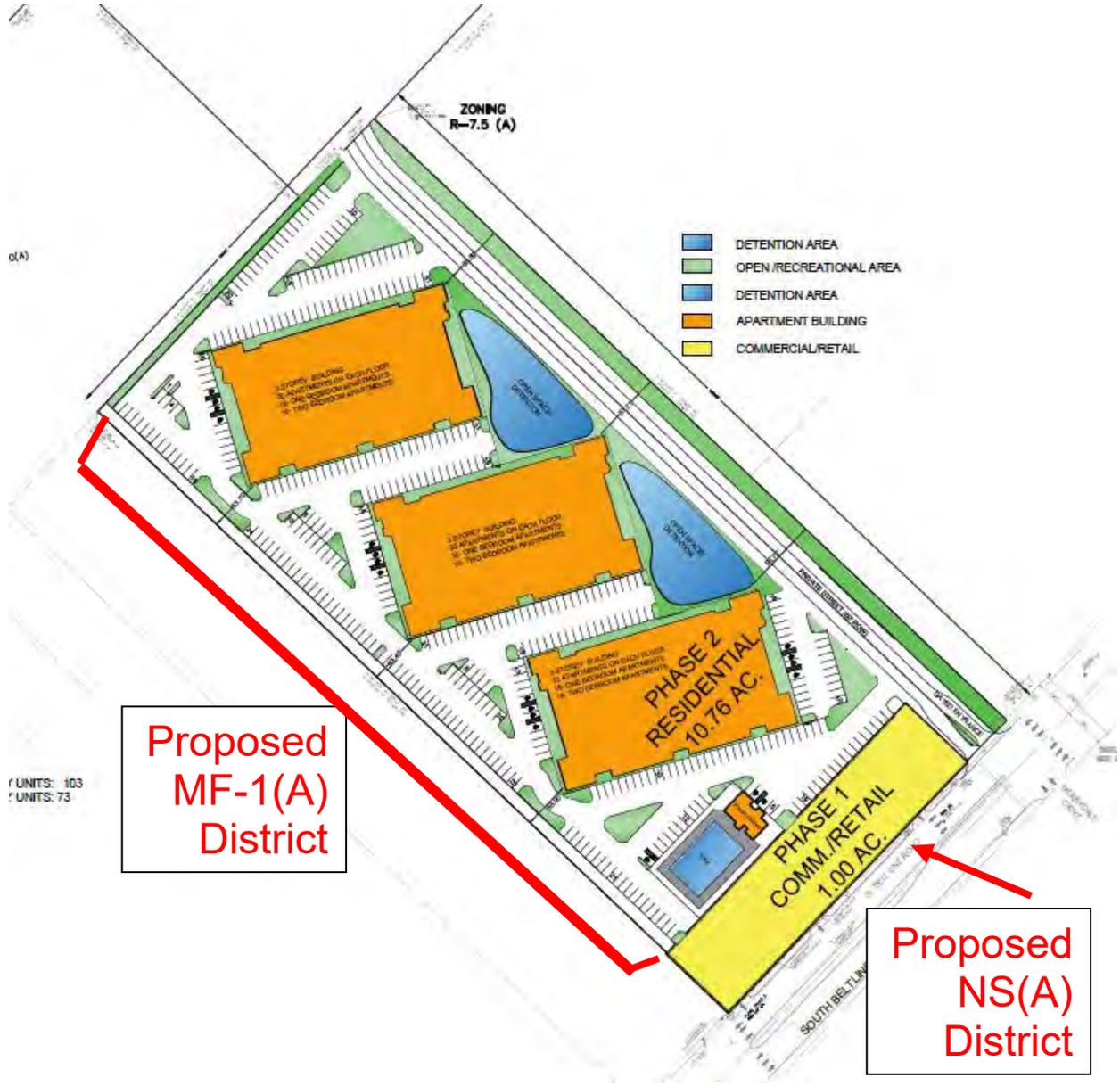
Muhammad Asim Shamim

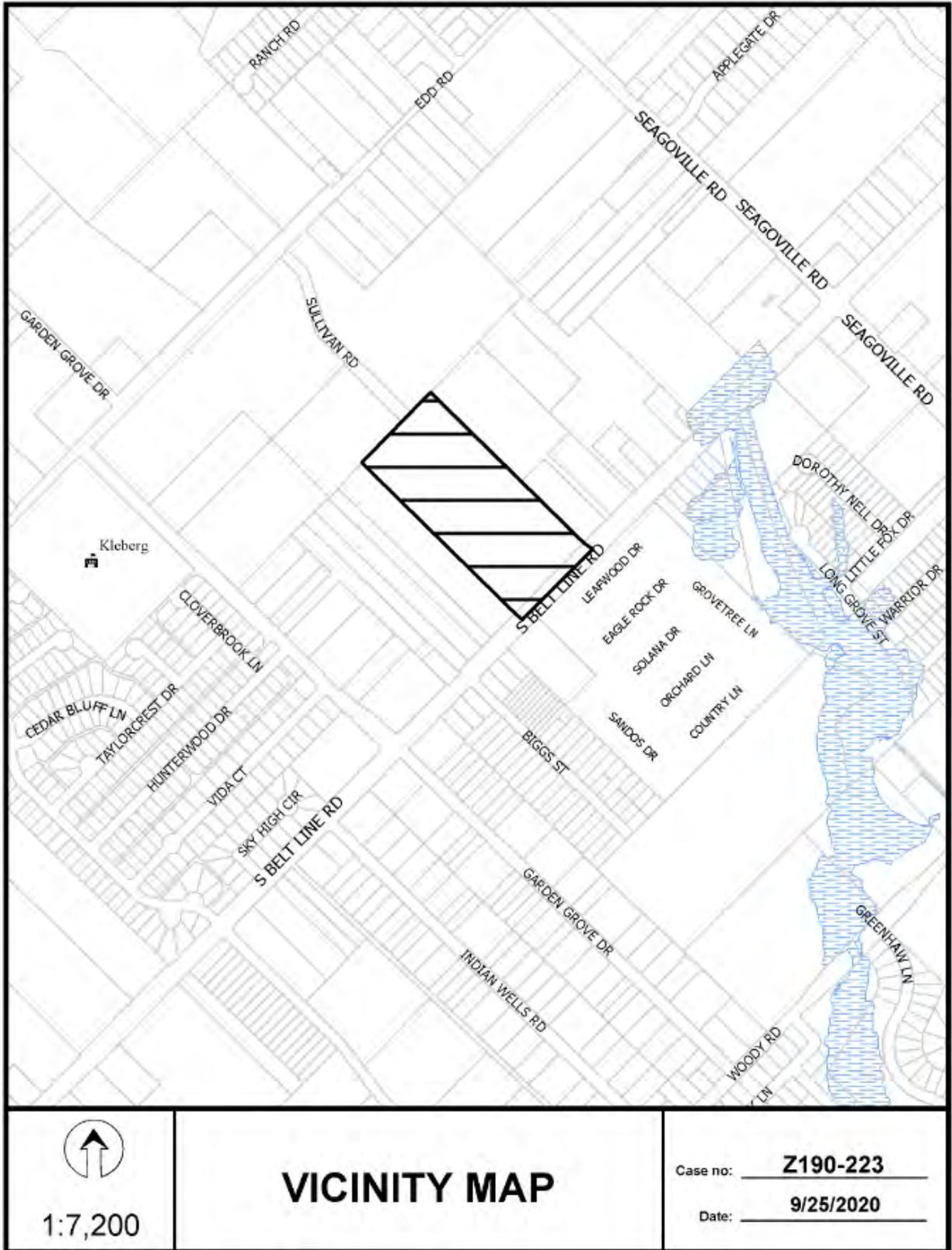
Muhammad Naeem

Farrukh Azim

Muhammad Ali Asim

**For illustrative purposes only
to show the proposed MF-1(A) District and the NS(A) District.**





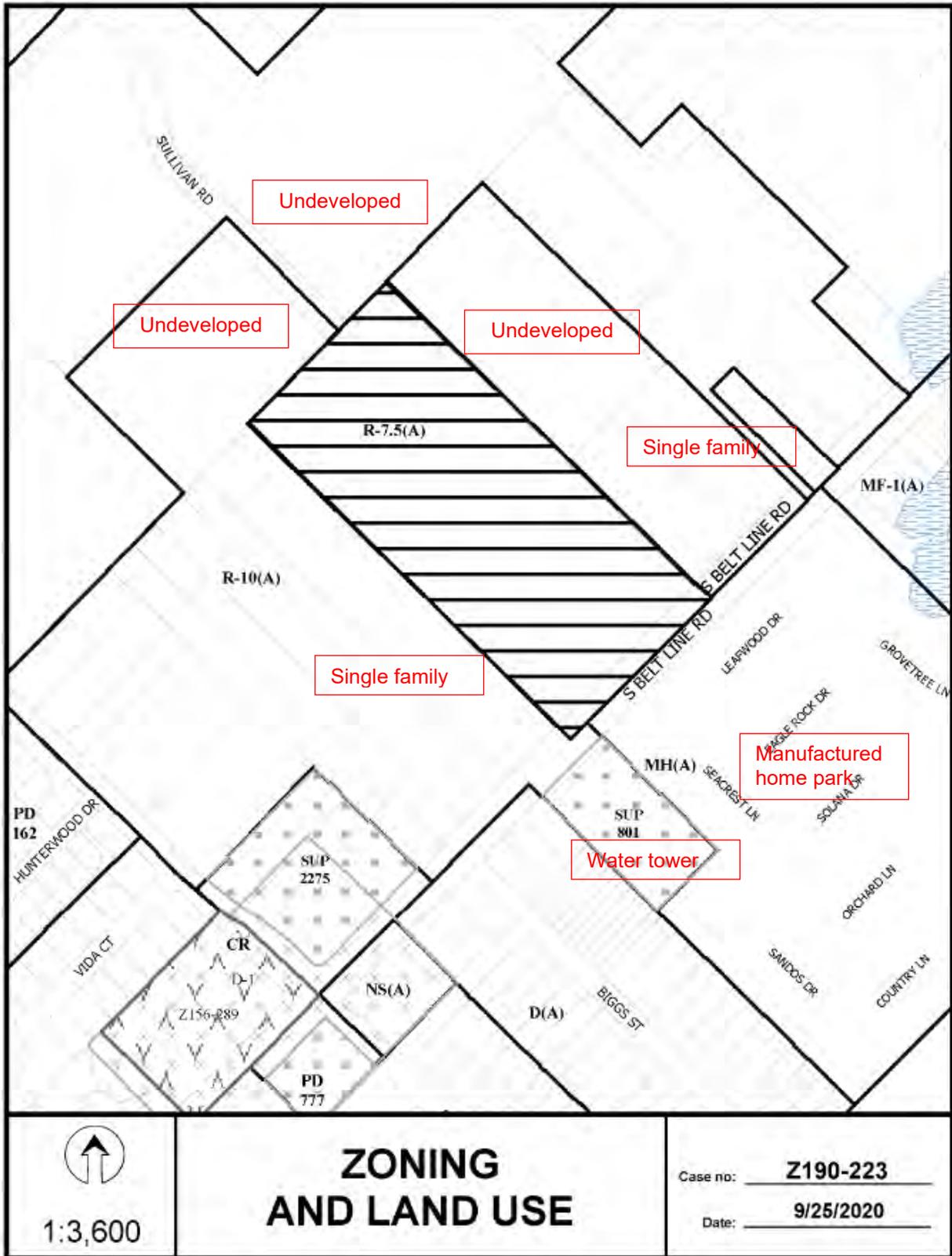


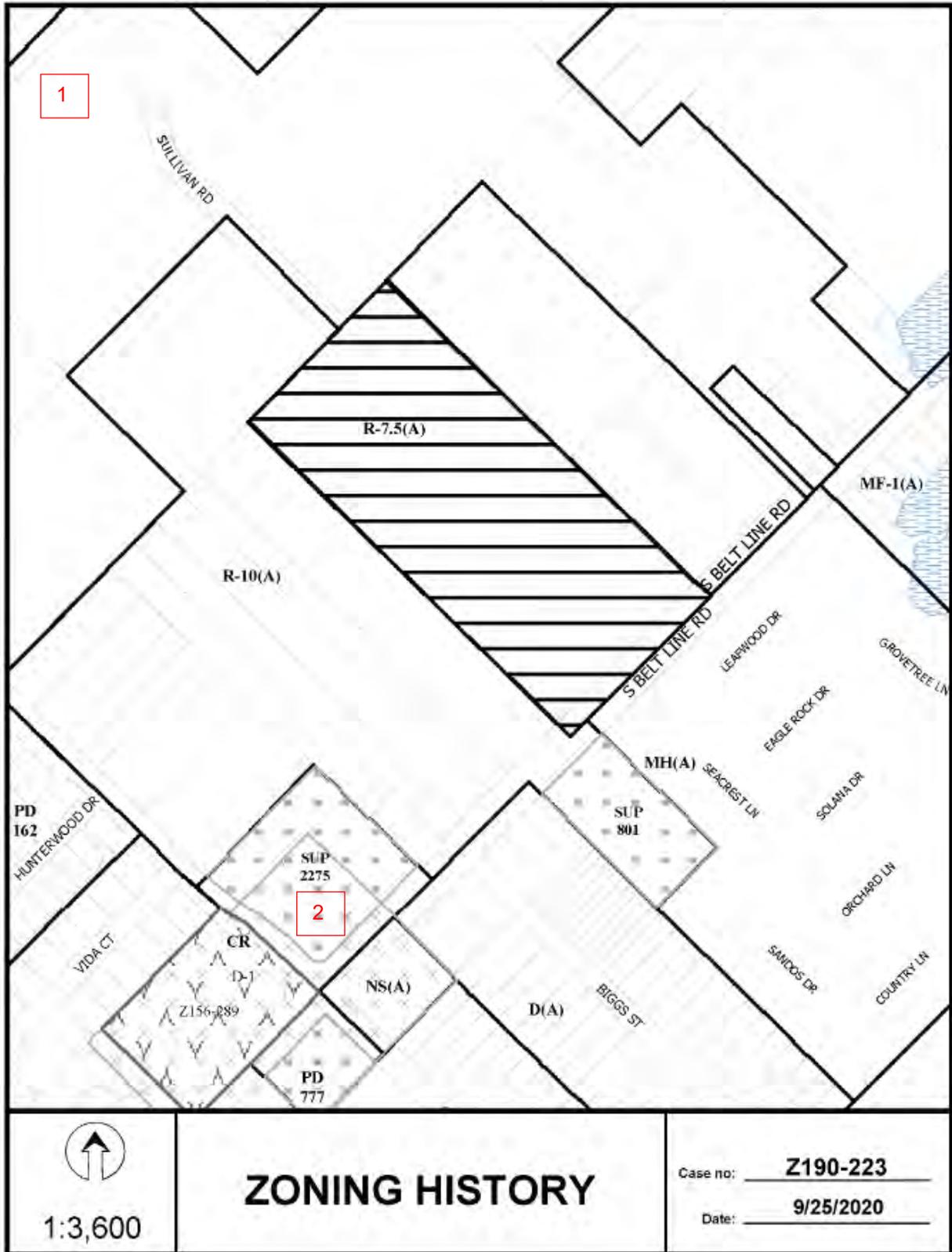
1:3,600

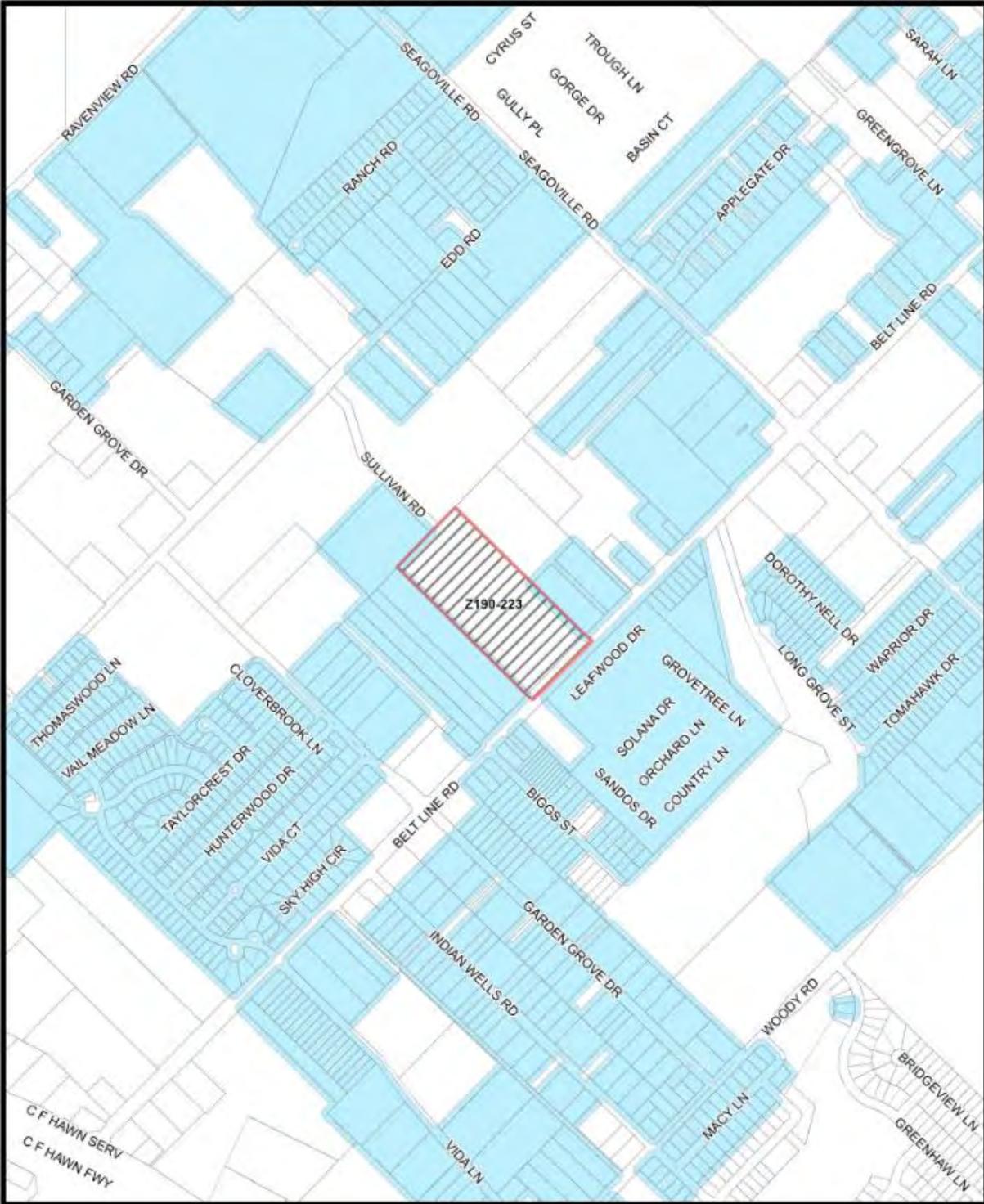
AERIAL MAP

Case no: Z190-223

Date: 9/25/2020



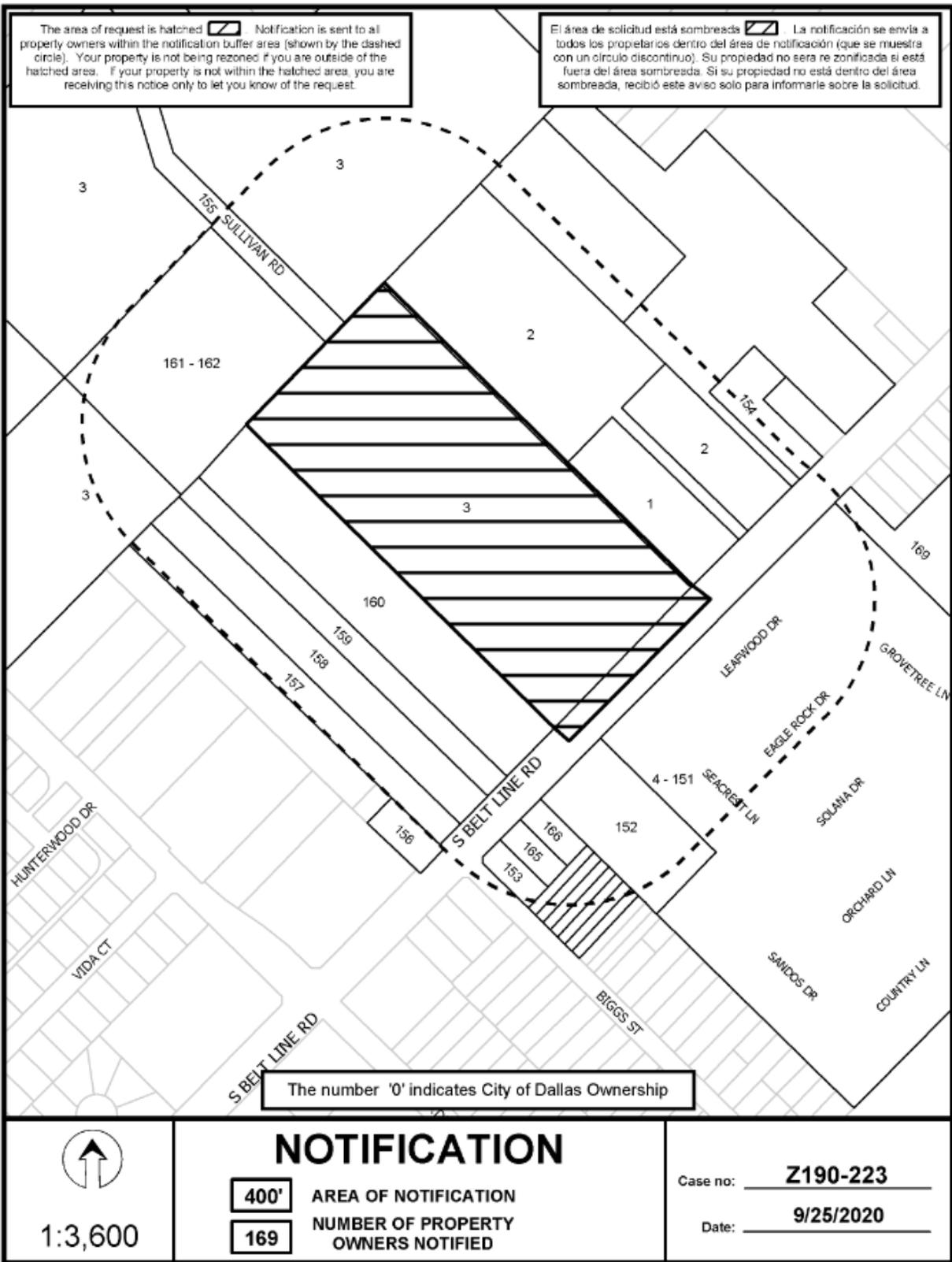




1:8,400

Market Value Analysis

Printed Date: 9/25/2020



09/25/2020

Notification List of Property Owners***Z190-223******169 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1257 S BELTLINE RD	GARZA ARMANDO & CHRISTIE
2	1249 S BELTLINE RD	FUENTES LOUIS A & ANN H
3	1028 EDD RD	NAN INVESTMENTS LLC
4	1322 S BELTLINE RD	YES COMPANIES EXP2 WFC LLC
5	1202 SOLANA DR	YESCOMMUNITIES
6	1208 SOLANA DR	YES COMMUNITIES
7	1202 EAGLE ROCK DR	TONCHES KARLA CORCHADO
8	1206 LEAFWOOD DR	SANDOVAL BERNARDO
9	1200 LEAFWOOD DR	DE LEON RAQUEL
10	1207 ORCHARD LN	MERCADO OSCAR
11	1306 ORCHARD LN	CRUZ JESUS & MEDRANO PATRICIA
12	1201 LEAFWOOD DR	HERNANDEZ BERNANDO
13	1208 COUNTRY LN	TAYLOR PATSY
14	1320 COUNTRY LN	ROSEBURROW JODY N
15	13706 SANDOS DR	MIALANO BAHATI &
16	1204 SOLANA DR	ELIOTT RAQUEL O
17	13627 GROVETREE LN	YES COMMUNITIES
18	1209 LEAFWOOD DR	CONCHA DIANA
19	13616 SEACREST LN	NELSON CHARITY
20	1204 COUNTRY LN	FERNANDEZ MARIA C
21	1306 LEAFWOOD DR	RIVERA SUE H DON JUAN &
22	1216 LEAFWOOD DR	MUNOZ RUBEN LAZARO
23	1214 LEAFWOOD DR	PALMA BENITO SANTANA
24	1212 LEAFWOOD DR	NORRIS JAMES
25	1208 LEAFWOOD DR	AMPARAN JOSE & GABRIELA
26	1204 LEAFWOOD DR	UGALDE JOSE

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	1203 LEAFWOOD DR	CASARRUBIAS STEVE
28	1205 LEAFWOOD DR	GUEVARA FRANCISCO A
29	1207 LEAFWOOD DR	TREJO SANTIAGO
30	1215 LEAFWOOD DR	DEL CARMEN DEL RUBIO LOPEZ LUZ
31	1307 LEAFWOOD DR	NAVARRO ALDO DANIEL AQUINAJA
32	1309 LEAFWOOD DR	GUERRERO MARTINEZ MARACIO
33	13612 SEACREST LN	LOPEZ JUAN
34	1315 SOLANA DR	ARVIZO LEOPOLDO
35	1319 SOLANA DR	MARISCAL MARIA
36	13704 SANDOS DR	RODRIGUEZ ALEXA &
37	13708 SANDOS DR	LOPEZ JESSICA
38	13714 SANDOS DR	POPOCA MARGARITA
39	13718 SANDOS DR	GONZALEZ AUGUSTINA
40	1318 COUNTRY LN	DE ANDA GALLEGOS FIDENCIO
41	1302 COUNTRY LN	HERNANDEZ JOSE
42	1214 COUNTRY LN	MORENO RICARDO
43	1206 COUNTRY LN	SAILOR AMBER
44	1202 COUNTRY LN	VICENTE JAIME
45	13629 GROVETREE LN	VASQUEZ KRISTINE
46	13623 GROVETREE LN	RANGEL JOSE A
47	13615 GROVETREE LN	HERNANDEZ DAVID & MARIA D
48	13611 GROVETREE LN	RAMIREZ JUVENTINO
49	1203 EAGLE ROCK DR	CHAFFEE WILLIAM LAWRENCE & TIFFANY DAWN
50	1207 EAGLE ROCK DR	MARTINEZ FELIPE
51	1209 EAGLE ROCK DR	GONZALEZ ALARCON JOSE
52	1301 EAGLE ROCK DR	RIVERA MAURICIO & GABRIELA
53	1307 EAGLE ROCK DR	REYES FRANCISCO
54	1312 EAGLE ROCK DR	DELEON JOSE D
55	1304 EAGLE ROCK DR	BANUELOS VICTOR
56	1302 EAGLE ROCK DR	ROMERO CESAR
57	1210 EAGLE ROCK DR	REYES EMELIO

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	1208 EAGLE ROCK DR	LEMUSS HUGO GUTIERREZ
59	1201 SOLANA DR	RODRIGUEZ BLAS
60	1205 SOLANA DR	MONCADA SANTOS
61	1301 SOLANA DR	PACHECO EVELIO
62	1307 SOLANA DR	TAPIA GENOVENA
63	1309 SOLANA DR	LARA SANJUANA
64	1320 SOLANA DR	DURAN ANTONIO
65	1310 SOLANA DR	QUEROZ MARIO
66	1308 SOLANA DR	HERNANDEZ LETICIA
67	1302 SOLANA DR	RUIZ FRANCISCO J & MARIA MARTINEZ
68	1303 ORCHARD LN	LOPEZ DAGOBERTO
69	1311 ORCHARD LN	ANZALDUADEGUZMAN MANUELA G
70	1319 ORCHARD LN	MENDOZA NINO NOE
71	1314 ORCHARD LN	TORRES JOHNNY & MARIA D
72	1308 ORCHARD LN	MENDOZA JAVIER
73	1302 ORCHARD LN	GARCIA MARIA
74	1208 ORCHARD LN	RODRIGUEZ RIGOBERTO
75	1206 ORCHARD LN	LEIJA MAXIMINO
76	1201 COUNTRY LN	AVILA IBARRA CLAUDIA M
77	1203 COUNTRY LN	GALLEGOS VICTOR
78	1205 COUNTRY LN	SANCHEZ ALVARO
79	1301 COUNTRY LN	ORTIZ CLAUDIA
80	1305 COUNTRY LN	GUERRERO MARTIN RAMIREZ
81	1309 COUNTRY LN	HERNANDEZ ALBERTO & MARIA E
82	11526 C F HAWN FWY	AMAYO DANIEL
83	1311 SOLANA DR	RODRIGUEZ DE LARA FRANCISCO
84	1310 EAGLE ROCK DR	BENAVIDES PEDRO
85	1300 SOLANA DR	PADRON PAOLA
86	13604 SEACREST LN	BATISTA DURAN MARTA ELENA & ZAVALA JESUS JOSE
87	13722 SANDOS DR	CEDRA JUAN J
88	1307 COUNTRY LN	CORTEZ ALEJANDRO

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09/25/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	1312 ORCHARD LN	GLOVER DEKKOTTA TYWON L
90	1315 ORCHARD LN	HANNON KELLY PATSY
91	1210 COUNTRY LN	ROLDAN DE LA ROSA CARLOS
92	13613 GROVETREE LN	ENRIQUE MONTIEL DE LA PAZ & CENTENO RICO MARIA
93	1305 ORCHARD LN	YES COMMUNITES
94	1309 ORCHARD LN	CONTRERAS SANDRA
95	13621 GROVETREE LN	DIMMITT JASON & JOSEPH
96	1310 LEAFWOOD DR	RODRIGUEZ ERIK
97	1308 LEAFWOOD DR	GARCIA ANGELICA
98	1304 LEAFWOOD DR	TORRES EFRAIN
99	1302 LEAFWOOD DR	MARTINEZ OSCAR
100	1217 LEAFWOOD DR	ESTRADA REYES E SILVA
101	13602 SEACREST LN	VEGA EMMANUEL
102	13712 SANDOS DR	CARRANZA EVARISTO
103	13716 SANDOS DR	PEREZ-DE CHICAS ORFA R
104	13724 SANDOS DR	CISNEROS MARCUS
105	1324 COUNTRY LN	MENDOZA JOSE
106	1306 COUNTRY LN	SOLIS OFIR
107	1304 COUNTRY LN	FLORENTINO SAUCEDO
108	1212 COUNTRY LN	STEELE JOYE
109	13625 GROVETREE LN	SALAZAR VICTORIANO
110	13619 GROVETREE LN	ORTA CRUZ JOSE LUIS
111	13617 GROVETREE LN	LABOY PRISCILLA
112	1211 EAGLE ROCK DR	SIGMAN TANYA L
113	1305 EAGLE ROCK DR	RUIZ JOSE
114	1309 EAGLE ROCK DR	LOPEZ ISIDRO
115	1311 EAGLE ROCK DR	LLAMAS YOLANDA
116	1308 EAGLE ROCK DR	PABLO ARTURO
117	1306 EAGLE ROCK DR	MARTINEZ HERMENEGILDO
118	1204 EAGLE ROCK DR	HERNANDEZ CARLOS
119	1303 SOLANA DR	BYRD CATHY

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	1312 SOLANA DR	SLOAN RHONDA
121	1304 SOLANA DR	ESQUEDA MARIA
122	1210 SOLANA DR	MEDINA DIAZ MARIA
123	1203 ORCHARD LN	JASSO FERNANDO
124	1205 ORCHARD LN	CORTEZ JUAN
125	1304 ORCHARD LN	MELGAR BALMORIS
126	1210 ORCHARD LN	NIETO JONATHAN
127	1209 COUNTRY LN	HERNANDEZ GLORIA
128	1311 COUNTRY LN	VIELMAS JOSE
129	1317 COUNTRY LN	GALARZA JUAN
130	1313 SOLANA DR	MULLINS MELVIN R
131	1306 SOLANA DR	CARDENAS ANGEL A
132	1314 SOLANA DR	GONZALEZ FELIPE
133	1303 COUNTRY LN	TORRES PEDRO
134	1307 ORCHARD LN	GARCIA MARTINEZ MELCHOR
135	1303 EAGLE ROCK DR	SMITH KIMBERLEY & KRISTIAN
136	1305 LEAFWOOD DR	DELEON MARIA
137	13614 SEACREST LN	ELTON EDWARD & DONNA
138	13610 SEACREST LN	WASHINGTON MARGIE
139	1322 COUNTRY LN	SEDANO ERICKA CECILIA ALAMO
140	1308 COUNTRY LN	LOPEZ MARTINEZ CONRADO ALFONSO
141	1317 ORCHARD LN	M MONICA FLORES & THOMAS OCHOA
142	1319 COUNTRY LN	GARAY JOSE
143	1300 LEAFWOOD DR	YES COMMUNITIES
144	1322 ORCHARD LN	ENCISCO IRMA & ADOLFO
145	1317 SOLANA DR	WOODS ANTHONY L
146	1301 LEAFWOOD DR	GALDAMEZ MIGUEL
147	1207 SOLANA DR	HERNANDEZ MARCO
148	1204 ORCHARD LN	HERNANDEZ RUBEN
149	1206 SOLANA DR	FERMIN DANIEL G.
150	1201 ORCHARD LN	GARCIA RIGOBERTO

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09/25/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
151	13600 SEACREST LN	FUNES MARIA A
152	1342 S BELTLINE RD	RUIZ JUAN F
153	1416 S BELTLINE RD	ESTRADA JUAN ALEJANDRO &
154	1200 S BELTLINE RD	FLEMING MARTHA J
155	13100 SULLIVAN RD	VILLEGAS PEDRO
156	1421 S BELTLINE RD	GREEN NELLIE
157	1415 S BELTLINE RD	EASTER AVAN SR
158	1407 S BELTLINE RD	EASTER AVAN SR
159	1343 S BELTLINE RD	ONTIVEROS FRANCISCO J
160	1331 S BELTLINE RD	DELOA CRUZ RAMON VILLALOBOS &
161	13101 SULLIVAN RD	VILLEGAS PEDRO C &
162	13101 SULLIVAN RD	VILLEGAS PEDRO C &
163	13625 BIGGS ST	JORDANOVSKA BRANKA
164	13631 BIGGS ST	ALCHWEKI MAJD
165	1408 BELTLINE RD	MARTINEZ MIGUEL &
166	1404 BELTLINE RD	WHITE CLOUD REALTY SERVICES INC
167	13615 BIGGS ST	TIONLOC ALEXANDER C
168	13619 BIGGS ST	TIONLOC ANTHONY
169	1218 S BELTLINE RD	RODRIGUEZ CAROLINA

Planner: Andreea Udrea, PhD, AICP

FILE NUMBER: Z190-121(AU)

DATE FILED: October 29, 2019

LOCATION: Northeast corner of South St. Augustine Drive and C. F. Hawn Freeway

COUNCIL DISTRICT: 5

MAPSCO: 69 B

SIZE OF REQUEST: Approximately 0.7808 Acres

CENSUS TRACT: 117.01

REPRESENTATIVE: Ryan Hughes, Griffith Firm PLLC

**APPLICANT/
OWNER:** SAI Bhari Inc.

REQUEST: An application for a Specific Use Permit for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less use on property zoned Subdistrict 2 within Planned Development District No. 535, the C. F. Hawn Special Purpose District No. 3, with a D-1 Liquor Control Overlay.

SUMMARY: The purpose of this request is to allow for the sale of alcoholic beverages for off-premise consumption in conjunction with an existing general merchandise or food store. (Alon Gas Station)

STAFF RECOMMENDATION: **Approval** for a two-year period, subject to a site plan and staff's recommended conditions.

CPC PRIOR ACTION: At the November 5, 2020 meeting, the City Plan Commission held the item under advisement until December 3, 2020.

Planned Development District No. 535, C. F. Hawn Special Purpose District No. 3:
<http://www.dallascityattorney.com/51P/Articles%20Supp%2028/Article%20535.pdf>

Planned Development District No. 535, C. F. Hawn Special Purpose District No. 3, exhibits:
<http://www.dallascityattorney.com/51P/exhibits.html#a535>

Background Information

- The request site is currently developed with a general merchandise or food store less than 3,500 square feet use, and a motor vehicle fueling station. The property is located within Subdistrict 2 of the Planned Development District No. 535, C.F. Hawn Special Purpose District No. 3, with a D-1 Liquor Control Overlay.
- PD No. 535 was established on August 25, 1999 and contains three subdistricts. The request site is located within Subdistrict 2, Commercial and Retail Subdistrict. The general merchandise use is permitted by right within Subdistrict 2 of the PD No. 535. The sale of alcoholic beverages requires a specific use permit if located within the D-1 Liquor Control Overlay.
- On September 12, 2012, the City Council approved Specific Use Permit No. 1990 for the sale of alcoholic beverages in conjunction with a general merchandise store or food store 3,500 square feet or less, for a two-year period with eligibility for automatic renewals for additional five-year periods. SUP. No. 1990 automatic renewal was approved on February 2, 2015. The applicant did not submit an application to continue the automatic renewal process within the specified time frame. SUP No. 1990 expired on September 12, 2019.
- On March 1, 2013, a Certificate of Occupancy was issued for the general merchandise or food store less than 3,500 square feet in area for the request property.

Zoning History

There has been one zoning change requested in the area in the past five years:

- 1. Z190-212(CT)** On August 12, 2020, the City Council approved Specific Use Permit No. 2390 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less, for a two-year period, on property zoned as Subdistrict 2 within Planned Development District No. 535, the C.F. Hawn Special Purpose District No. 3, located on the northwest corner of C.F. Hawn Freeway and St. Augustine Road.

Thoroughfares/Streets

Thoroughfares/Street	Type	Existing ROW
St. Augustine Drive	Major Arterial	60 ft.

Traffic

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the existing roadway system.

Comprehensive Plan

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies that can serve as a framework for assisting in evaluating the applicant's request. The applicant's request is consistent with the following goals and policies of the comprehensive plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

URBAN DESIGN ELEMENT

GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.1. Encourage a balance of land uses within walking distance of each other.

STAFF ANALYSIS

Surrounding Land Uses

	Zoning	Land Use
Site	PD No. 535 with D-1	Gas station and general merchandise or food store
North	CR with D-1	Local utilities
South	PD No. 535 with D-1	C.F. Hawn Freeway
East	PD No. 535 with D-1	Hotel
West	PD No. 535 with D-1 and SUP No. 2390	Gas station and general merchandise or food store with alcohol sales

Land Use Compatibility

The site is located within Subdistrict 2 of Planned Development District No. 535, the C.F. Hawn Special Purpose District No. 3, and is currently developed with a general merchandise or food store less than 3,500 square feet and a motor vehicle fueling station. The applicant is proposing to sell alcohol for off-premise consumption in conjunction with the general merchandise use on the property requires a Specific Use Permit in the D-1 Liquor Control Overlay.

The surrounding land uses consist of a general merchandise or food store less than 3,500 square feet and a motor vehicle fueling station with alcohol sales to the west, hotel or motel to the east, and local utilities use to the north. Further north there are multifamily uses, and further east are single family uses.

The "D-1" Overlay District is a Liquor Control Overlay District which requires an individual to obtain a Specific Use Permit in order to sell or serve alcoholic beverages, or setups for alcoholic beverages, for consumption on or off the premises.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the

welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The general merchandise use is also regulated by Chapter 12B of the Dallas City Code, Convenience Stores. This chapter applies to all convenience stores, which is defined as any business that is primarily engaged in the retail sale of convenience goods, or both convenience goods and gasoline, and has less than 10,000 square feet of retail floor space; the term does not include any business that has no retail floor space accessible to the public. The purpose of Chapter 12B is to protect the health, safety, and welfare of the citizens of the city of Dallas by reducing the occurrence of crime, preventing the escalation of crime, and increasing the successful prosecution of crime that occurs in convenience stores in the city. This chapter establishes a registration program for convenience stores and provides requirements relating to:

- surveillance camera systems,
- video recording and storage systems,
- alarm systems,
- drop safes,
- security signs,
- height markers,
- store visibility,
- safety training programs, and
- trespass affidavits.

A separate certificate of registration to comply with Chapter 12B is required for each physically separate convenience store. A certificate of registration for a convenience store expires one year after the date of issuance and must be renewed annually. The current convenience store license was renewed in September 2020.

The applicant's request, subject to the attached conditions, is consistent with the intent of the Dallas Development Code. The applicant is requesting a five-year time limit for this specific use permit. Staff is recommending two-year time period, to allow the review and evaluation of the land use compatibility.

Parking

The Dallas Development Code requires off-street parking to be provided for a general merchandise or food store use at one space for each 200 square feet of floor area and

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two spaces for a motor vehicle fueling station. The development requires 11 spaces with 13 being provided per the attached site plan.

Landscaping

Landscaping must be provided in accordance with Planned Development District No. 535, C. F. Hawn Special Purpose District No. 3. No changes to the site plan are proposed with this request, therefore no landscape requirements are triggered by this request.

Police Report

Staff requested a police report from September 2012, the last time the SUP was renewed, to present. From September 2012 to present there were 304 calls, 164 calls were categorized as emergency or urgent. In the same period, there were three incidents and 114 arrests at this location.

The calls were categorized as minor incident, intoxicated person, theft, burglary or rubbery, business alarm, tabbing or cutting, injured person, animal disturbance, abandoned property, criminal mischief, suspicion person, prostitution, road rage, gun fire, major disturbance (violence or ambulance), open air drug sales, or panhandling. The arrests were for assault, criminal trespassing, driving while intoxicated, fail to ID, injury, possession, prostitution, public intoxication, resist arrest, tamper evidence, terroristic threat, theft, unauthorized use of motor vehicle, unlawful carry or possession, and warrant.

The property was included in the RISK property program with Dallas Police Department's Nuisance Abatement Team. The Nuisance Abatement Team forges vested partnerships with cooperative property owners to combat common and public nuisances. The utilization of criminal/civil statutes as well as local enforcement authority to compel uncooperative property owners to assist in the abatement of these nuisances. This program is designed to rehabilitate these properties and revitalize the affected community. Nuisance RISK Property Team requires property owners after notification of the existence of a nuisance, to demonstrate proactive management of their properties in the abatement effort. Uncooperative property owners face criminal/civil actions to repair, demolish, close or forfeit their interest in the property when the nuisance goes unabated. The ultimate goal is to eliminate criminal nuisances. The aggregate benefits are revitalized neighborhoods that are safer and cleaner places in which to live, work and visit.

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According to the Community Prosecutor, in May 2020, the property implemented all required measures by the program and is currently complying with the nuisance abatement agreement. Since May 2020, there were 24 police calls at the location, seven being categorized as urgent, and nine arrests.

The following is the list of arrests with 9606 C F HAWN FRWY, 75217 address:

Date	Time	Crime	Charge	Class	Description
3/25/2014	13:00		NULL	MC	ASLT/OFF CONTACT/FV
5/3/2014	10:30		NULL	MC	PUBLICINTOXICATION
5/3/2014	10:30		NULL	MC	PUBLICINTOXICATION
5/17/2014	17:50		OTHERS	MB	CRIM TRESPASS/BLDG/PROP
5/17/2014	17:50		FORGE & CONTERFEIT	F2	FRAUD USE/POSIDENINFO
6/6/2014	10:30	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
6/6/2014	10:30	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
11/19/2014	21:00	PURCHASING PROSTITUTION	PROSTITUTION	MB	PROSTITUTION
5/12/2015	13:30	ALL OTHER OFFENSES	OTHER	M*	OTHER OFFENSE - MISDEMEANOR
5/12/2015	13:30	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
7/8/2015	23:50	TRESPASS OF REAL PROPERTY	OTHER /CRIMINAL TRESPASS	MB	CRIMINAL TRESPASS
8/20/2015	3:19	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
8/20/2015	3:19	WARRANT-DALLAS PD (CAPIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (CAPIAS)
10/15/2015	2:25	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
10/15/2015	2:25	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
10/27/2015	13:22	PURCHASING PROSTITUTION	PROSTITUTION	MB	PROSTITUTION (BUYER)
11/7/2015	3:40	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
12/4/2015	16:45	COUNTERFEITING / FORGERY	OTHER	F3	TAMPER FABRICATE PHYSICAL EVID WITH INTENT TO IMPAIR

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1/4/2016	23:05	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
1/10/2016	19:10	DUI	DWI	MA	DWI BAC > OR EQUAL TO 0.15
2/22/2016	19:16	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
2/22/2016	19:16	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
2/22/2016	19:16	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
4/28/2016	18:45	ALL OTHER OFFENSES	OTHER	M*	OTHER OFFENSE - MISDEMEANOR
4/28/2016	18:45	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	MB	POSS MARIJUANA <2OZ
4/28/2016	18:45	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
4/28/2016	18:45	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	MB	POSS MARIJUANA <2OZ
4/28/2016	18:45	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
5/8/2016	7:30	SIMPLE ASSAULT	ALL OTHER MC CHARGES	MC	ASSAULT -FAM VIOL OFFENSIVE CONTACT PC 22.01(A)(3)
5/8/2016	7:30	ALL OTHER OFFENSES	OTHER	MA	RESIST ARREST SEARCH OR TRANSPORT
6/6/2016	18:30	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
6/9/2016	20:45	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
7/31/2016	17:10	ALL OTHER OFFENSES	OTHER	MA	RESIST ARREST SEARCH OR TRANSPORT
7/31/2016	17:10	ALL OTHER LARCENY	FELONY THEFT	FS	THEFT FROM PERSON
7/31/2016	19:15	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
7/31/2016	19:15	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
7/31/2016	18:40	INTIMIDATION	OTHER	MB	TERRORISTIC THREAT - FEAR IMMINENT SBI
7/31/2016	18:40	WEAPON LAW VIOLATIONS	UCW/CPW	MA	UNLAWFUL CARRYING WEAPON

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8/30/2016	17:45	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
8/30/2016	17:45	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
8/30/2016	17:45	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
10/9/2016	19:00	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
11/4/2016	17:50	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
11/13/2016	19:07	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
1/3/2017	10:15	ALL OTHER LARCENY	FELONY THEFT	FS	THEFT OF PROP > OR EQUAL \$2,500 BUT <\$30K- NOT SHOPLIFT
1/25/2017	21:57	UUMV	AUTO THEFT	FS	UNAUTHORIZED USE OF MOTOR VEH - AUTOMOBILE
1/25/2017	21:57	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
2/9/2017	1:02	COUNTERFEITING / FORGERY	OTHER	F3	TAMPER FABRICATE PHYSICAL EVID WITH INTENT TO IMPAIR
2/23/2017	11:40	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
3/21/2017	18:00	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	F1	MAN DEL CONT SUB PEN GRP 1 > OR EQUAL 4G<200G
3/21/2017	18:00	WEAPON LAW VIOLATIONS	UCW/CPW	F3	UNLAWFUL POSS FIREARM BY FELON
3/21/2017	18:00	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
5/22/2017	22:50	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
6/18/2017	17:14	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
7/15/2017	13:32	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
8/16/2017	18:30	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)

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9/19/2017	17:51	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
9/19/2017	17:51	WARRANT-DALLAS PD (ALIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (ALIAS)
9/19/2017	17:51	WARRANT-DALLAS PD (CAPIAS)	ALIAS/CAPIAS	NA	WARRANT-DALLAS PD (CAPIAS)
10/5/2017	17:30	PURCHASING PROSTITUTION	PROSTITUTION	MB	PROSTITUTION (BUYER)
1/5/2018	1:15	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
2/3/2018	18:00	ALL OTHER OFFENSES	OTHER	M*	OTHER OFFENSE - MISDEMEANOR
2/3/2018	18:00	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
2/3/2018	18:00	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
3/2/2018	18:30	FALSE PRETENSES/ SWINDLE/ CONFIDENCE GAME	NULL	MB	FAIL TO ID -GIVING FALSE/FICTITIOUS INFO PC 38.02(c)(2)
3/2/2018	18:30	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	F3	POSS CONT SUB PEN GRP 1 > OR EQUAL 1G<4G
3/2/2018	18:30	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
3/23/2018	16:10	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)
3/30/2018	17:03	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	F3	POSS CONT SUB PEN GRP 1 > OR EQUAL 1G<4G
3/30/2018	17:03	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
5/1/2018	19:00	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
5/1/2018	19:00	DRUG/ NARCOTIC VIOLATIONS	NARCOTIC CHARGES	FS	POSS CONT SUB PEN GRP 1 <1G
5/1/2018	19:00	WARRANT HOLD (OUTSIDE AGENCY)	HOLDS DSO	NA	WARRANT HOLD (OUTSIDE AGENCY)

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5/26/2018	17:53	PUBLIC INTOXICATION	PUBLIC INTOXICATION	MC	PUBLIC INTOXICATION
7/7/2018	13:00	ALL OTHER OFFENSES		MA	FAIL TO ID -FUGITIVE INTENT GIVE FALSE INFO
7/7/2018	13:00	ALL OTHER LARCENY		MB	THEFT OF PROP > OR EQUAL \$100 <\$750 (NOT SHOPLIFT) PC31.03(e2A)
7/7/2018	13:00	WARRANT HOLD (OUTSIDE AGENCY)		NA	WARRANT HOLD (OUTSIDE AGENCY)
7/10/2018	12:10	TRESPASS OF REAL PROPERTY		MB	CRIMINAL TRESPASS
7/10/2018	19:35	ALL OTHER OFFENSES		M*	OTHER OFFENSE - MISDEMEANOR
7/10/2018	19:35	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
7/25/2018	2:30	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
7/25/2018	14:12	ALL OTHER OFFENSES		MA	FAIL TO ID -FUGITIVE INTENT GIVE FALSE INFO
7/25/2018	14:12	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
7/25/2018	14:12	WARRANT HOLD (OUTSIDE AGENCY)		NA	WARRANT HOLD (OUTSIDE AGENCY)
7/25/2018	14:42	WARRANT HOLD (OUTSIDE AGENCY)		NA	WARRANT HOLD (OUTSIDE AGENCY)
8/10/2018	16:56	SIMPLE ASSAULT		MA	ASSAULT -BODILY INJURY ONLY
8/10/2018	16:56	FALSE PRETENSES/ SWINDLE/ CONFIDENCE GAME		MB	FAIL TO ID -GIVING FALSE/FICTITIOUS INFO PC 38.02(c)(2)
8/10/2018	16:56	AGG ASSAULT - NFV		FS	INJURY CHILD/ELDERLY/DISABLED- RECKLESS-BODILY INJURY
8/10/2018	16:56	DRUG/ NARCOTIC VIOLATIONS		MB	POSS MARIJUANA <2OZ
8/10/2018	16:56	PUBLIC INTOXICATION		MC	PUBLIC INTOXICATION
10/2/2018	3:10	UUMV		FS	UNAUTHORIZED USE OF MOTOR VEH - AUTOMOBILE

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3/1/2019	21:40	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
3/1/2019	21:40	WARRANT DALLAS PD (OTHERS)		NA	WARRANT DALLAS PD (OTHERS)
3/17/2019	22:25	WARRANT DALLAS PD (OTHERS)		NA	WARRANT DALLAS PD (OTHERS)
5/4/2019	18:40	ALL OTHER OFFENSES		M*	OTHER OFFENSE - MISDEMEANOR
5/4/2019	18:40	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
5/4/2019	18:40	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
5/4/2019	18:40	ALL OTHER OFFENSES		M*	OTHER OFFENSE - MISDEMEANOR
5/4/2019	18:40	DRUG/ NARCOTIC VIOLATIONS		F3	POSS CONT SUB PEN GRP 1 > OR EQUAL 1G<4G
5/7/2019	17:50	ALL OTHER OFFENSES		MA	FAIL TO ID -FUGITIVE INTENT GIVE FALSE INFO
5/7/2019	17:50	WARRANT HOLD (OUTSIDE AGENCY)		NA	WARRANT HOLD (OUTSIDE AGENCY)
8/12/2019	3:00	PUBLIC INTOXICATION		MC	PUBLIC INTOXICATION
8/12/2019	3:08	WARRANT-DALLAS PD (ALIAS)		NA	WARRANT-DALLAS PD (ALIAS)
11/15/2019	17:00	WARRANT DALLAS PD (OTHERS)		NA	WARRANT DALLAS PD (OTHERS)
4/22/2020	19:00	PUBLIC INTOXICATION		MC	PUBLIC INTOXICATION
7/18/2020	18:48	UUMV		FS	UNAUTHORIZED USE OF MOTOR VEH - TRUCK OR BUS
7/18/2020	18:48	WARRANT DALLAS PD (ALIAS/CAPIAS)		NA	WARRANT DALLAS PD (ALIAS/CAPIAS)
7/18/2020	19:00	DRUG/ NARCOTIC VIOLATIONS		FS	POSS CONT SUB PEN GRP 1 <1G
7/18/2020	19:00	UUMV		FS	UNAUTHORIZED USE OF MOTOR VEH - TRUCK OR BUS
7/18/2020	19:00	WARRANT HOLD (NOT A DPD WARRANT)		NA	WARRANT HOLD (NOT A DPD WARRANT)

9/15/2020	16:15	TRESPASS OF REAL PROPERTY		MB	CRIMINAL TRESPASS
9/15/2020	16:15	WARRANT DALLAS PD (ALIAS/CAPIAS)		NA	WARRANT DALLAS PD (ALIAS/CAPIAS)
9/15/2020	16:30	TRESPASS OF REAL PROPERTY		MB	CRIMINAL TRESPASS
9/15/2020	16:30	WARRANT DALLAS PD (ALIAS/CAPIAS)		NA	WARRANT DALLAS PD (ALIAS/CAPIAS)

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). The request site is uncategorized, but properties located to the north and east are located within an “H” MVA cluster, and to the northwest are located within and “F” MVA cluster.

LIST OF PARTNERS

Sai Bhari Inc.

Deepesh Shrestha – President

Rakhee Shakya – Secretary

Dhir H Bhari - Treasurer

PROPOSED SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.

Staff's recommendation:

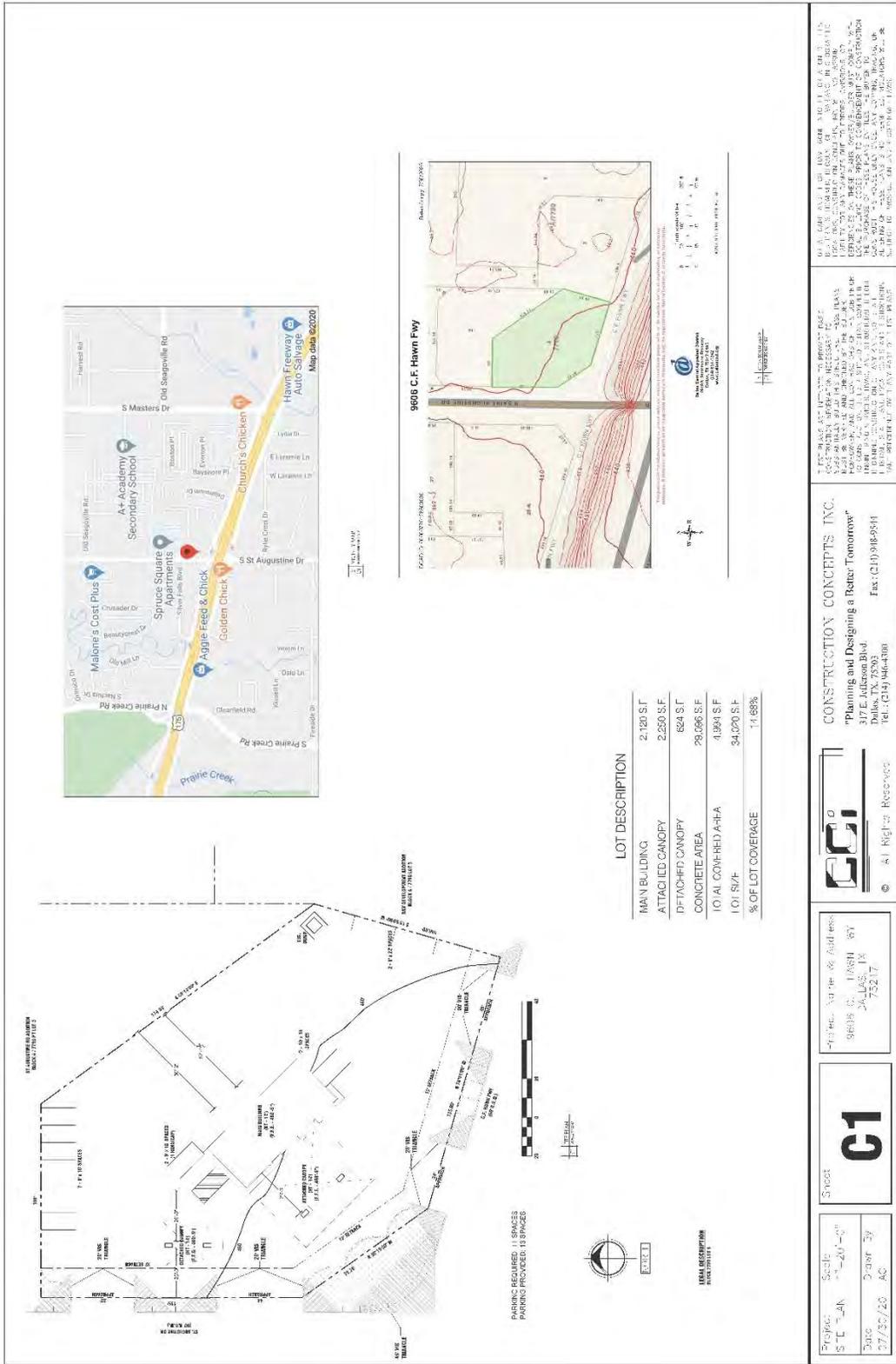
- | |
|--|
| 3. <u>TIME LIMIT</u> : This specific use permit expires on_____, (two-year period from the passage of this ordinance). |
|--|

Applicant's request:

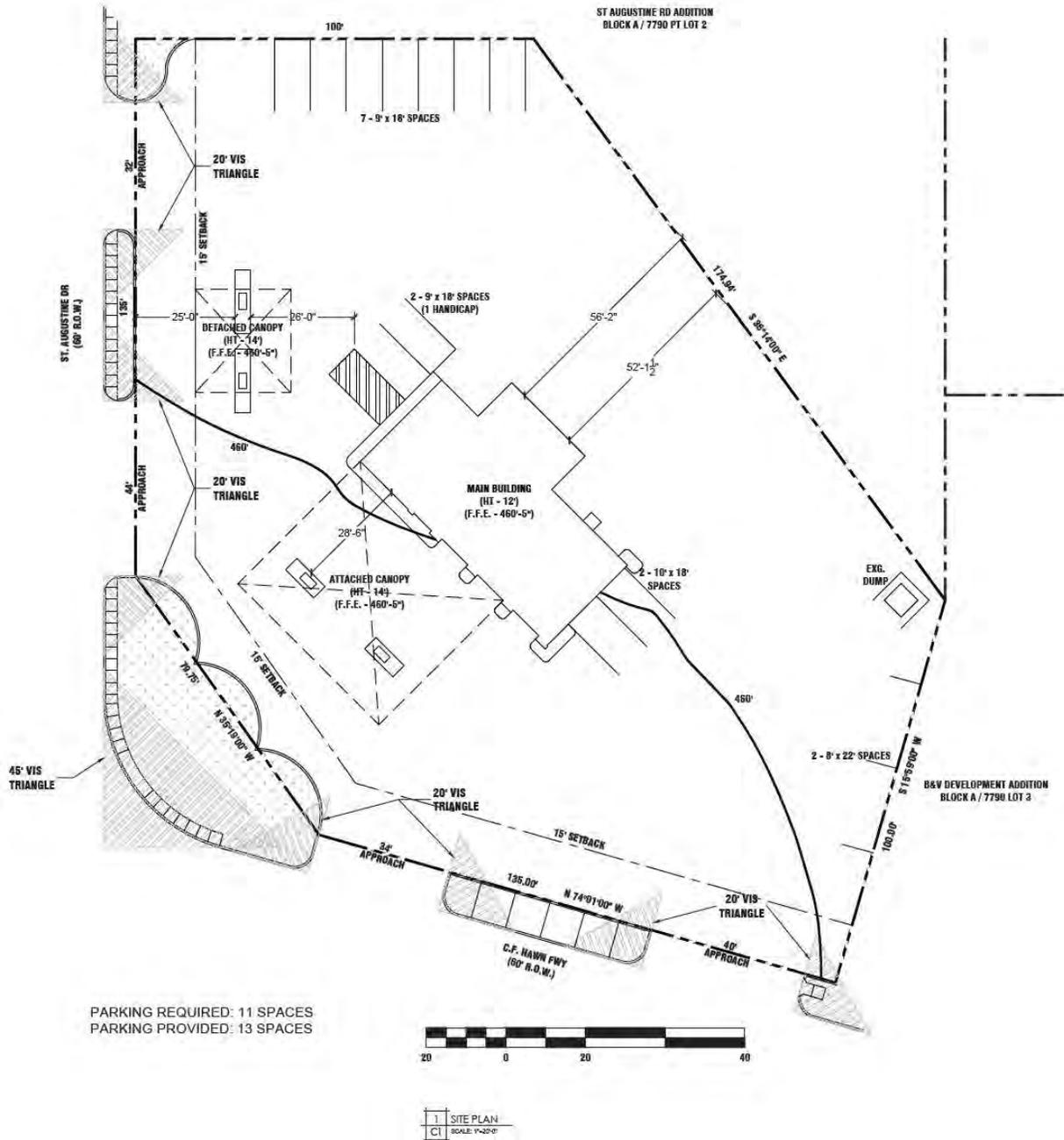
- | |
|--|
| 3. <u>TIME LIMIT</u> : This specific use permit expires on_____ (five-year period from the passage of this ordinance.) |
|--|

4. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
5. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

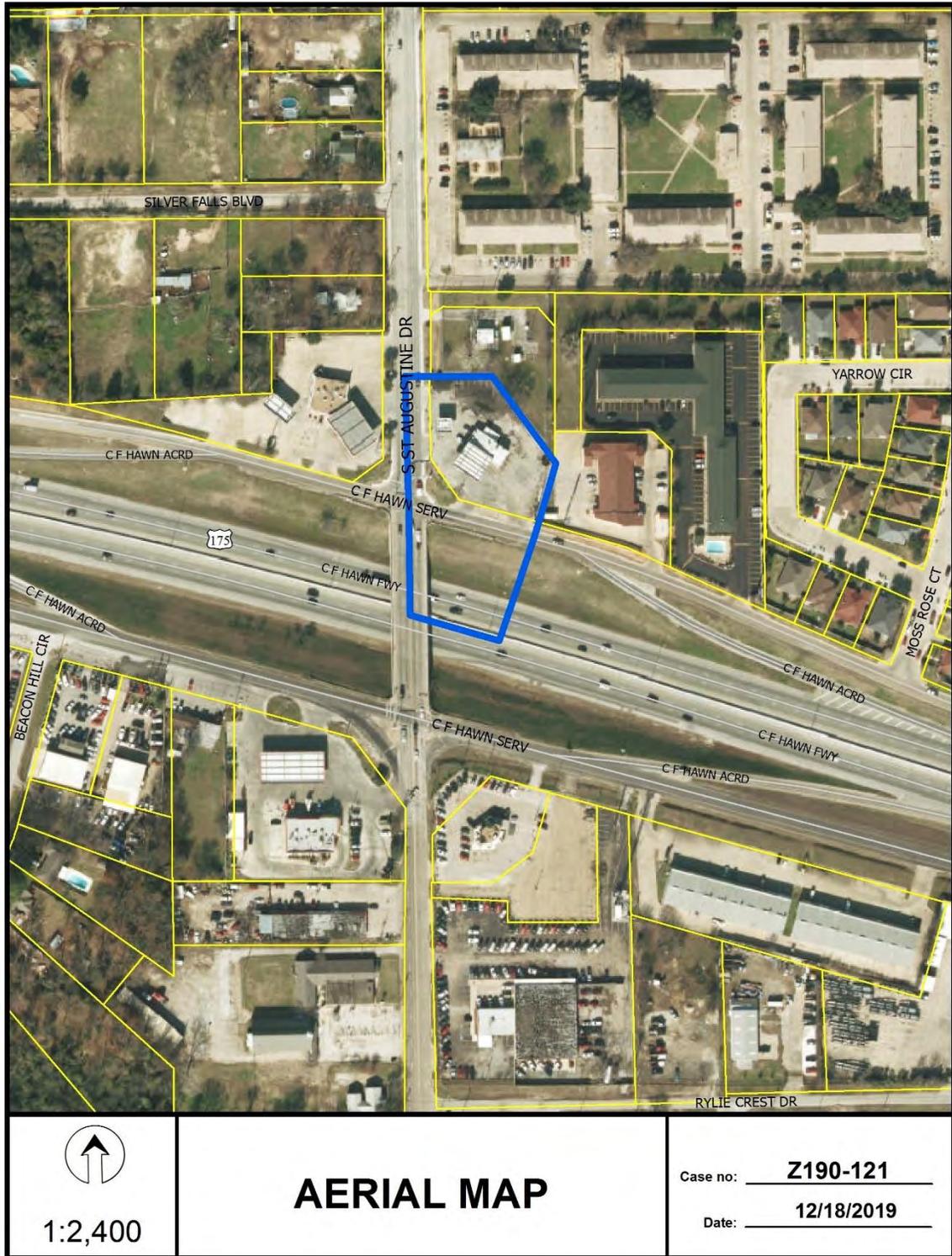
PROPOSED SITE PLAN

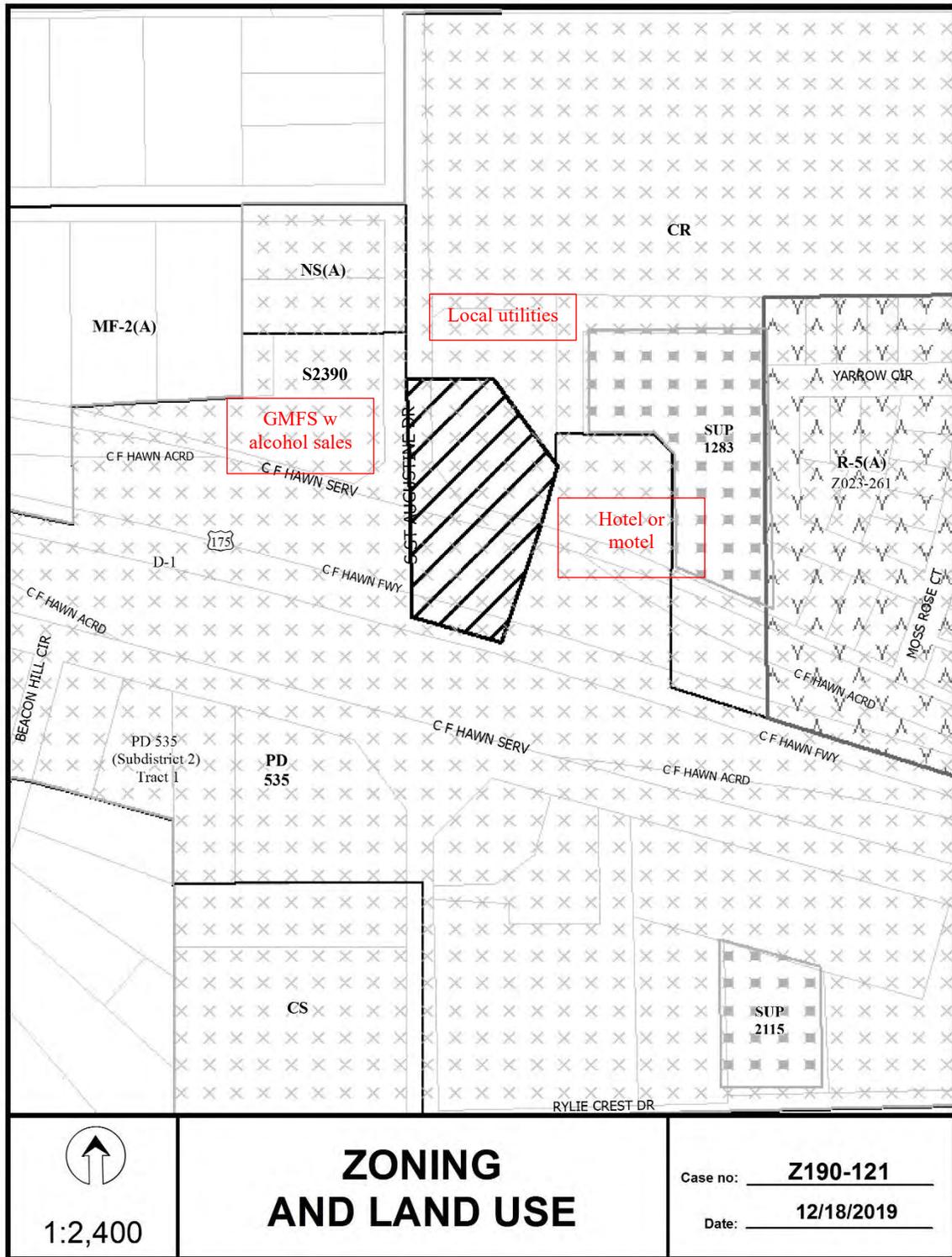


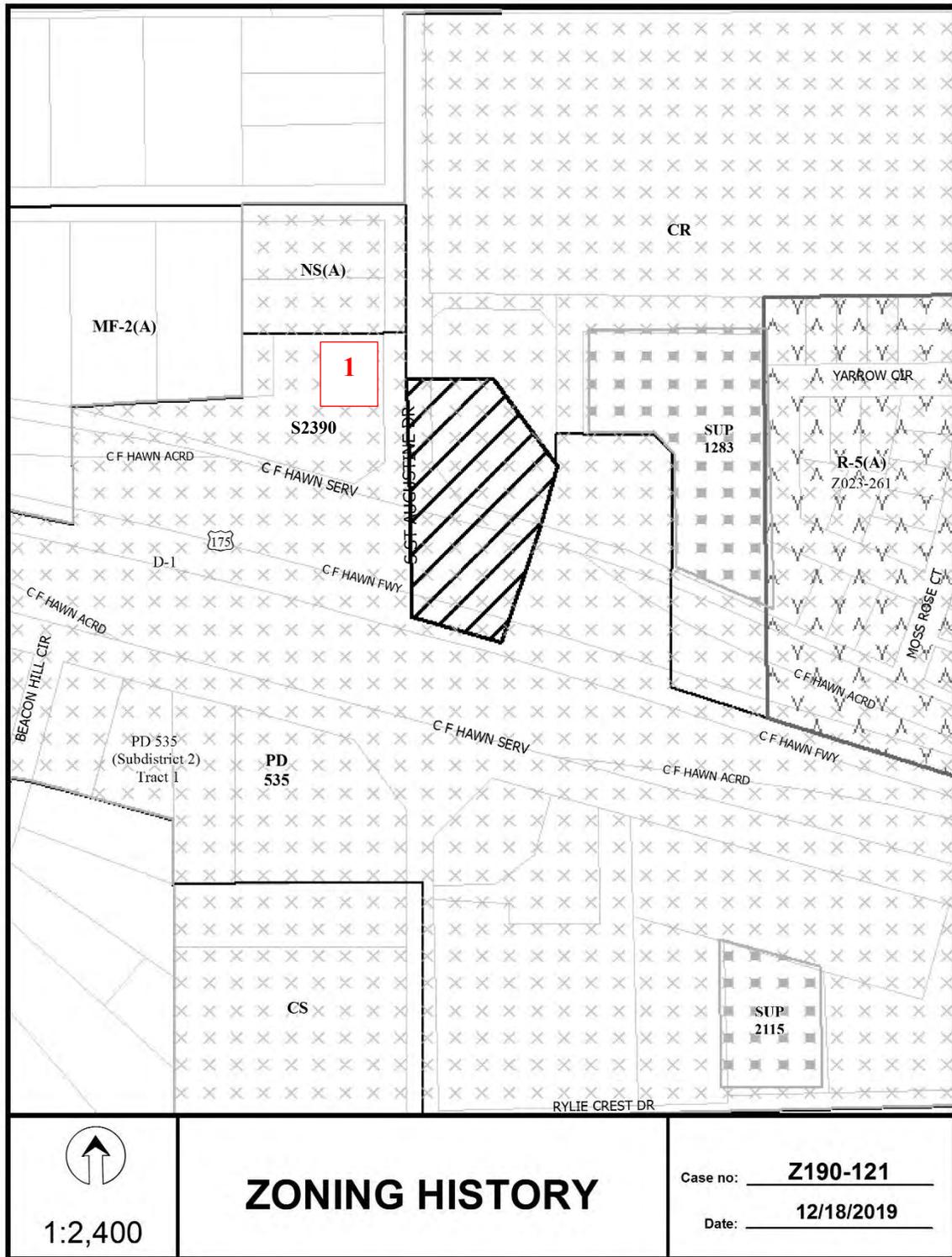
PROPOSED SITE PLAN (enlarged)

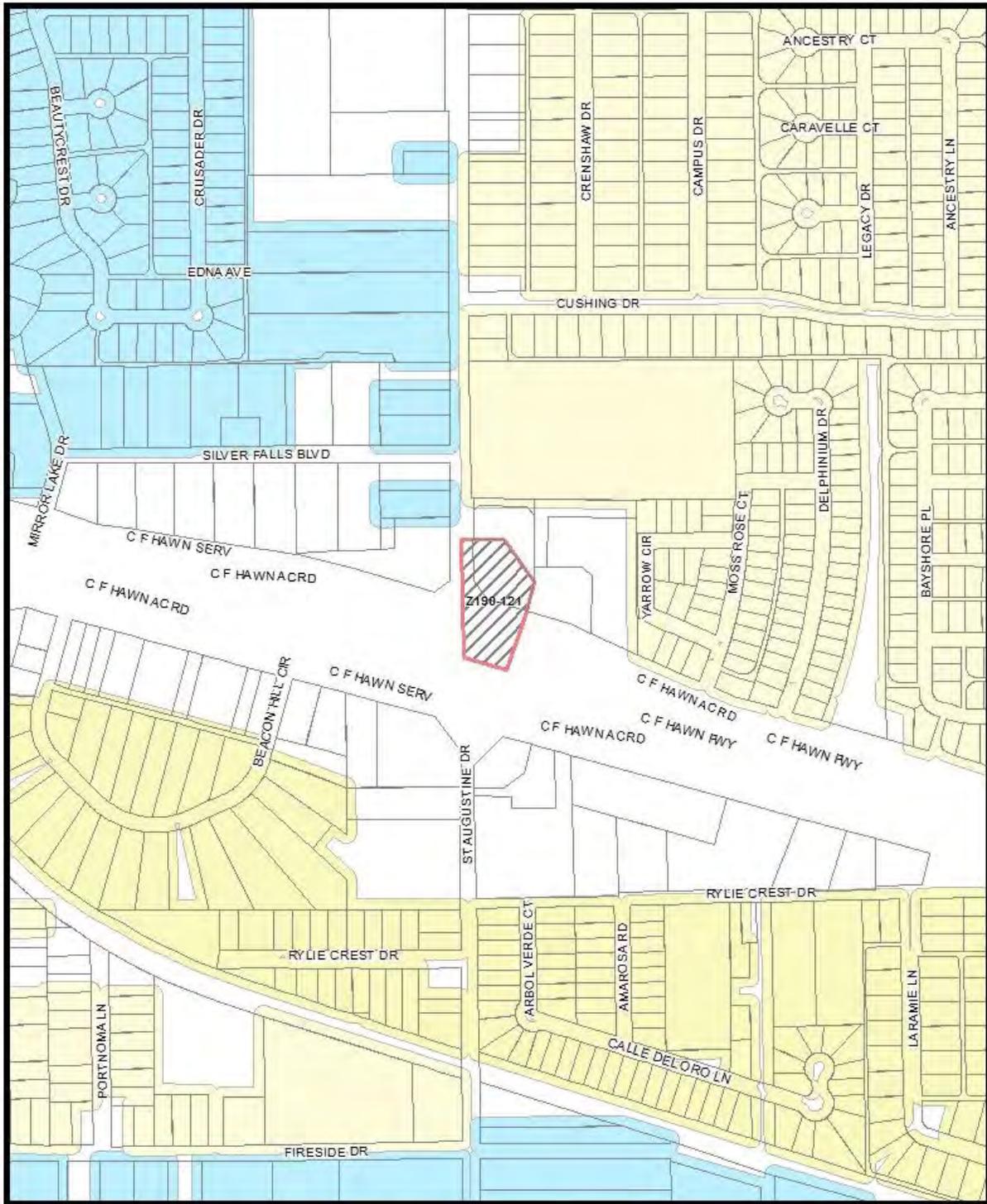










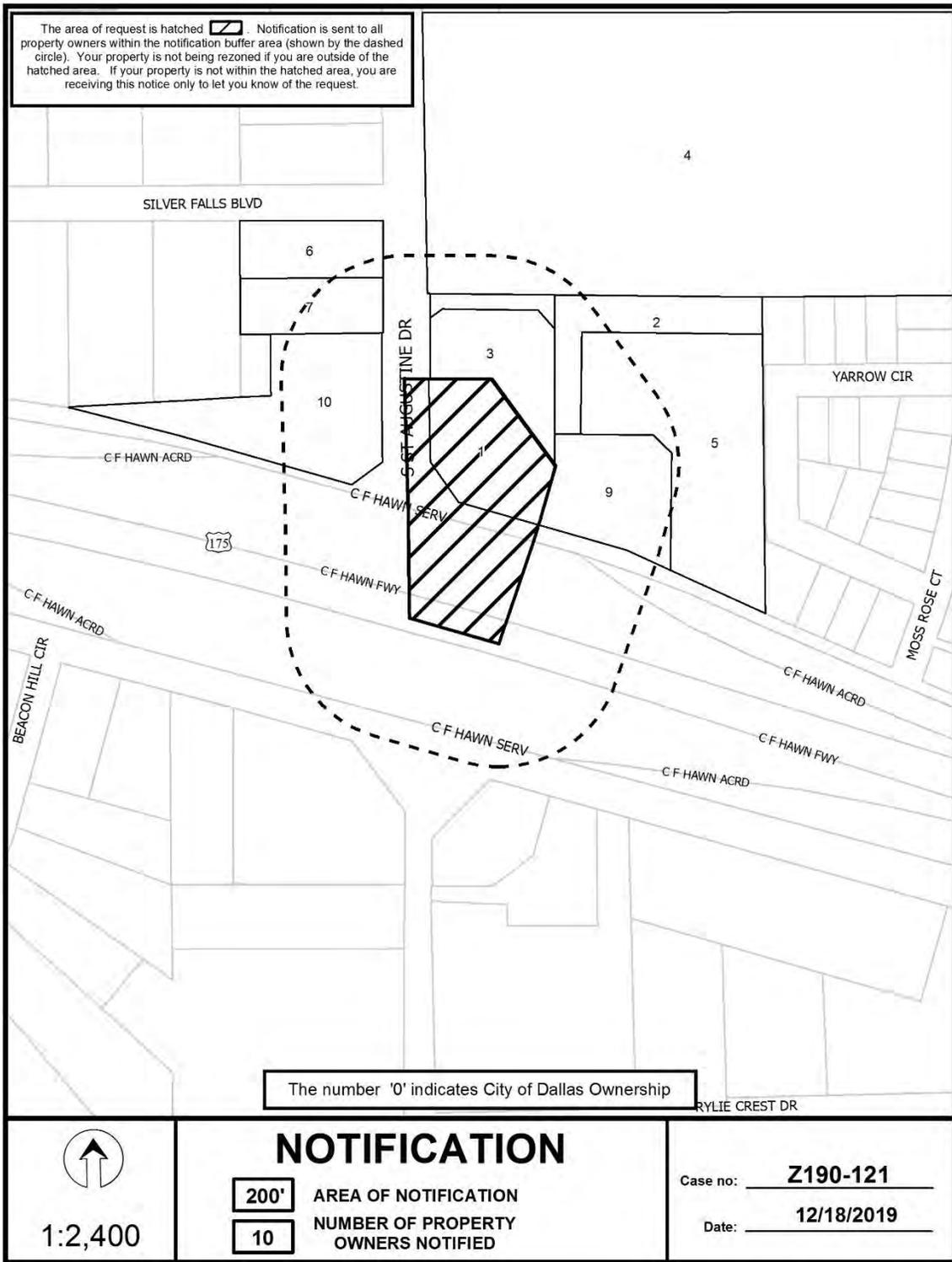


Market Value Analysis A B C D E F G H I NA

1:4,800

Market Value Analysis

Printed Date: 12/18/2019



Z190-121(AU)

12/18/2019

Notification List of Property Owners

Z190-121

10 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	9606 C F HAWN FWY	SAI BHARI INC
2	9600 C F HAWN FWY	NEAL HOSPITALITY LLC
3	459 ST AUGUSTINE RD	TIME WARNER CABLE DALLAS
4	442 ST AUGUSTINE RD	CO3 SPANISH TIMBERS LLC
5	9626 C F HAWN FWY	SOUTHEAST DALLAS
6	507 ST AUGUSTINE RD	AGUIRRE HELEN T
7	515 S ST AUGUSTINE RD	AGUIRRE ERLINDA T
8	459 ST AUGUSTINE RD	TIME WARNER NY CABLE LLC
9	9616 C F HAWN FWY	NEAL HOSPITALITY LLC
10	527 ST AUGUSTINE RD	NAURIN INC

FILE NUMBER: Z190-230(AU)

DATE FILED: March 13, 2020

LOCATION: East line of Inwood Road, north of Lovers Lane

COUNCIL DISTRICT: 13

MAPSCO: 34 D

SIZE OF REQUEST: ± 1.04 Ac

CENSUS TRACT: 73.01

REPRESENTATIVE: Dallas Cothrum, Masterplan

APPLICANT/OWNER: Intercity Investment Properties, Inc.

REQUEST: An application for a P(A) Parking District on property zoned an R-16(A) Single Family District and an MF-2(A) Multifamily District.

SUMMARY: The purpose of the request is to allow the development of a parking lot under the regulations of the P(A) Parking District. The proposed parking lot will be used as remote parking by the shopping center on Lovers Lane.

STAFF RECOMMENDATION: Denial.

PRIOR CPC ACTION: On October 1 and November 5, 2020, City Plan Commission held this item under advisement until December 3, 2020.

BACKGROUND INFORMATION

- The request site is comprised of two lots, each situated in a different zoning district, R-16(A) Single Family District and MF-2(A) Multifamily District. The area of request is undeveloped. A portion of the area of request, on the southeast corner, is developed with a surface parking lot with 11 parking spaces.
- The applicant is proposing to rezone both lots to a P(A) Parking District to allow the development of a parking lot with 61 parking spaces. The proposed parking lot will be used as remote parking by the shopping center on Lovers Lane, as excess parking. The request is based on additional parking needs for a variety of use that may be accommodated in the shopping center and it is intended to increase the flexibility of the use combination.

Zoning History

There has been one zoning request in the surrounding area in the past five years:

- 1. Z167-395:** On September 7, 2017, City Plan Commission authorized a hearing to determine proper zoning in an area generally bounded by Lovers Lane to the north, Inwood Road to the east, Mockingbird Lane to the south, and Lemmon Avenue and Bluffview Boulevard to the west. The case is first virtual community meeting is scheduled for October 12, 2020.

Thoroughfares/Streets

Thoroughfare/Street	Type	Existing / Proposed ROW
Inwood Road	Principal Arterial	80 feet

Traffic

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS

Comprehensive Plan

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The applicant's request is not consistent with the following goals and policies of the comprehensive plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

1.1.5.4 Provide appropriate transitions between non-residential uses and neighborhoods to protect stability and quality of life.

1.1.5.7 Ensure that neighborhoods are served by and accessible to neighborhood commercial areas, parks and open space, libraries and schools. Encourage the development of these facilities in priority Area Plans.

URBAN DESIGN ELEMENT

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY

Policy 5.1.1 Promote pedestrian-friendly streetscapes.

GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY

Policy 5.2.1 Maintain neighborhood scale and character.

Policy 5.2.2 Promote the character of the city's significant districts, linkages and areas.

GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE

Policy 5.3.2 Direct pedestrian routes to home, school, or work.

Surrounding Land Uses

	Zoning	Land Use
Site	R-16(A), MF-2(A)	Undeveloped
Northeast	MF-2(A)	Multifamily
East	P(A)	Parking
South	P(A)	Parking
Southwest	P(A)	Retail, parking
West	R-16(A) w SUP No. 852	Church
Northwest	R-16(A)	Single family

Land Use Compatibility

The request site is comprised of two lots, each situated in a different zoning district, R-16(A) Single Family District and MF-2(A) Multifamily District. The area of request is undeveloped. A portion of the area of request, on the southeast corner, is developed with a surface parking lot with 11 parking spaces.

The applicant is proposing to rezone both lots to a P(A) Parking District to allow the development of a parking lot with 61 parking spaces. The proposed parking lot will be used as remote parking by the shopping center on Lovers Lane, as excess parking.

The request site is surrounded by multifamily to the northeast, surface parking to the south, a church to the west, and single family to the north. Further south, facing Lovers Lane, there is a shopping center with multiple suites.

Use comparison table for existing zoning districts:

EXISTING R-16(A)	EXISTING MF-2(A)
(A) <u>Agricultural uses.</u> Crop production.	(A) <u>Agricultural uses.</u> Crop production.
(C) <u>Industrial uses.</u> Gas drilling and production. [SUP] Temporary concrete or asphalt batching plant. [By special authorization of the building official.]	(C) <u>Industrial uses.</u> Gas drilling and production. [SUP] Temporary concrete or asphalt batching plant. [By special authorization of the building official.]
(D) <u>Institutional and community service uses.</u> Adult day care facility. [SUP] Cemetery or mausoleum. [SUP] Child-care facility. [SUP] Church. College, university or seminary. [SUP] Community service center. [SUP]	(D) <u>Institutional and community service uses.</u> Adult day care facility. [SUP] Cemetery or mausoleum. [SUP] Child-care facility. [SUP] Church. College, university or seminary. [SUP] Community service center. [SUP]

<p>Convent or monastery. [SUP] Foster home. [SUP] Library, art gallery, or museum. [SUP] Public or private school. [SUP]</p>	<p>Convalescent and nursing homes, hospice care, and related institutions. [RAR] Convent or monastery. Foster home. Hospital. [SUP] Library, art gallery, or museum. [SUP] Public or private school. [SUP]</p>
<p>(E) <u>Lodging uses.</u> None permitted.</p>	<p>(E) <u>Lodging uses.</u> Lodging or boarding house.</p>
<p>(F) <u>Miscellaneous uses.</u> Carnival or circus (temporary). [By special authorization of the building official.] Temporary construction or sales office.</p>	<p>(F) <u>Miscellaneous uses.</u> Carnival or circus (temporary). [By special authorization of the building official.] Temporary construction or sales office.</p>
<p>(H) <u>Recreation uses.</u> Country club with private membership. [SUP] Private recreation center, club, or area. [SUP] Public park, playground, or golf course.</p>	<p>(H) <u>Recreation uses.</u> Country club with private membership. [RAR] Private recreation center, club, or area. [SUP] Public park, playground, or golf course.</p>
<p>(I) <u>Residential uses.</u> Handicapped group dwelling unit. [See Section 51A-4.209(3.1).] Single family.</p>	<p>(I) <u>Residential uses.</u> College dormitory, fraternity, or sorority house. Duplex. Group residential facility. [See Section 51A-4.209(3).] Handicapped group dwelling unit. [See Section 51A-4.209(3.1).] Multifamily. Residential hotel. Retirement housing. Single family.</p>
<p>(K) <u>Transportation uses.</u> Private street or alley. [SUP] Transit passenger shelter. [See Section 51A-4.211.] Transit passenger station or transfer center. [SUP]</p>	<p>(K) <u>Transportation uses.</u> Transit passenger shelter. Transit passenger station or transfer center. [SUP]</p>
<p>(L) <u>Utility and public service uses.</u> Electrical substation. [SUP] Local utilities. [SUP or RAR may be required. See Section 51A-4.212(4).] Police or fire station. [SUP] Radio, television, or microwave tower. [SUP] Tower/antenna for cellular communication. [See Section 51A-4.212(10.1).] Utility or government installation other than listed. [SUP]</p>	<p>(L) <u>Utility and public service uses.</u> Electrical substation. [SUP] Local utilities. [SUP or RAR may be required. See Section 51A-4.212(4).] Police or fire station. [SUP] Radio, television, or microwave tower. [SUP] Tower/antenna for cellular communication. [See Section 51A-4.212(10.1).] Utility or government installation other than listed. [SUP]</p>
<p>(M) <u>Wholesale, distribution, and storage uses.</u> Recycling drop-off container. [See Section 51A-4.213(11.2).] Recycling drop-off for special occasion collection. [See Section 51A-4.213(11.3).]</p>	<p>(M) <u>Wholesale, distribution, and storage uses.</u> Recycling drop-off container. [See Section 51A-4.213(11.2).] Recycling drop-off for special occasion collection. [See Section 51A-4.213(11.3).]</p>

The proposed P(A) District allows only surface parking use by right, and local utilities, tower/antenna for cellular communication, and recycling uses subject to additional conditions.

Development Standards

Development standards comparison table for existing zoning districts:

District	Setbacks		Height (max)	Lot Coverage (max)	Special Standards
	Front (min)	Side / Rear (min)			
Existing: R-16(A)	35 feet	SF: 10' Other: 15' / 20'	30 feet	SF: 40% Other: 25%	
Existing: MF-2(A)	15 feet	Single family: no min Duplex: 5 feet / 10 feet Other: 10 feet / 15feet When other uses back MF and commercial: 10 feet	54 feet 4 stories RPS applies for all portions above 26 feet + 12 feet encroachments into RPS for certain elements	60% 50% non-residential	Mixed-income bonuses Spacing for single family uses

The proposed zoning district has to follow the code provisions for P(A) District:

- (1) The parking district must be either contiguous to or perpendicularly across an adjoining street or alley from a main use.
- (2) The owner of a lot in a parking district contiguous to an A, A(A), R, R(A), D, D(A), TH, TH(A), CH, MF, MF(A), MH, or MH(A) district shall provide and maintain a minimum front yard of ten feet.

The proposed site plan indicates a minimum 40-foot paving setback along Inwood Road. In addition, the proposed layout for the surface parking lot will have access from the existing parking lot to the south, hence, no additional access points are proposed to any of the adjacent public streets, Inwood Road and Amherst Circle.

The proposed P(A) District is an expansion of another P(A) District that is currently serving the shopping center along Lovers Lane. Furthermore, staff considers the overall layout of the shopping center with the increasing surface parking lot as a pattern that discourages the walkability and influences the urban form of the surroundings.

Parking

To support the request for additional, excess parking, the applicant submitted a parking study. The study is based on the future needs of the shopping center and is estimating a wider variety of use combination with different parking ratios and needs that would otherwise be limited by the current parking supply. The applicant’s intent is to provide a wider variety of uses and increase the parking supply, thus to eliminate the need for any parking reduction tools.

The existing parking supply for the shopping center on site and within the existing P(A) District is 188 spaces. The proposed P(A) District will add 61 space, thus bringing the

supply to a total of 249 parking spaces. This is assuming that on-street parking may count to meet off-street parking requirements. The current demand may reach 190 parked cars. The projections, based on a combination of uses, indicate 289 parked cars, and may be reduced to 229 spaces if a MUD chart is used.

The proposed supply of 249 spaces will exceed the parking requirements for the proposed conditions and provide a surplus of at least 20 parking spaces but will likely provide “at-capacity” conditions. The applicant is proposing a parking supply of approximately 1 space per 140 square feet for the total shopping center.

Landscaping

Landscaping must be provided in accordance with the proposed site plan. The Code requires all zoning requests for a P(A) District to include a site plan and show proposed landscaping. The proposed landscape plan exceeds the requirements of Article X, by providing a larger number of trees and enhanced buffers along public streets and from residential adjacency. Per Article X requirements, 11 interior trees must be provided; the proposed landscape plan includes 34 trees located in the interior of the lot.

Market Value Analysis

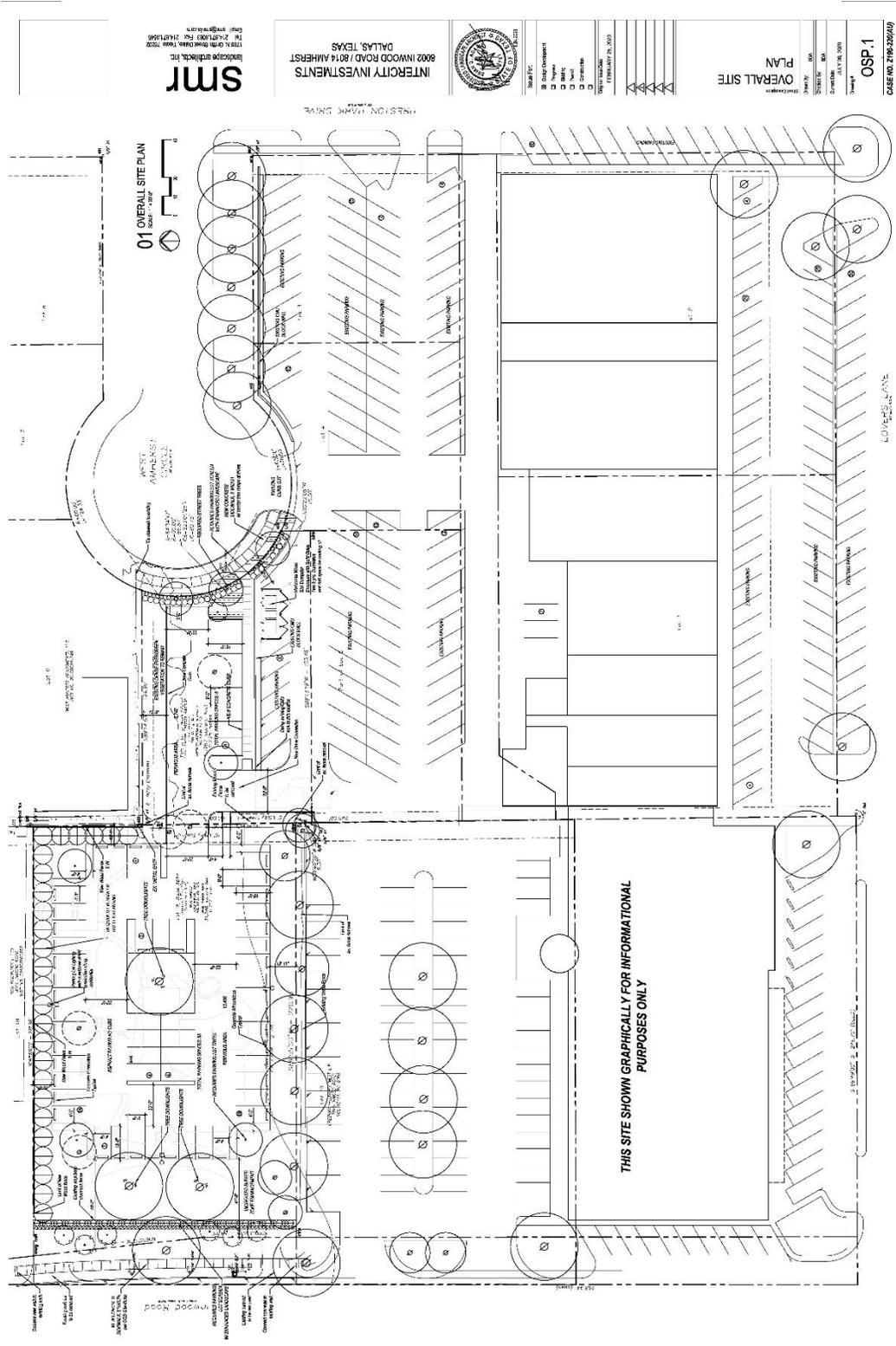
Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The subject site is partially within category A. Adjacent properties to the north and northeast are located within category A.

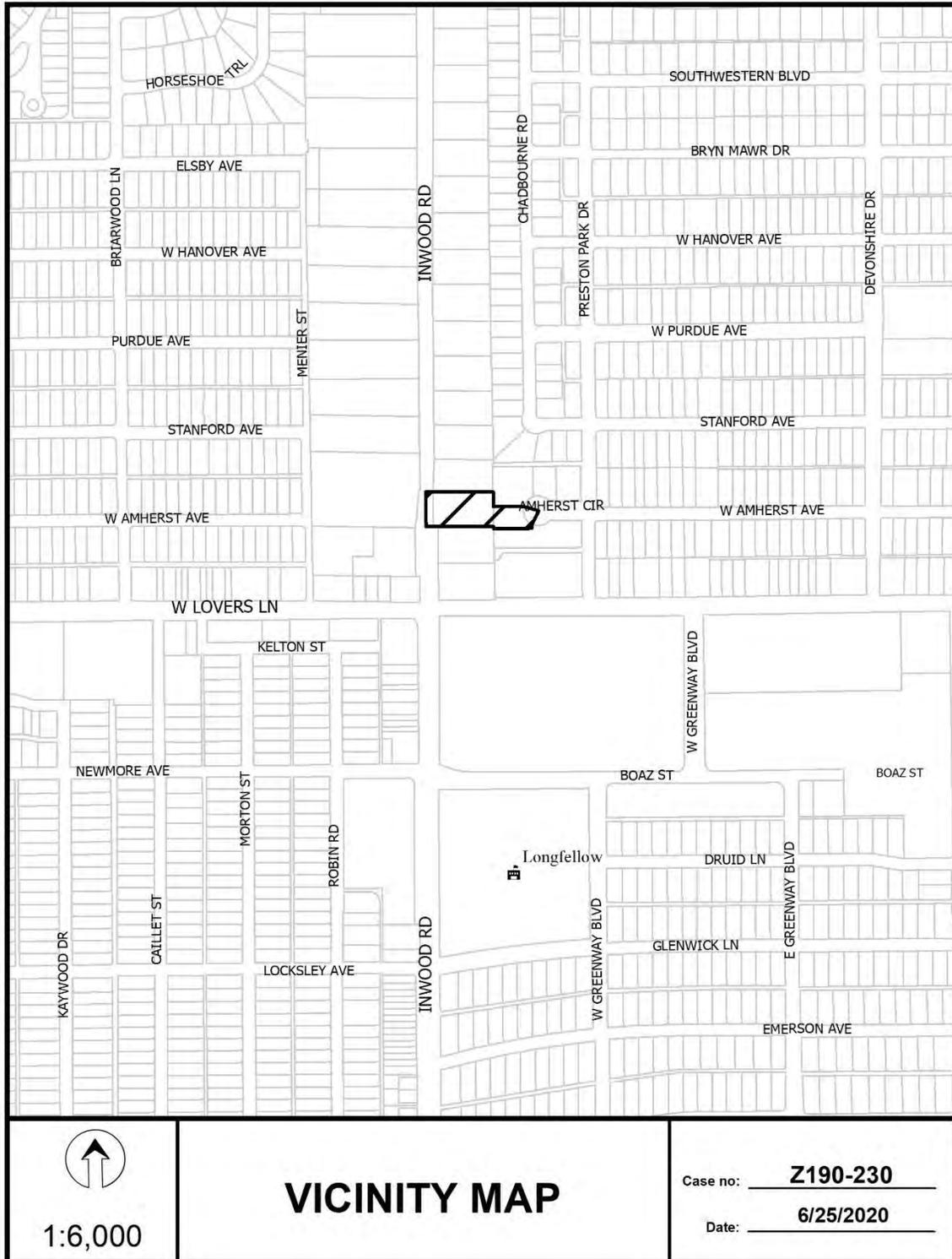
List of Officers

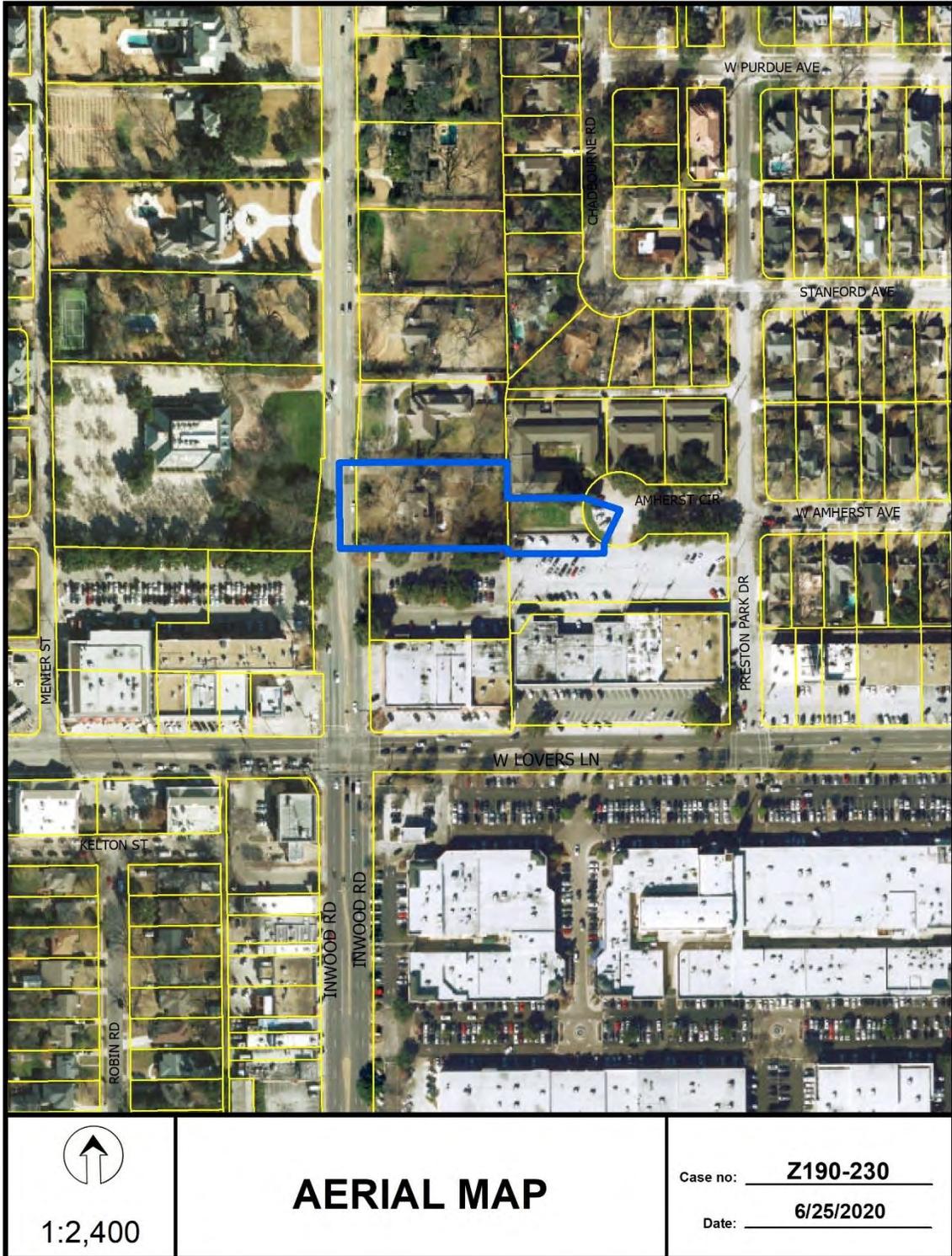
Intercity Investment Property, Inc

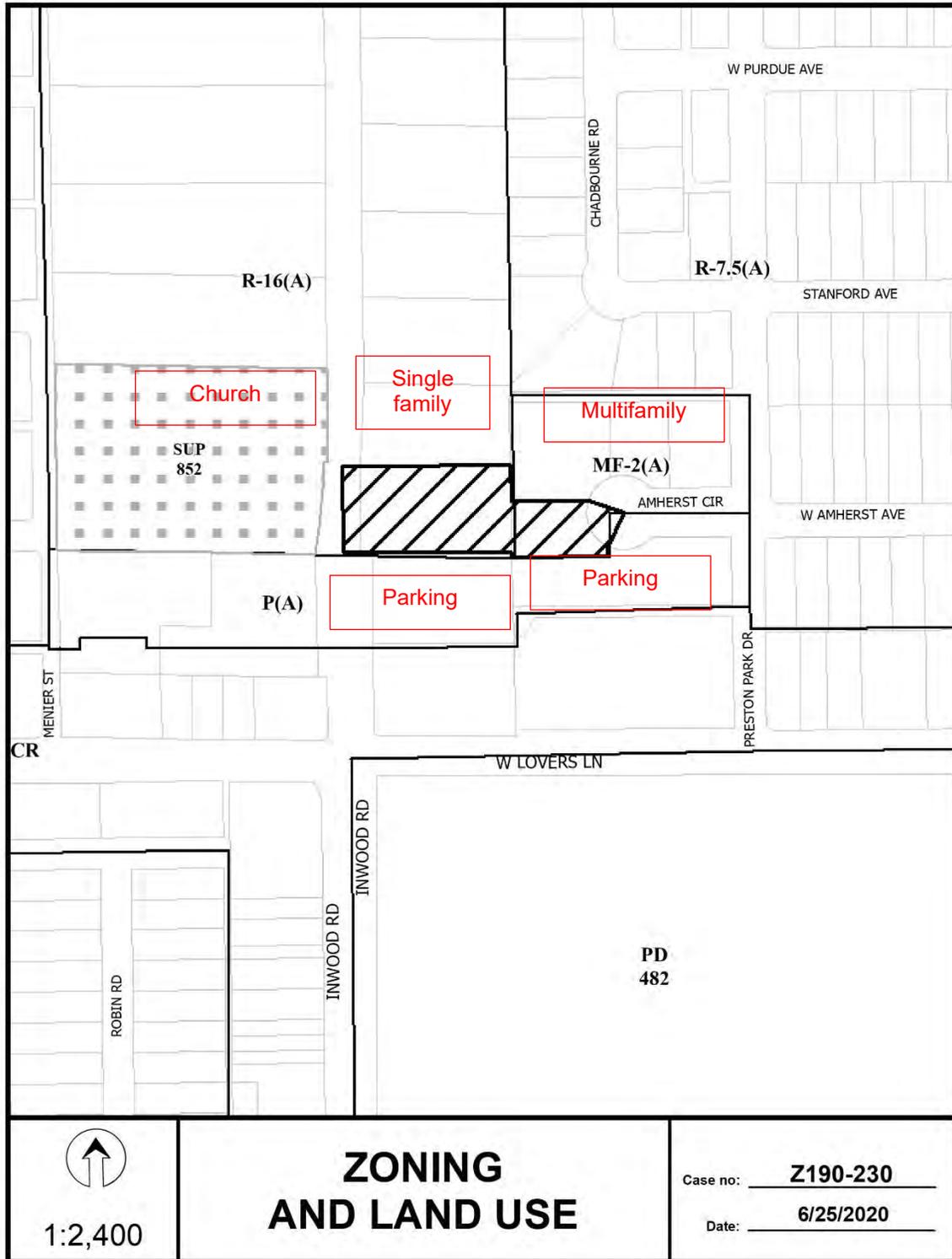
Edwin B. Jordan, Jr. – Chairman Emeritus
Christopher G. Jordan – President
Anne Jordan Logan – Vice President / Secretary
Curtis Garmon – Treasurer
Nick Hannon – Vice President

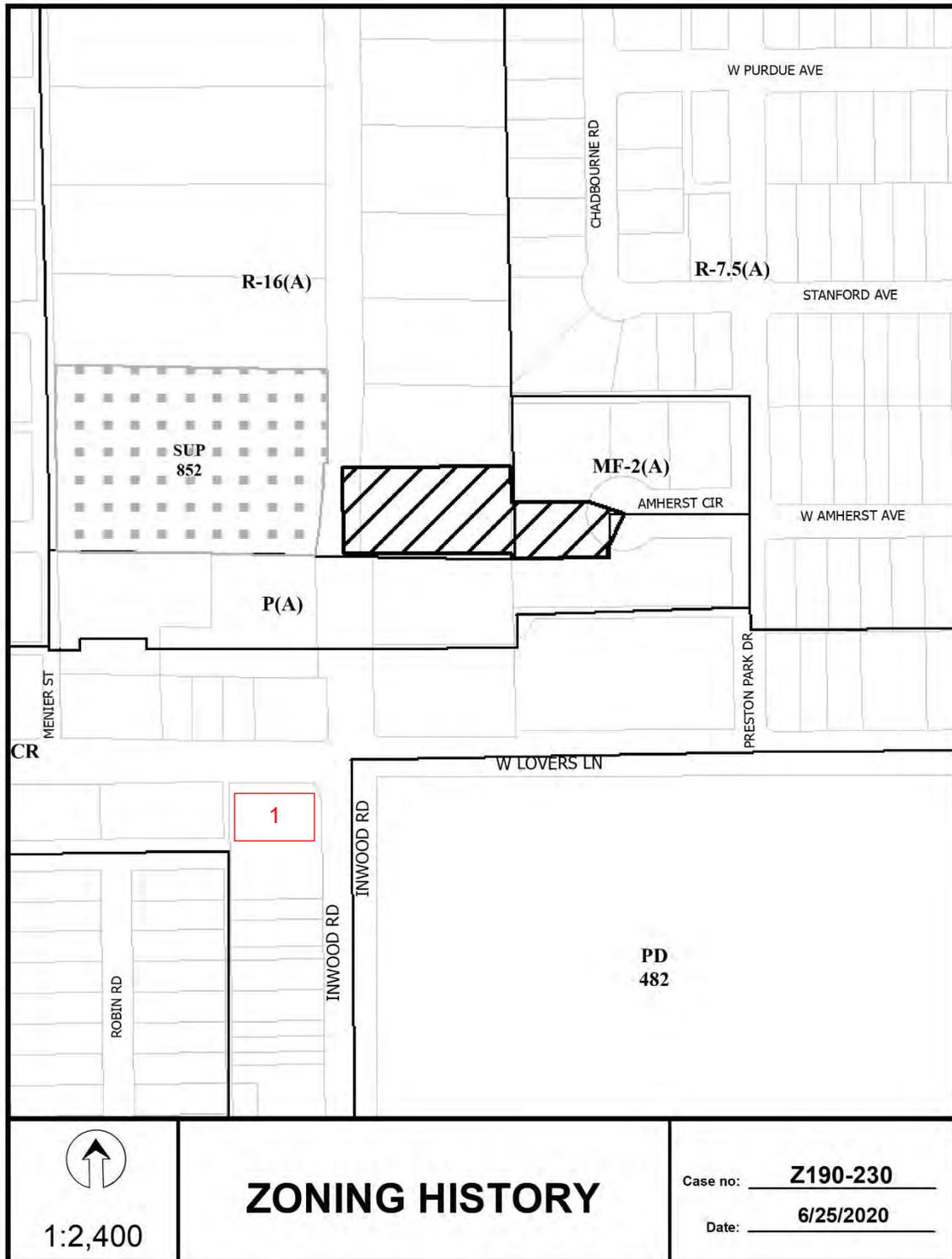
APPLICANT'S PROPOSED OVERALL SITE PLAN (for information purposes only)

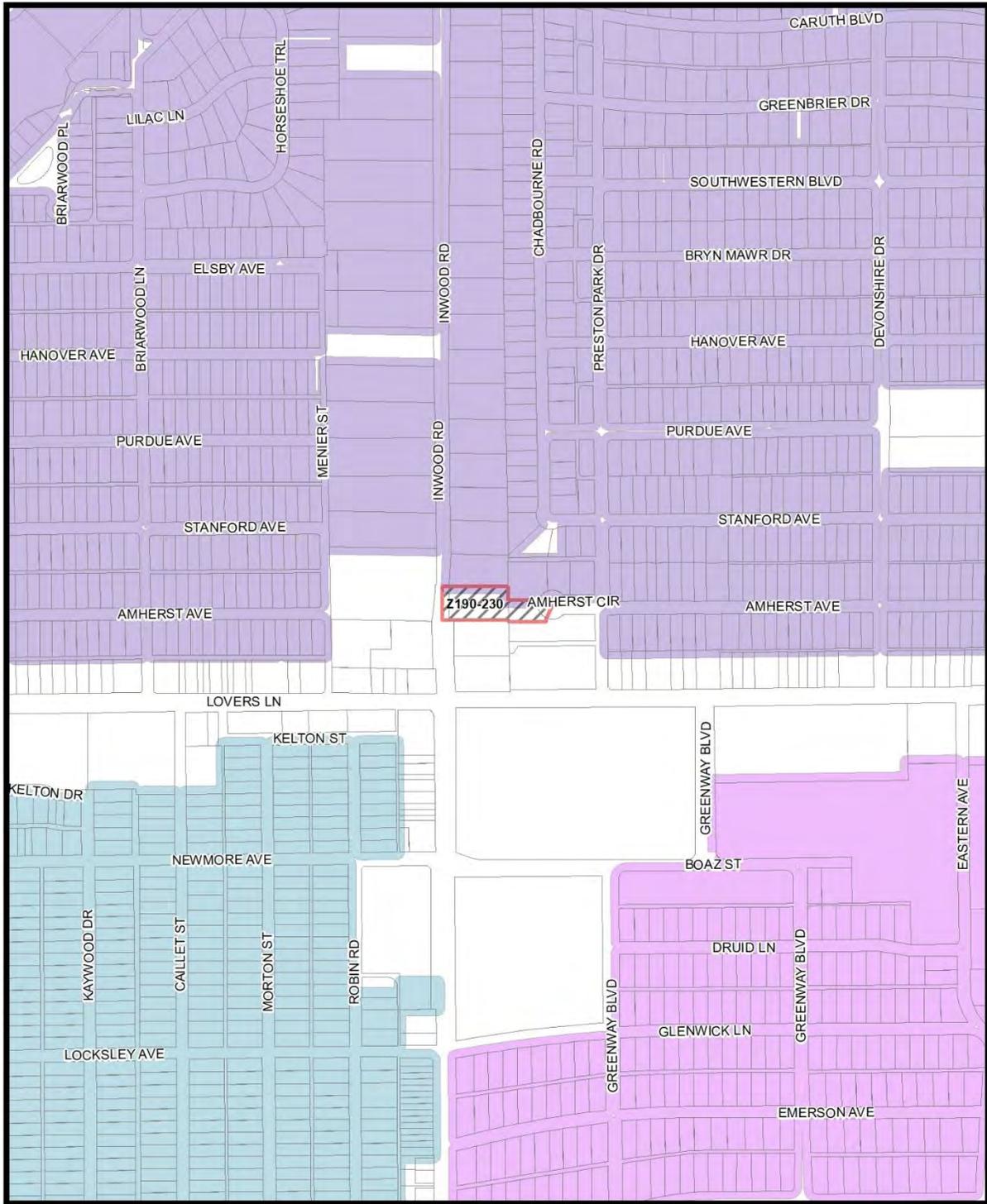










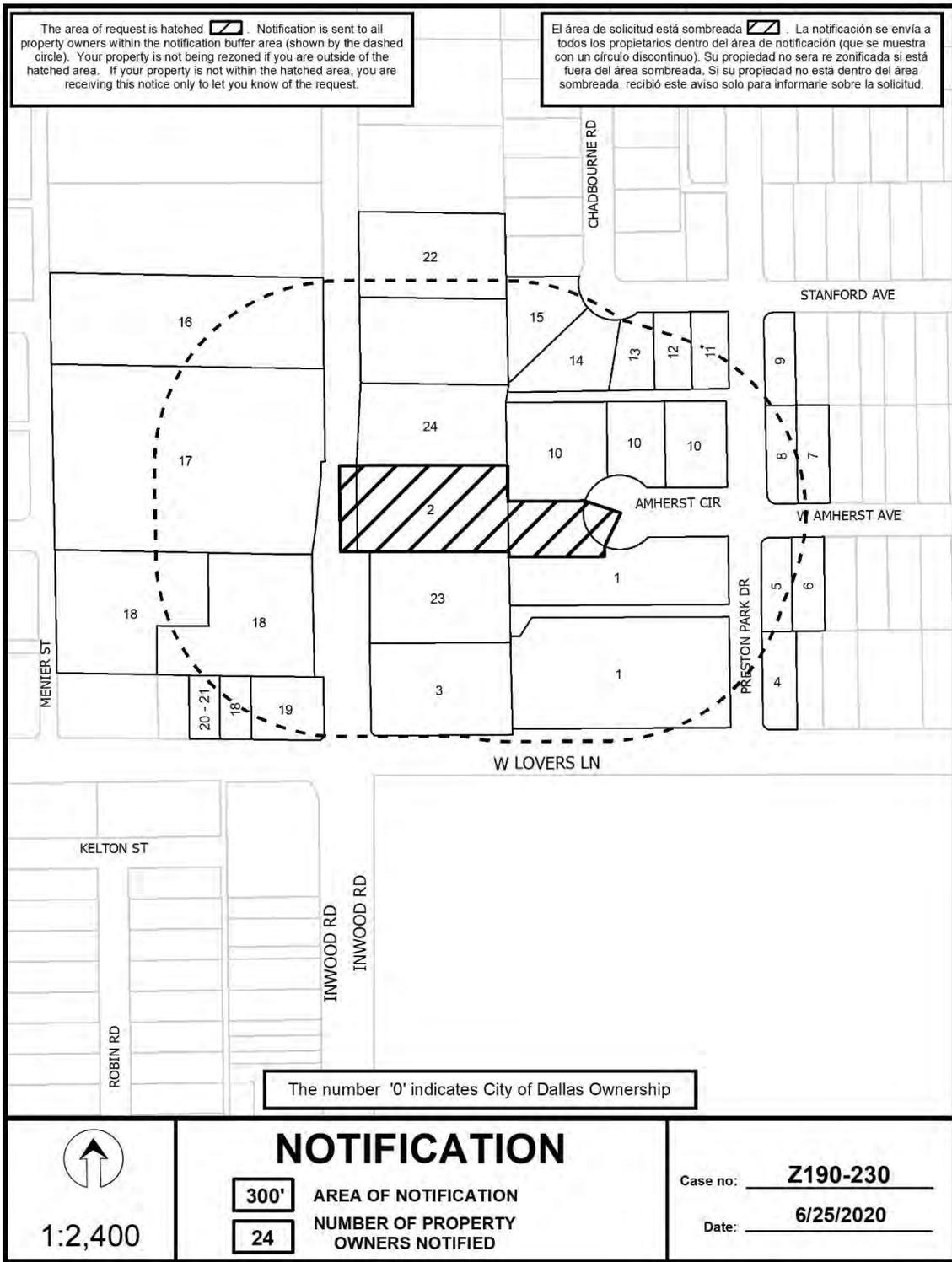


Market Value Analysis A B C D E F G H I NA



Market Value Analysis

Printed Date: 6/25/2020



06/25/2020

Notification List of Property Owners***Z190-230******24 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	5401 W LOVERS LN	INTERCITY INVESTMENT PROP
2	8002 INWOOD RD	INTERCITY INVESTMENT PPTIES INC
3	5301 W LOVERS LN	GREENWAY LOVERS WEST LP
4	5501 W LOVERS LN	TRACY A BOUTTE LLC
5	5500 W AMHERST AVE	CASHMAN MARK &
6	5506 W AMHERST AVE	ANDERSON JAMES CHRISTOPHER &
7	5507 W AMHERST AVE	COLE DAVID A & LAURA C
8	5501 W AMHERST AVE	BURGE BRITON C & ANA R
9	5500 STANFORD AVE	WINN KATHLEEN A
10	5411 AMHERST CIR	DEVONSHIRE APARTMENTS LLC
11	5426 STANFORD AVE	OSBORNE JEFFREY BRUCE JR &
12	5422 STANFORD AVE	SEBASTIAN KRISTEN
13	5416 STANFORD AVE	MCHENRY CARROLL D & MARTHA
14	5410 STANFORD AVE	MORTON THOMAS MORE & LUCY DIANE
15	8103 CHADBOURNE RD	SULLIVAN BRIAN JAMES & MEREDITH FORD
16	8027 INWOOD RD	HARVEY RAYMOND & CAROL M
17	8003 INWOOD RD	JUNIOR LEAGUE OF DALLAS
18	5201 W LOVERS LN	PRESCOTT INTERESTS LTD
19	5235 W LOVERS LN	SK LOVERS LLC
20	5217 W LOVERS LN	PRESCOTT INTERESTS LTD
21	5217 W LOVERS LN	PRESCOTT INTERESTS LTD
22	8108 INWOOD RD	SRIVASTAVA ASHWANI & ARCHANA
23	7916 INWOOD RD	GREENWAY LOVERS WEST LP
24	8014 INWOOD RD	RADP PROPERTIES LLC

FILE NUMBER: Z190-318(LG) **DATE FILED:** July 24, 2020

LOCATION: Northeast corner of Kimsey Drive and Maple Avenue

COUNCIL DISTRICT: 2 **MAPSCO:** 34 P

SIZE OF REQUEST: ±0.78 acres **CENSUS TRACT:** 4.06

REPRESENTATIVE: Rob Baldwin, Baldwin Associates

APPLICANT: Urban Genesis

OWNER: Red Barn Holdings LP

REQUEST: An application for an MF-2(A) Multifamily District on property zoned an MU-2 Mixed Use District and an IR Industrial Research District.

SUMMARY: The applicant proposes to develop the site with 76 multifamily units.

STAFF RECOMMENDATION: Approval.

PRIOR CPC ACTION: On November 19, 2020, the Commission held this case under advisement to December 3, 2020.

BACKGROUND INFORMATION:

- The area of request is zoned an MF-2 Multifamily District and an IR Industrial Research District and is currently undeveloped.
- The applicant proposes to develop the property for multifamily uses.

Zoning History: There has been one zoning change for the area of request in the past five years.

1. **Z190-319** An application for an MF-2(A) Multifamily District on property zoned a MU-2 Mixed Use District and an IR Industrial Research District (Held under advisement at the November 19, 2020 CPC meeting).

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing/Proposed ROW
Maple Avenue	Community Collector	60 feet/60 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS:

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

ECONOMIC ELEMENT

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

URBAN DESIGN

GOAL 5.3 ESTABLISH WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

Land Use:

	Zoning	Land Use(s)
Site	MU-2 Mixed Use District IR Industrial Research	Undeveloped
North	MU-2 Mixed Use District with Deed Restrictions	Multiple Family
East	PD No. 907 IR Industrial Research District	Single Family Office
South	IR Industrial Research District MF-2(A) Multifamily District with Deed Restrictions	Retail (Restaurants) & Office Single Family
Southwest	IM Industrial Manufacturing District	Undeveloped Land
West	MU-2 Mixed Use District	Multiple Family

Land Use Compatibility:

The site is zoned an MU-2 Multifamily District and an IR Industrial Research District and is currently undeveloped. Zoning surrounding the site consists of MU-2 Mixed Use, IM Industrial Manufacturing, MF-2(A) Multifamily and IR Industrial Research Districts. The area of request has multiple and single family uses to the north, east and west of the property. Office uses are also located to the south and to the east of the area of request. Restaurant and office uses are also south of the site. There is also an undeveloped parcel southwest of the area of request. Overall, staff believes the proposed zoning is complimentary with the existing land uses surrounding the site.

The MF-2(A) District provides for Mixed Income Housing bonuses by right. If the applicant chooses to provide a mixed income housing project, this would be determined before filing for a building permit. For MVA Category “E” properties, the applicant has three different options for set aside minimums for percentage of total residential units reserved in each income band. A set aside of a minimum of 5% of the total units at income band 2 would allow for a maximum height of 51 feet and 85% lot coverage for residential uses. A set aside of a minimum of 10% of the total units at income band 2 would allow for a maximum height of 66 feet and 80% lot coverage for residential uses. A set aside of a minimum of 10% of the total units at income band 2 and 5% of the total units at income

band 1 would allow a maximum height of 85 feet and 85% lot coverage for residential uses.

Development Standards:

<u>DISTRICT</u>	SETBACKS		Density	Height	Lot Coverage	Special Standards	Primary Uses
	Front	Side/Rear					
IR Industrial Research – existing	15' adj. to expressway and thoroughfare s 0' in all others	30' adjacent to residential OTHER: No Min.	2.0 FAR overall 0.75 office/retail 0.5 retail	110'	80%	Proximity Slope Visual	Heavy Industrial Manufacturing
MU-2 Mixed Use District – existing	15'	20' adjacent to residential OTHER: No Min.	1.6 FAR base 2.0 FAR maximum + bonus for residential	135' 10 stories 180' 14 stories with retail	80%	Proximity Slope U-form setback Tower spacing Visual Intrusion	Office, retail & personal service, lodging, residential
MF-2 Multifamily District -proposed	15'	Single family: no min Duplex: 5 feet / 10 feet Other: 10 feet / 15feet When other uses back MF and commercial : 10 feet	No Maximum	54 feet 4 stories RPS applies for all portions above 26 feet + 12 feet encroach ments into RPS for certain elements	60% 50% non- residential	Mixed- income bonuses Spacing for single family uses	Multifamily

Parking:

Pursuant to the Dallas Development Code, off-street and loading required parking must be provided in accordance with Division 51A-4.200 for the specific off-street parking and loading requirements for each use. A multifamily development is required to have one space per bedroom with a minimum of one space per dwelling unit. An additional one-quarter space per dwelling unit must be provided for guest parking if required parking is restricted to resident parking. The applicant is proposing 78 dwelling units which would require at least 78 spaces for resident parking and 20 parking spaces for guests. The minimum parking required for this development, if approved, would be 98 parking spaces, if all apartments consist of one bedroom. If the dwelling units have more bedrooms, the parking requirements would increase.

Landscaping:

Landscaping is required per Article X of the Dallas Development Code.

Market Value Analysis

Market Value Analysis (MVA) is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to target intervention strategies more precisely in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. A portion of the area of request site is within Category "E."

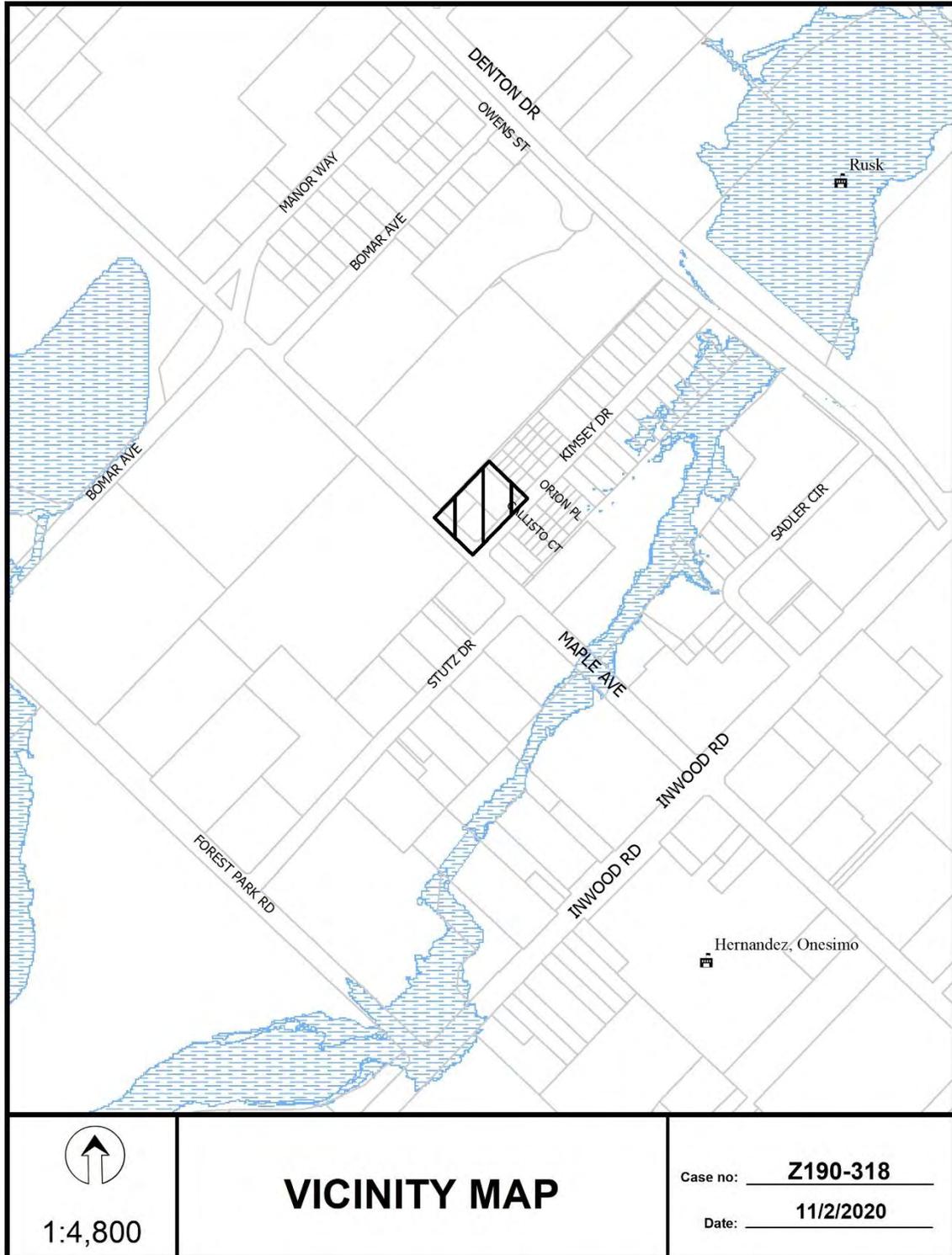
List of Officers

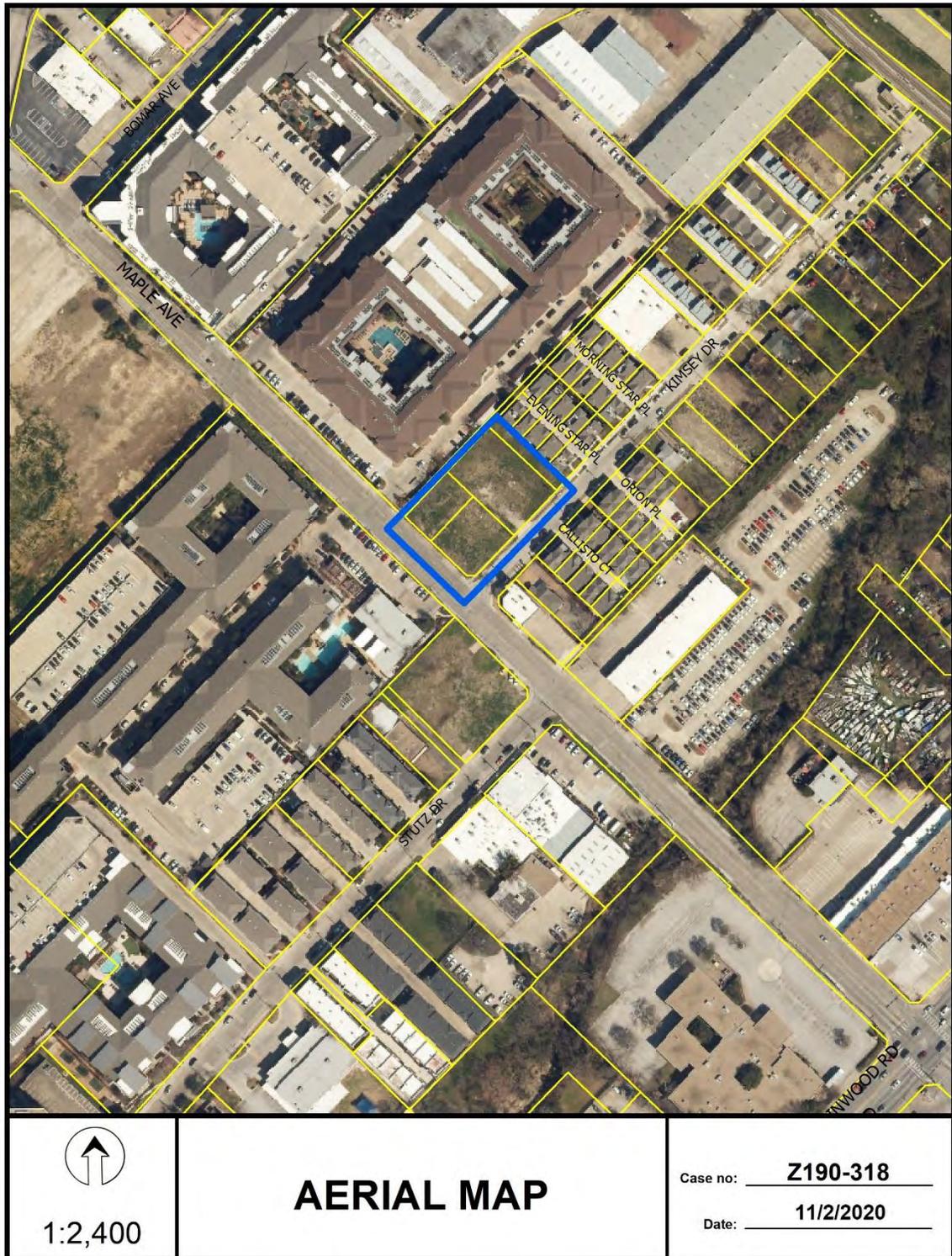
Red Bar Holdings LP

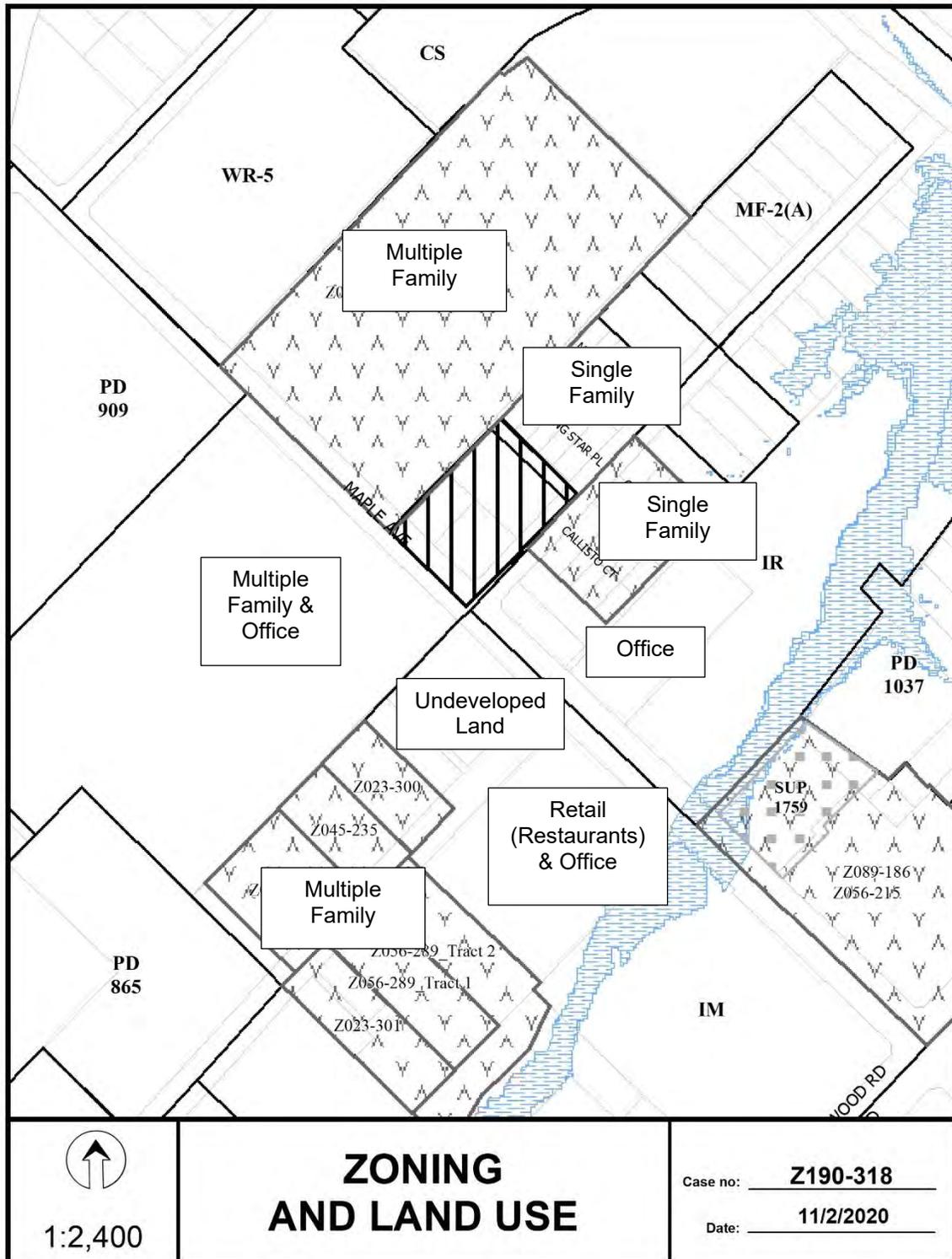
- Justin Small, President

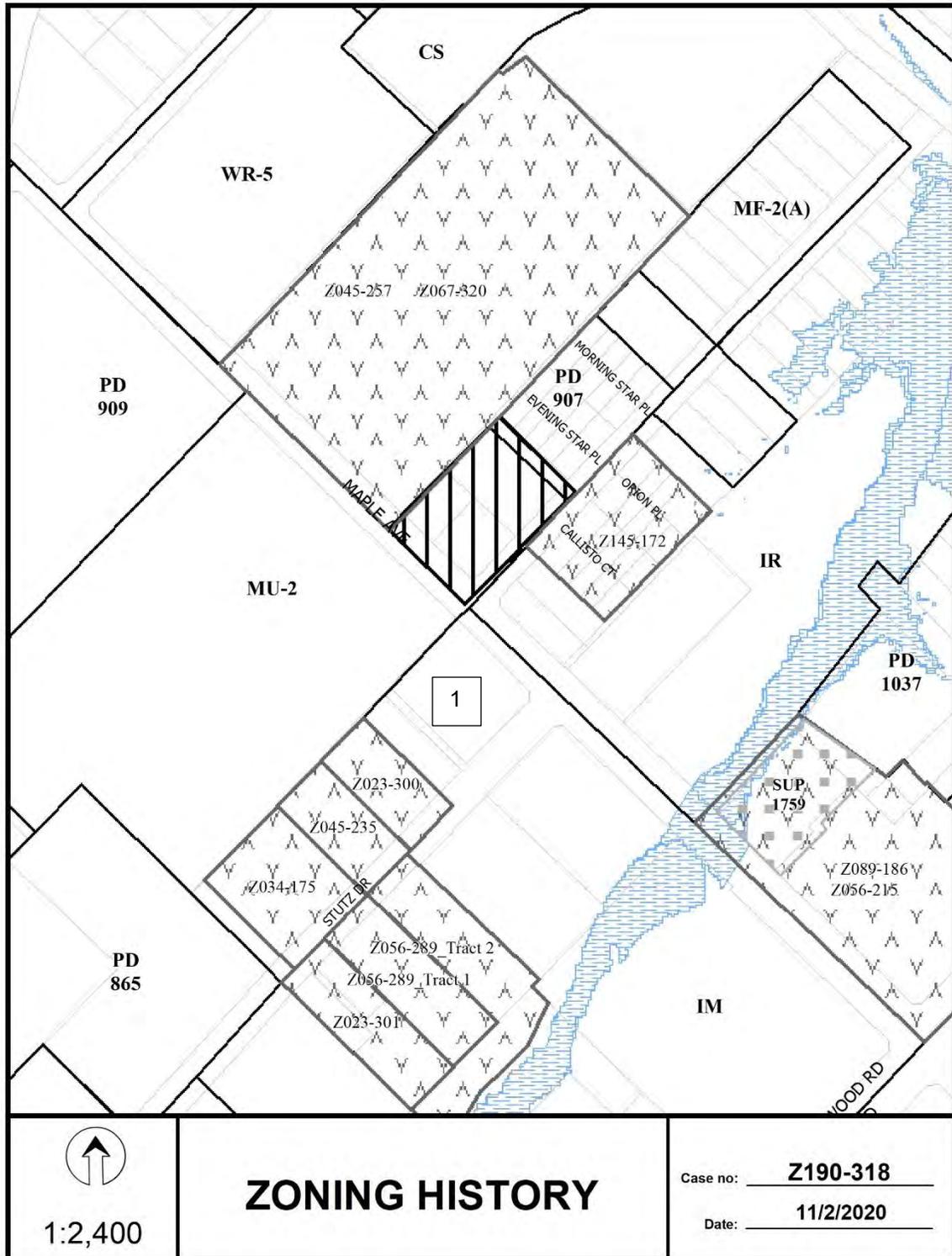
Urban Genesis

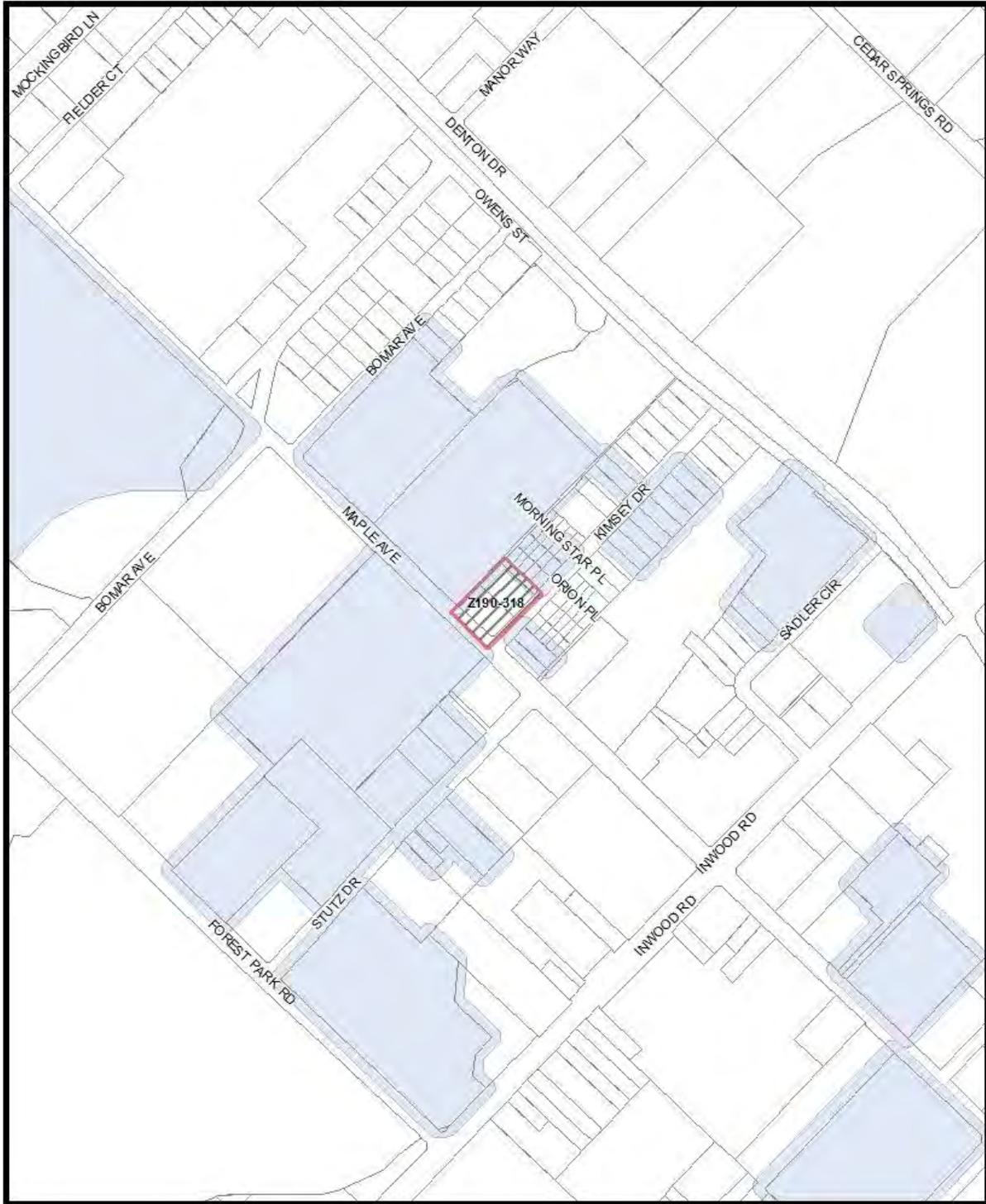
- Matt Shafiezadeh, managing member
- Rick Atwood, managing member
- Jein Gadson, member
- Pouya Feizpour, managing member
- Gahl Shalev, managing member
- Ivan Curtovic, member









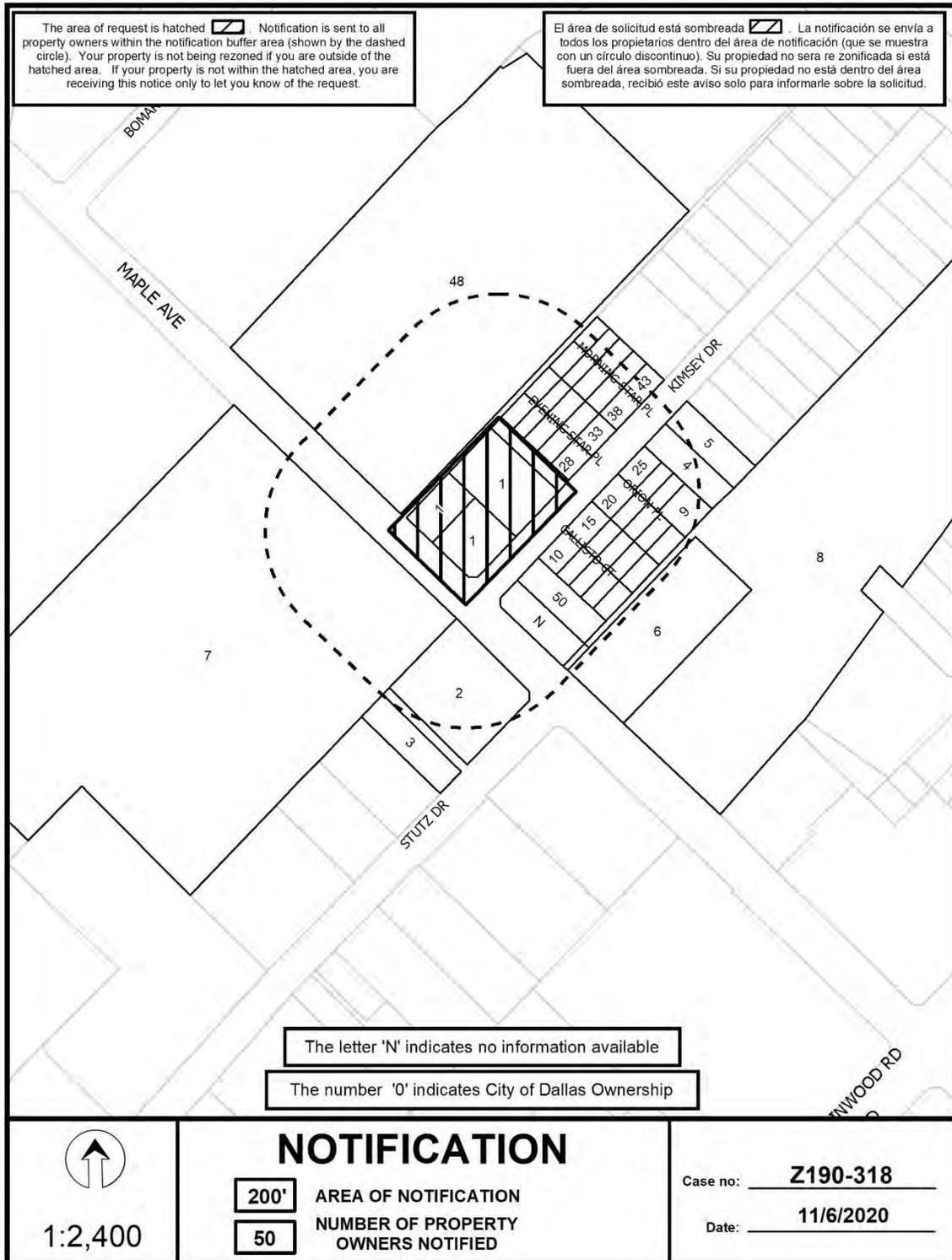


Market Value Analysis A B C D E F G H I NA

 1:4,800

Market Value Analysis

Printed Date: 11/2/2020



11/11/2020

Notification List of Property Owners***Z190-318******50 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	5908 MAPLE AVE	RED BARN HOLDINGS LP
2	5901 MAPLE AVE	KIMSEY STUTZ LLC
3	2419 STUTZ RD	SCHIEFFER PAUL W
4	2602 KIMSEY DR	PERKINS JANIE L
5	2606 KIMSEY DR	KIMSEY DEVELOPMENTS INC
6	5800 MAPLE AVE	GAS PIPE INC
7	5959 MAPLE AVE	SOUTHWESTERN GFPG LLC
8	5760 MAPLE AVE	ADLER PROPERTY CO LLP
9	5822 ORION PL	KIMSEY PLACE HOMEOWNERS
10	5877 CALLISTO CT	HEATH JAKE A
11	5859 CALLISTO CT	ORTIZ GUSTAVO
12	5841 CALLISTO CT	BRUMFIELD JASON WILLIAM &
13	5823 CALLISTO CT	TRIEU ZHANTEIN R & DAVID
14	5805 CALLISTO CT	ABIJAY JOSEPH A L & JULIET B &
15	5876 CALLISTO CT	WEBER SCOTT &
16	5858 CALLISTO CT	FAVORS BRADLEY
17	5840 CALLISTO CT	NICHOLS JERRY MARTIN &
18	5822 CALLISTO CT	ABDULRAHIM NASHILA
19	5804 CALLISTO CT	SANCLEMENTE JUAN &
20	5877 ORION PL	PHILLIPS RYAN T
21	5859 ORION PL	SIDDIQUI RIJA & DANIEL W SYED
22	5841 ORION PL	WILLIAMS DAYNA L
23	5823 ORION PL	CHANG ERIC JASON &
24	5805 ORION PL	BLAIS WILLIAM
25	5876 ORION PL	JOGIMAHANTI ARJUN &
26	5858 ORION PL	VARMA RACHNA

11/11/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	5840 ORION PL	NAVARRO CARLOS R &
28	5917 EVENING STAR PL	ROBERTS MICHAEL B
29	5933 EVENING STAR PL	FUENTES ANDREW &
30	5949 EVENING STAR PL	GREEN MATTHEW J
31	5965 EVENING STAR PL	PATEL RACHNA R &
32	5981 EVENING STAR PL	BARTMESS LEIDA A
33	5916 EVENING STAR PL	RODARTE JUSTIN AUSTIN
34	5932 EVENING STAR PL	SEBASTIAN BRIAN D
35	5948 EVENING STAR PL	REYES CARLOS III &
36	5964 EVENING STAR PL	BOBERG JOHN E
37	5980 EVENING STAR PL	FISER KY
38	5917 MORNING STAR PL	COLEMAN ELIZABETH J &
39	5933 MORNING STAR PL	GOULLIER MAXIME &
40	5949 MORNING STAR PL	MENDOZA SCOTT &
41	5965 MORNING STAR PL	MEEKER AMY M
42	5981 MORNING STAR PL	RODRIGUEZ JOSE A
43	5916 MORNING STAR PL	LASHER JAMIE E
44	5932 MORNING STAR PL	HUANG JIAXIN &
45	5948 MORNING STAR PL	MEHTA AKSHITA & BRANDON QUICK
46	5964 MORNING STAR PL	GU TONY &
47	5980 MORNING STAR PL	SHRESTHA ANU & AMIT DAHAL
48	6008 MAPLE AVE	AMLI 6008 MAPLE AVENUE LLC
49	5830 MAPLE AVE	Taxpayer at
50	2504 KIMSEY DR	Taxpayer at

FILE NUMBER: Z190-319(LG) **DATE FILED:** July 24, 2020

LOCATION: West corner of Maple Avenue and Stutz Drive

COUNCIL DISTRICT: 2 **MAPSCO:** 34 T

SIZE OF REQUEST: ±0.62 acres **CENSUS TRACT:** 4.06

REPRESENTATIVE: Rob Baldwin, Baldwin Associates

APPLICANT: Urban Genesis

OWNER: Kimsey Stutz LLC

REQUEST: An application for an MF-2(A) Multifamily District on property zoned an IM Industrial Manufacturing District.

SUMMARY: The applicant proposes to develop the site with 62 multifamily dwelling units.

STAFF RECOMMENDATION: Approval.

PRIOR CPC ACTION: On November 19, 2020, the Commissioner held this case under advisement to December 3, 2020.

BACKGROUND INFORMATION:

- The area of request is zoned an IM Industrial Manufacturing District and is currently undeveloped.
- The applicant proposes to develop the property for multifamily uses.

Zoning History: There has been one zoning change for the area of request in the past five years.

1. **Z190-318** An application for an MF-2(A) Multifamily District on property zoned an MU-2 Mixed Use District and an IR Industrial Research (Held under advisement at the November 19, 2020 CPC Meeting).

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing/Proposed ROW
Maple Avenue	Community Collector	60 feet/60 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS:

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

ECONOMIC ELEMENT

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

URBAN DESIGN

GOAL 5.3 ESTABLISH WALK-TO CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

Land Use:

	Zoning	Land Use(s)
Site	IM Industrial Manufacturing District	Undeveloped Land
Northwest & West	MU-2 Mixed Use District	Multiple Family
North	MU-2 Mixed Use District IR Industrial Research District	Undeveloped Land & Multiple Family
Northeast & East	IR Industrial Research District	Office
Southeast & South	IM Industrial Manufacturing District	Retail (Restaurants) & Office
Southwest	IM Industrial Manufacturing District MU-2 Mixed Use District	Office & Multiple Family

Land Use Compatibility:

The site is zoned an IM Industrial Manufacturing District and is currently undeveloped. Property zoned IM Industrial Manufacturing District is also located south, southeast, and southwest of the area of request, and consists of office and retail uses.

The property located to the north, northwest, west and southwest of the area of request is zoned MU-2 Mixed Use District and consists of multiple family uses. Property north of the area of request is also zoned IR Industrial Research and is undeveloped land. Property to the east and northeast of the area of request is also zoned IR Industrial Research and consists of office uses.

The MF-2(A) District provides for Mixed Income Housing bonuses by right. If the applicant chooses to provide a mixed income housing project, this would be determined before filing for a building permit. For MVA Category “E” properties, the applicant has three different options for set aside minimums for percentage of total residential units reserved in each income band. A set aside of a minimum of 5% of the total units at income band 2 would allow for a maximum height of 51 feet and 85% lot coverage for residential uses. A set aside of a minimum of 10% of the total units at income band 2 would allow for a maximum height of 66 feet and 80% lot coverage for residential uses. A set aside of a minimum of 10% of the total units at income band 2 and 5% of the total units at income band 1 provides a maximum height of 85 feet and 85% lot coverage for residential uses.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	Primary Uses
	Front	Side/Rear					
IM Industrial Manufacturing District – existing	15’ adj. to expressway and thoroughfares 0’ in all others	30’ adjacent to residential OTHER: No Min.	2.0 FAR overall 0.75 office/ret ail 0.5 retail	110’	80%	Proximity Slope Visual	Heavy Industrial Manufacturing
MF-2 Multifamily District -proposed	15’	Single family: no min Duplex: 5 feet / 10 feet Other: 10 feet / 15 feet When other uses back MF and commercial: 10 feet	No Max.	54 feet 4 stories RPS applies for all portions above 26 feet + 12 feet encroachm ents into RPS for certain elements	60% residential; 50% non- residential	Mixed-income bonuses Spacing for single family uses	Multifamily

Parking:

Pursuant to the Dallas Development Code, off-street and loading required parking must be provided in accordance with Division 51A-4.200 for the specific off-street parking and loading requirements for each use. A multifamily development is required to have one space per bedroom with a minimum of one space per dwelling unit. An additional one-quarter space per dwelling unit must be provided for guest parking if required parking is restricted to resident parking. The applicant is proposing 62 dwelling units which would require at least 62 parking spaces for residents and 16 parking spaces for guests, for a total of 78 parking spaces. If the dwelling units consist of more than one bedroom, the amount of off-street parking will increase accordingly.

Landscaping:

Landscaping is required per Article X of the Dallas Development Code.

Market Value Analysis

Market Value Analysis (MVA) is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to target intervention strategies more precisely in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the

Z190-319(LG)

strongest markets to orange, representing the weakest markets. A portion of the area of request site is within Category "E."

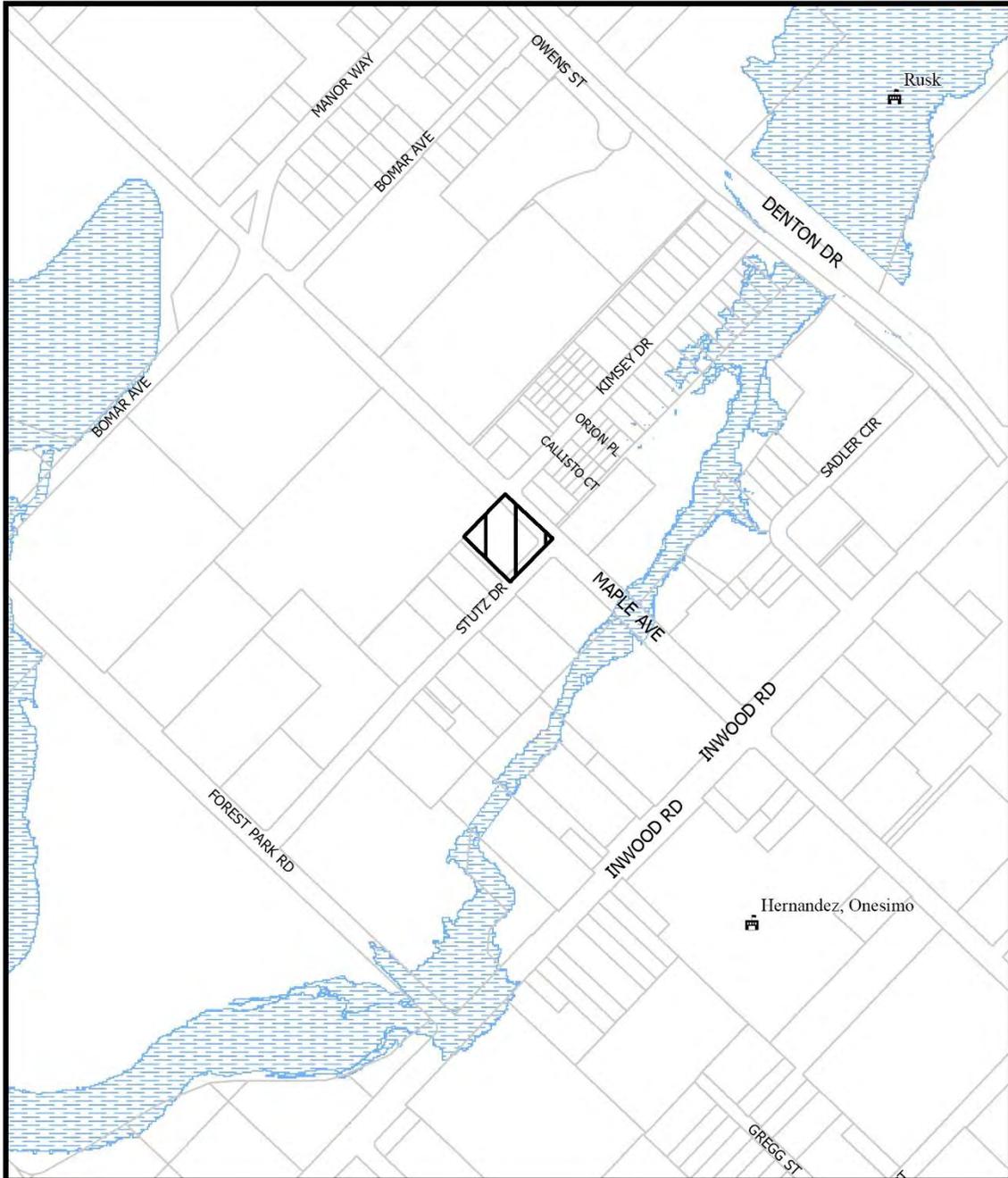
List of Officers

Kimley Stutz LLC

- Justin Small, President

Urban Genesis:

- Matt Shafiezadeh, managing member
- Rick Atwood, managing member
- Jein Gadson, member
- Pouya Feizpour, managing member
- Gahl Shalev, managing member
- Ivan Curtovic, member



1:4,800

VICINITY MAP

Case no: Z190-319

Date: 11/2/2020



1:1,200

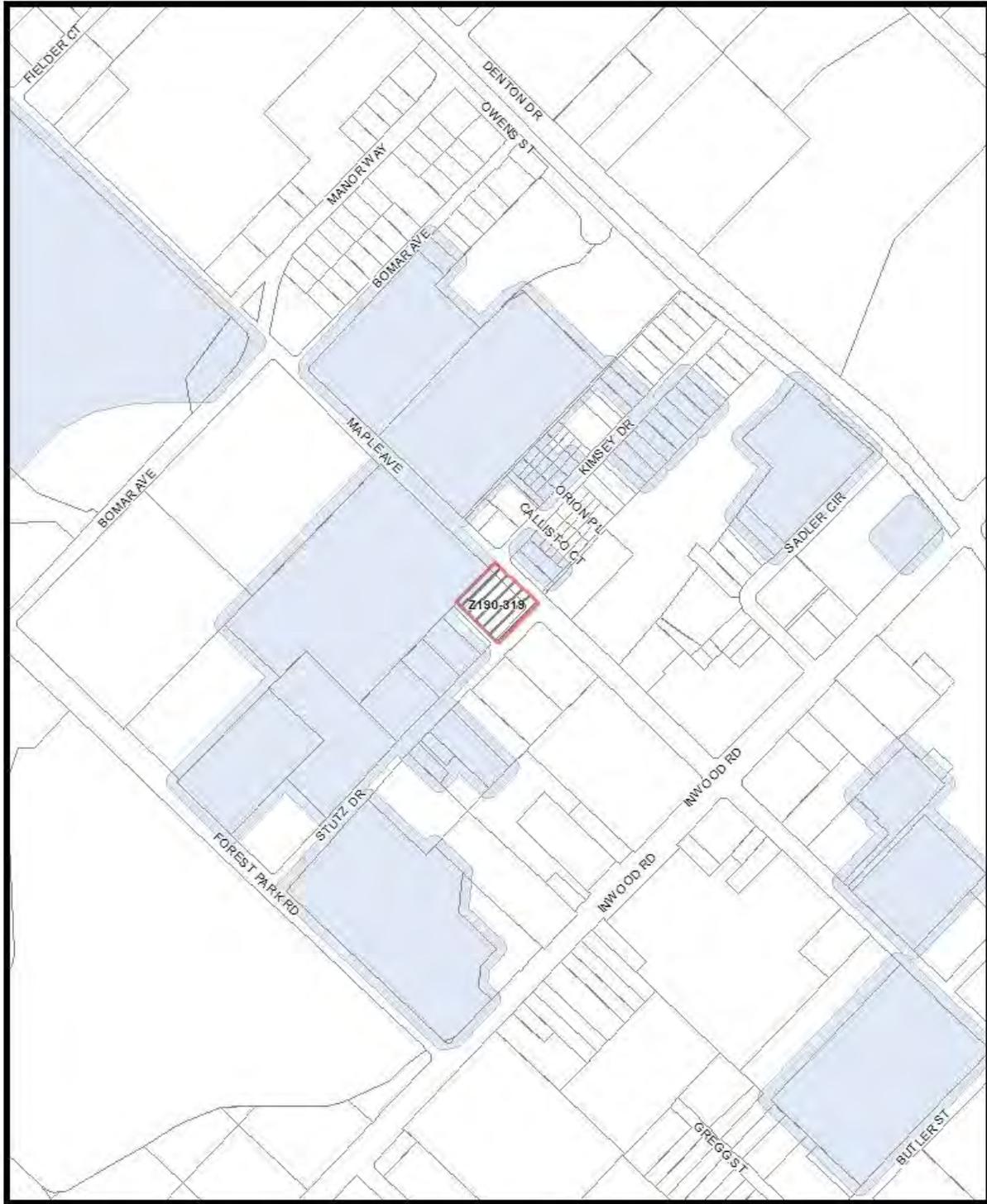
AERIAL MAP

Case no: Z190-319

Date: 11/2/2020







MVACluster A B C D E F G H I NA

 1:4,800

Market Value Analysis

Printed Date: 11/2/2020

11/02/2020

Notification List of Property Owners***Z190-319******41 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	5901 MAPLE AVE	KIMSEY STUTZ LLC
2	2419 STUTZ RD	SCHIEFFER PAUL W
3	2402 STUTZ RD	VICEROY INWOOD LP
4	5855 MAPLE AVE	STARK OLLIE VERNON & HELEN
5	5800 MAPLE AVE	GAS PIPE INC
6	5908 MAPLE AVE	RED BARN HOLDINGS LP
7	5959 MAPLE AVE	SOUTHWESTERN GFPG LLC
8	2424 STUTZ RD	REED LISA A
9	5760 MAPLE AVE	ADLER PROPERTY CO LLP
10	5877 CALLISTO CT	HEATH JAKE A
11	5859 CALLISTO CT	ORTIZ GUSTAVO
12	5841 CALLISTO CT	BRUMFIELD JASON WILLIAM &
13	5823 CALLISTO CT	TRIEU ZHANTEIN R & DAVID
14	5805 CALLISTO CT	ABIJAY JOSEPH A L & JULIET B &
15	5876 CALLISTO CT	WEBER SCOTT &
16	5858 CALLISTO CT	FAVORS BRADLEY
17	5840 CALLISTO CT	NICHOLS JERRY MARTIN &
18	5822 CALLISTO CT	ABDULRAHIM NASHILA
19	5804 CALLISTO CT	SANCLEMENTE JUAN &
20	6008 MAPLE AVE	AMLI 6008 MAPLE AVENUE LLC
21	2415 STUTZ RD	SINGH GURSHAWN
22	2415 STUTZ RD	SERIES 2415 STUTZ
23	2415 STUTZ RD	SORRELLS ROBERT PRATT &
24	2415 STUTZ RD	PRATHIPATI VENKATESWARAMMA V &
25	2415 STUTZ RD	VU PHUONGANH &
26	2415 STUTZ RD	CHOE JOEL

Z190-319(LG)

11/02/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2415 STUTZ RD	YAU BERNICE N
28	2415 STUTZ RD	AMIN A HAFIZ & HALIMA
29	2415 STUTZ RD	STAMM MARY C &
30	2415 STUTZ RD	DELACRUZ AUDREY L
31	2403 STUTZ RD	WILLIAMS CARMEN M
32	2403 STUTZ RD	BLANSCET MELISSA C & DWAIN
33	2403 STUTZ RD	PRABHAKAR KAVITHA
34	2403 STUTZ RD	MISRA SHIVANI
35	2403 STUTZ RD	CHEN HENRY W
36	2407 STUTZ RD	GOMEZ JOSE V
37	2407 STUTZ RD	LIN PEIYI
38	2407 STUTZ RD	DAWSON FARMS LLC
39	2407 STUTZ RD	MERAZ ANGEL A
40	2407 STUTZ RD	KHANNA KRISHAN MOHAN & PREETH
41	2407 STUTZ RD	LIAO IMEI

FILE NUMBER: Z190-292(CT) **DATE FILED:** June 26, 2020
LOCATION: South line of Singleton Boulevard, east of Shadrack Drive
COUNCIL DISTRICT: 6 **MAPSCO:** 43 P
SIZE OF REQUEST: Approx. 5.909 acres. **CENSUS TRACT:** 105.00

REPRESENTATIVE: Dallas Cothrum, MASTERPLAN

OWNER/APPLICANT: Gary Bartels, Waste Connections

REQUEST: An application for a Specific Use Permit for a refuse transfer station on property zoned an IM Industrial Manufacturing District.

SUMMARY: The purpose of the request is to allow for non-hazardous waste collection, recycling and transfer on the site. [Waste Connections Lone Star]

STAFF RECOMMENDATION: Approval for a five-year period, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The area of request is zoned an IM Industrial Manufacturing District and is developed with three buildings for the operation of an Industrial (Inside) use.
- The current Certificate of Occupancy was issued on April 7, 2015 for Industrial (Inside) [Progressive Waste Conditions.]
- The applicant seeks a Specific Use Permit for a refuse transfer station on the subject site.
- A refuse transfer station is defined as a privately owned facility for the separation, transfer, or packing of solid waste materials from smaller collecting vehicles to larger transport vehicles.

Zoning History: There have been no zoning changes in the vicinity during the last five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
Singleton Boulevard	Major Arterial	100 feet
Shadrack Drive	Local	100 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

STAFF ANALYSIS:

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

ENVIRONMENT ELEMENT

GOAL 6.6 INCREASE RECYCLING AND CONSERVATION OF RENEWABLE RESOURCES

Policy 6.6.1: Increase recycling and composting

The refuse transfer station contributes to the recycling of waste materials by collecting waste and transferring it at the subject site and then transporting the materials to other facilities to be converted into new materials such as biofuels.

LAND USE PLAN

WEST DALLAS COMPREHENSIVE LAND USE STUDY

The subject site is located within the Singleton Industrial Corridor planning district of the West Dallas Comprehensive Land Use Study adopted in March 1999.

3.2 Land Use & Zoning by Subarea

Subarea 4: Singleton Industrial Corridor

The plan establishes an area designated by Singleton Boulevard to the north, Westmoreland Road to the east, T&P Railroad to the south and Chalk Hill Road to the west. At the time of the study, the area consisted mainly of industrial uses. The future land use recommendation for the subarea indicates that the area in conformance with the zoning district regulations except for a few nonconforming single family uses. No change was recommended.

Land Use:

	Zoning	Land Use
Site	IM Industrial Manufacturing	Industrial (Inside)
North	CR Community Retail	Auto Service Center, Undeveloped
East	IM Industrial Manufacturing	Undeveloped Land, Industrial Inside Auto Service Center
South	IM Industrial Manufacturing with SUP No. 98 for a Quarry	Contractors Maintenance Yard
West	IM Industrial Manufacturing	Vehicle or Engine Repair or Maintenance

Land Use Compatibility:

The area of request is zoned an IM Industrial Manufacturing District and is currently developed with three existing buildings that are currently used as a base for the refuse collection trucks. Fleet management, truck maintenance, and container storage and repair are also conducted on the site. The current Certificate of Occupancy is for an Industrial (Inside) use.

The applicant seeks a Specific Use Permit to allow for the development and operation of a refuse transfer station on the property. The Dallas Development Code, as amended, defines a refuse transfer station as a privately-owned facility for the separation, transfer, or packing of solid waste materials from smaller collecting vehicles to larger transport vehicles. The applicant seeks a permanent time period. Staff recommends a five-year period to allow for reassessment of the use in the near future.

The prevailing character of the area surrounding the property is industrial. The properties to the west are comprised of vehicle or engine repair or maintenance uses. The properties to the north, across Singleton Boulevard, are zoned a CR Community Retail District and are comprised of an auto service use and undeveloped lots. East of the property are Industrial (Inside), auto service center uses, and a machine or welding shop used. South of the property is the railroad line across the railroad line the zoning remains IM Industrial Manufacturing with Specific Use Permit No. 98 for a quarry.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

It is staff's opinion that the refuse transfer station use is compatible with the surrounding properties containing primarily industrial uses, and consistent with the IM Industrial Manufacturing District.

Market Value Analysis

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The

analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The area of request Site is not within an identifiable MVA Category; however, it is in proximity to an "I" MVA Cluster to the west and north across Singleton Boulevard.

Parking:

The Dallas Development Code, as amended, requires off-street parking for the requested use at one space for each 1,000 square feet of site area, exclusive of the parking area. The parking requirement for the site is 41 spaces. The site plan depicts 44 off-street parking spaces.

Landscaping:

Landscaping must be provided in accordance with Article X, as amended.

Z190-292(CT)

List of Partners

Waste Connections Lone Star, Inc. (WCLSI)

Worthing F. Jackman, Sole Director

EXISTING SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is a refuse transfer station.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.

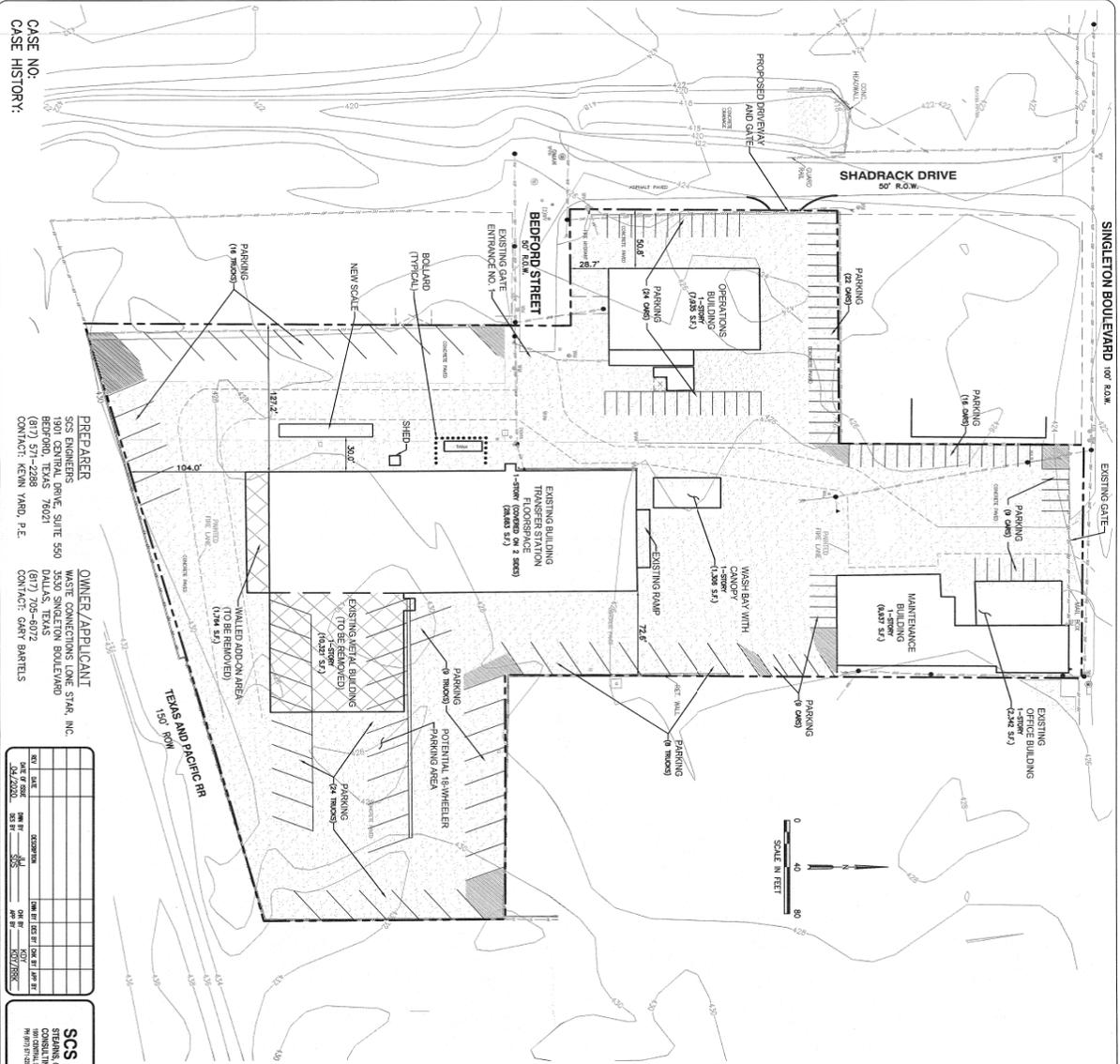
Staff's Recommendation

- | |
|---|
| 3. <u>TIME LIMIT</u> : This specific use permit expires on (five years from the passage of this ordinance). |
|---|

Applicant's Request

- | |
|---|
| 3. <u>TIME LIMIT</u> : This specific use permit has no expiration date. |
|---|
4. HOURS OF OPERATION: The refuse transfer station may operate 24 hours, seven days a week.
 5. PERMIT AND LICENSE: The operator must obtain a permit for the Texas Commission of Environmental Quality (TCEQ). The operator must employ a transfer station manager property licensed by the TCEQ.
 6. MAINTENANCE: The entire Property must be properly maintained in a state of good repair and neat appearance.
 7. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas

EXISTING SITE PLAN



CASE NO.
CASE HISTORY:

PREPARED BY:
SCS ENGINEERS
1901 CENTRAL DRIVE, SUITE 550
BEDFORD, TEXAS 76021
CONTACT: KEVIN YARD, P.E.

OWNER/APPLICANT:
WASTE CONNECTIONS LOGS STRA, INC.
3530 SINGLETON BOULEVARD
DALLAS, TEXAS
CONTACT: GARY BARTIS

DATE OF ASSESSMENT	DATE OF ASSESSMENT	DATE OF ASSESSMENT	DATE OF ASSESSMENT
04/22/2021	08/11/2021	07/11/2021	07/27/2022

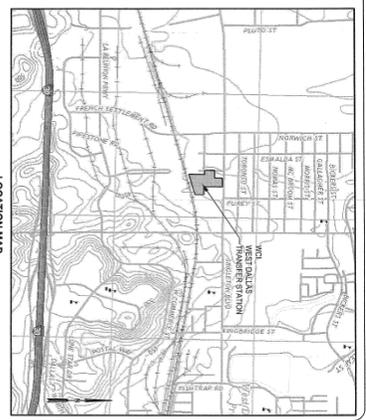
SCS ENGINEERS
CONSULTING ENGINEERS
1901 CENTRAL DRIVE, SUITE 550
BEDFORD, TEXAS 76021
PH: 817-528-8428 FAX: 817-528-8429

FOR PERMITTING PURPOSES ONLY

WASTE CONNECTIONS, INC.
3530 SINGLETON BOULEVARD
DALLAS, TEXAS
WEST DALLAS TRANSFER STATION
SITE PLAN

DATE: 08/22/22

SCALE: 1" = 40'

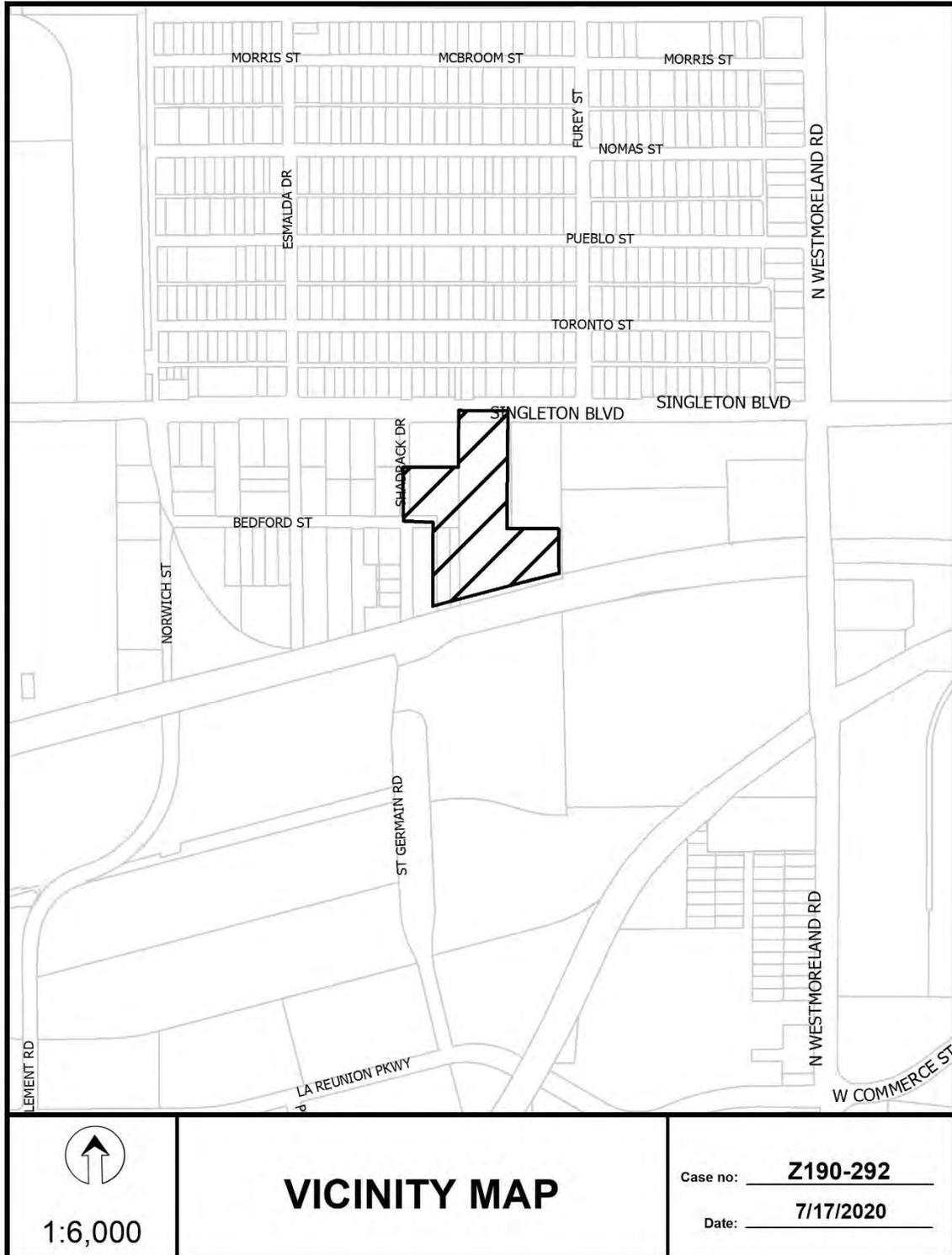


- NOTES**
1. PROPERTY BOUNDARY AND SITE INFORMATION ARE FROM SURVEY, PERFORMED BY TEXAS HERITAGE SURVEYING, L.L.C. DATED 05/15/2018.
 2. EXISTING GRASSES PROVIDED FROM INFORMATION PROVIDED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG), DATED 2007.
 3. PROPERTY ZONING: M - INDUSTRIAL MANUFACTURING.
 4. 15'-FOOT SETBACK IN FRONT OF PROPERTY.
 5. 15'-FOOT SIDEYARD SETBACK ON SOUTH.

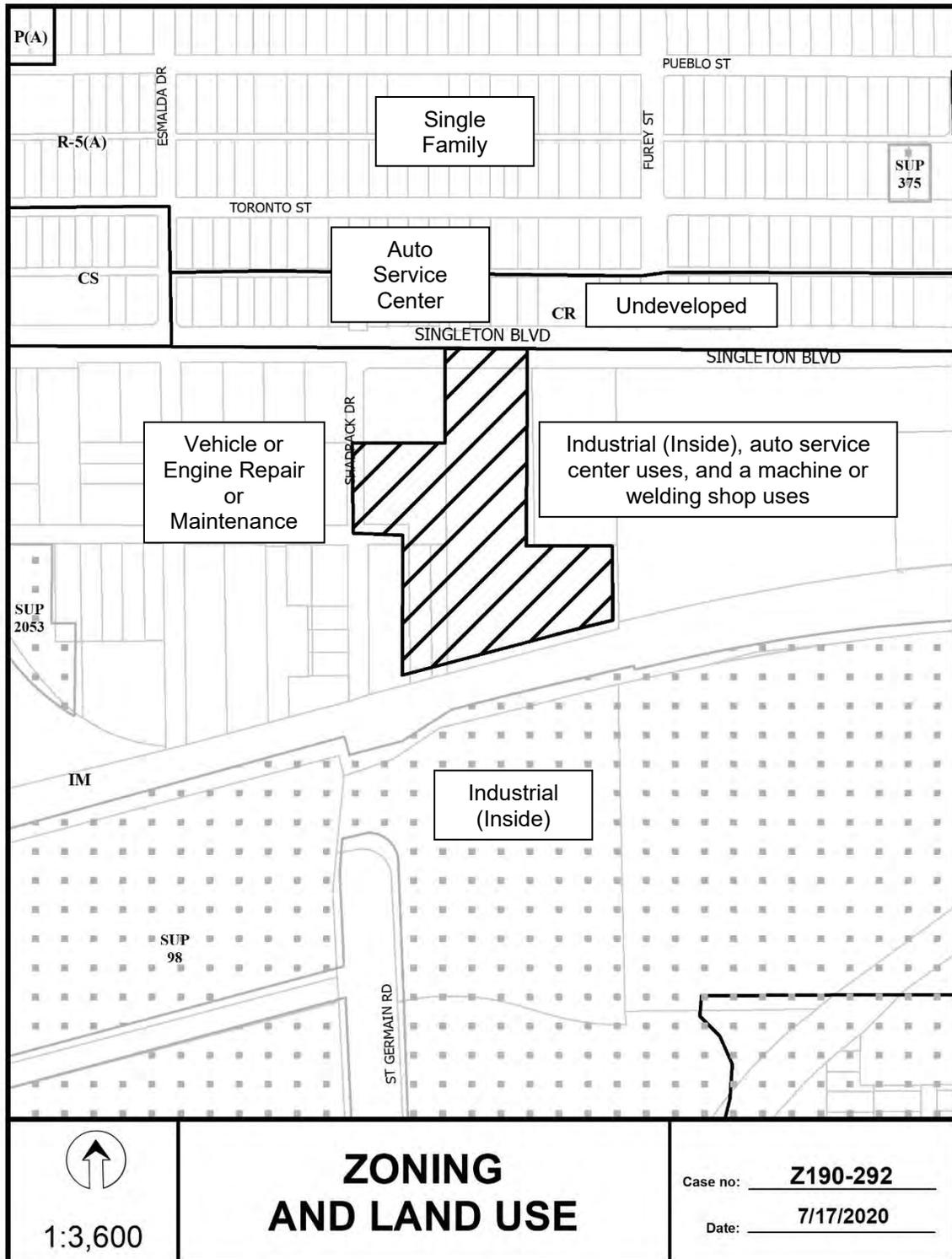
LEGEND

- PROPERTY BOUNDARY (AREA = 5.81 AC.)
- - - - - PARTIAL BOUNDARY
- ▨ DISTINGUISH CONTIGUOUS STRUCTURE TO BE REMOVED
- RGN ROD FOUND
- RGN ROD SET
- RGN PIPE FOUND
- SUMP/SEWER MANHOLE COVER
- SUMP/SEWER MANHOLE COVER
- SUMP/SEWER MANHOLE COVER
- LIGHT POLE
- POWER POLE
- AIR CONDITIONING
- FRIE HIRSHANT
- ELECTRIC METER
- WATER METER
- BROW VALVE
- GAS METER
- GAS METER
- BRICK COLUMN
- CONTROL BUILDING
- ASPHALT DRIVE
- ASPHALT DRIVE
- WOOD STAKE (CENTER POST)
- WIRE FENCE
- RGN FENCE
- PERE FENCE
- COVERED PORCH, DECK OR OVERSET
- CONCRETE PAVING
- OVERHEAD ELECTRIC SERVICE OVERHEAD POWER LINE SWANNEY STREET LINE

Z190-292







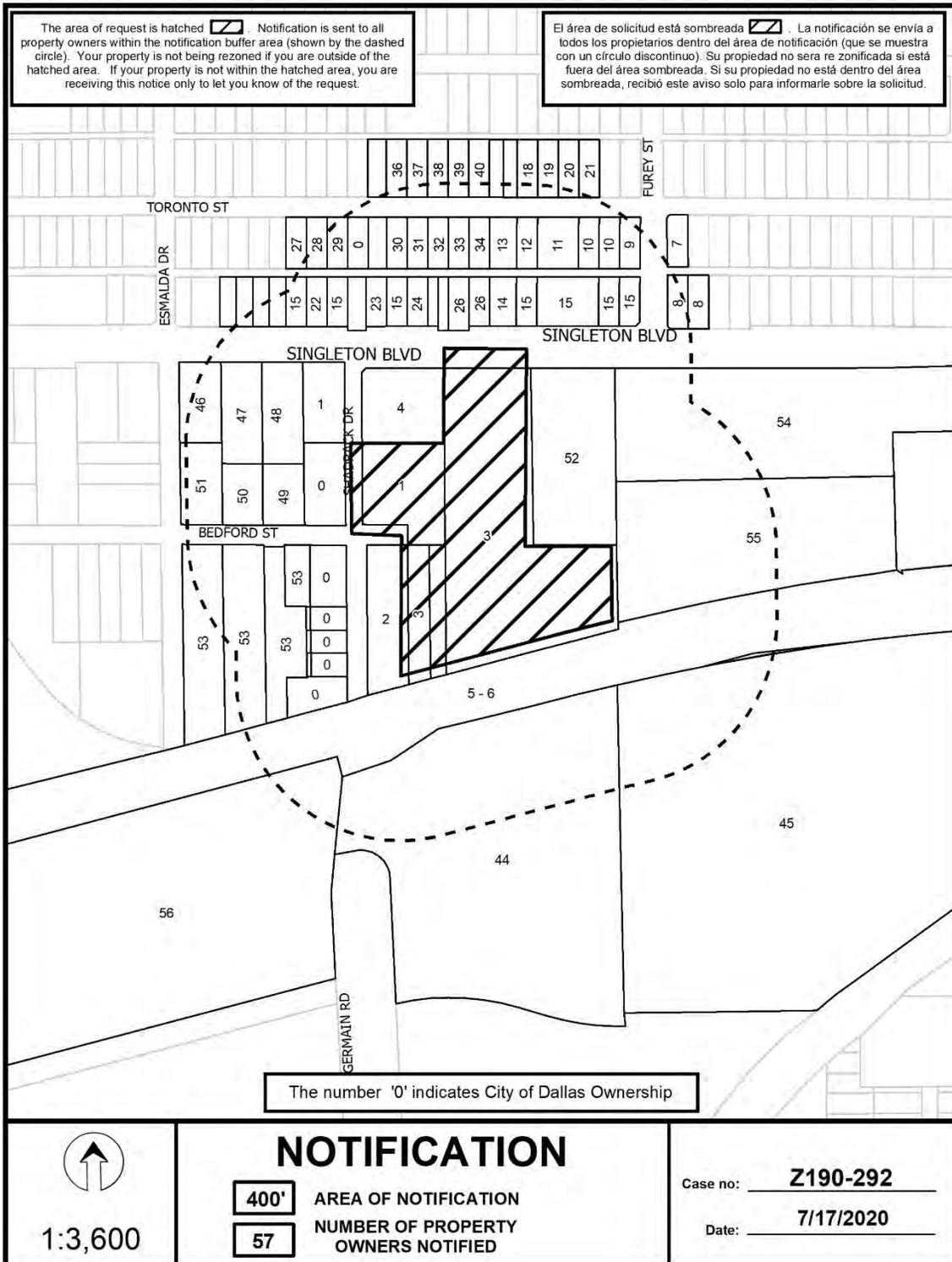


Market Value Analysis A B C D E F G H I NA

1:6,000

Market Value Analysis

Printed Date: 7/17/2020



07/17/2020

Notification List of Property Owners***Z190-292******57 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	3602 SINGLETON BLVD	PROGRESSIVE WASTE SOLUTIONS OF TX INC
2	3546 BEDFORD ST	WILCHES MARCELINA ET AL
3	3538 BEDFORD ST	PROGRESSICE WASTE SOLUTIONS OF TX INC
4	3538 SINGLETON BLVD	IBE RAYMOND OKAY
5	4401 LINFIELD RD	ST LOUIS S W RAILWAY CO
6	9999 NO NAME ST	UNION PACIFIC RR CO
7	3434 TORONTO ST	HAYDEN ADELL V EST OF
8	3435 SINGLETON BLVD	MERAZ LEONEL MARTINEZ
9	3500 TORONTO ST	GREATER ST JOSEPH BAPT CH
10	3506 TORONTO ST	GREATER ST JOSEPH BAPTIST
11	3512 TORONTO ST	ROSTRO SERGIO
12	3522 TORONTO ST	HILL RITA
13	3528 TORONTO ST	IBARRA RICARDO & MARIA
14	3529 SINGLETON BLVD	HMK LTD PS
15	3523 SINGLETON BLVD	HMK LTD
16	3525 TORONTO ST	EWUNES REBECCA COLE
17	3529 TORONTO ST	BANDA ELIDIO & AGRIPINA
18	3519 TORONTO ST	FIELD JAMES MORRIS
19	3517 TORONTO ST	CHATMAN CARRIE BEATRICE C
20	3513 TORONTO ST	WATSON MARY ALICE
21	3511 TORONTO ST	HERNANDEZ JOSE S
22	3605 SINGLETON BLVD	HINOJOSA BRENDA
23	3553 SINGLETON BLVD	ELSE ICY MAE
24	3545 SINGLETON BLVD	SHANKLE JAMES W
25	3537 SINGLETON BLVD	SHANKLE JAMES W
26	3541 SINGLETON BLVD	SHANKLE JAMES W

Z190-292(CT)

07/17/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	3606 TORONTO ST	DENNIS SHARON &
28	3602 TORONTO ST	SORTO MATIAS
29	3560 TORONTO ST	FUENTES DEYBI L &
30	3548 TORONTO ST	STAPLES IKE
31	3544 TORONTO ST	HOLMES ANNIE
32	3540 TORONTO ST	CORIA RITA
33	3536 TORONTO ST	GIPSON ALVERTRICIA
34	3532 TORONTO ST	SIMMONS SYLVIA G
35	3553 TORONTO ST	ALMANZA ARTURO & ISAVEL J
36	3549 TORONTO ST	WHITE RICKEY D
37	3545 TORONTO ST	VO THANH HUONG
38	3541 TORONTO ST	CRUZ ALBA M PINEDA
39	3537 TORONTO ST	MINGER RUBY NELL
40	3533 TORONTO ST	CARDENAS JOSE G
41	3625 SINGLETON BLVD	AMINI RAMIN
42	3613 SINGLETON BLVD	MARCELO BELEM B
43	3615 SINGLETON BLVD	GARCIA PABLO
44	2310 ST GERMAIN RD	DDREH LLC
45	2757 N WESTMORELAND RD	DALLAS LITE AND BARRICADE INC
46	3622 SINGLETON BLVD	GARCIA JUAN D
47	3616 SINGLETON BLVD	MCCORMICK JIMMIE &
48	3610 SINGLETON BLVD	REYNA REBECCA DELEON
49	3609 BEDFORD ST	MIELAMOWICZ MATT
50	3623 BEDFORD ST	RODRIGUEZ JOSE M
51	2804 ESMALDA DR	TRAN BINH M &
52	3506 SINGLETON BLVD	SAPO REAL ESTATE LLC SINGLETON
53	3630 BEDFORD ST	NATHAL RODRIGUEZ CORP
54	3320 SINGLETON BLVD	QUEMETCO METALS LTD INC
55	3420 SINGLETON BLVD	KING NATHANAEL MICHAEL
56	2322 FRENCH SETTLEMENT RD	TURNPIKE SUB LLC
57	2727 N WESTMORELAND RD	DALLAS DLB PROPERTY LLC

FILE NUMBER: Z190-334(JK)

DATE FILED: August 12, 2020

LOCATION: North of Scyene Road, between North Prairie Creek Road and Kingsford Avenue

COUNCIL DISTRICT: 7

MAPSCO 49 S

SIZE OF REQUEST: ± 0.3497 acres

CENSUS TRACT: 121.00

REPRESENTATIVE: Audra Buckley

APPLICANT: Placid Development Group, LLC

OWNER: James Carter

REQUEST: An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District.

SUMMARY: The applicant proposes to allow for the development of the property as parking for retail uses to the south. The applicant has volunteered deed restrictions to prohibit various uses as well as to require screening requirements, and no structures along any residential adjacency.

STAFF RECOMMENDATION: Denial.

BACKGROUND INFORMATION:

- The request site is currently undeveloped land zoned an R-7.5(A) Single Family District.
- The purpose of this request is to increase the available parking to accommodate development of the property to the south as a general merchandise or food store and restaurants.
- General merchandise or food store 3,500 square feet or less is defined as a retail store with a floor area of 3,500 square feet or less for the sale of general merchandise or food. Typical general merchandise includes clothing and other apparel, equipment for hobbies and sports, gifts, flowers and household plants, dry goods, toys, furniture, antiques, books and stationery, pets, drugs, auto parts and accessories, and similar consumer goods. The term “food store” includes a grocery store, delicatessen, convenience store without drive-through, and specialty foods store.
- Restaurant without drive-or drive through service is defined as an establishment principally for the sale and consumption of food on the premises.
- The applicant is volunteering deed restrictions to prohibit various uses as well as to require screening requirements, and no structures along any residential adjacency.

Zoning History: There has been three zoning change requests in the area in the last five years.

1. **Z190-317** An application for a CR Community Retail District on property zoned an R-7.5(A) Single Family District (Scheduled for the December 3, 2020 City Plan Commission meeting).
2. **Z189-120** On March 21, 2019, the City Plan Commission denied a request for an R-7.5(A) Single Family District on property zoned a CR Community Retail District.
3. **Z156-277:** On October 11, 2017, the City Council approved a CR Community Retail District subject to deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing/Proposed ROW
Scyene Road	Principal Arterial	100 feet/100 feet
North Prairie Creek Road	Principal Arterial	100 feet/100 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department reviewed the proposed zoning and determined it will not have a negative impact on the existing street system.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

ECONOMIC ELEMENT

Goal 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions

STAFF ANALYSIS:

Surrounding Land Uses:

	Zoning	Land Use
Site	R-7.5(A)	Undeveloped
North	R-7.5 (A)	Single Family
South	CR with Deed Restrictions	Undeveloped
East	R-7.5(A)	Single Family
West	CR-D	Vehicle or engine repair and maintenance

Land Use Compatibility:

The property is currently undeveloped and is adjacent to residential uses. The property abuts two principal arterials. There is a local street that is adjacent to the site’s eastern property line.

The applicant’s request for a CR Community Retail District is to allow for development of a parking lot serving a community retail development to the south of the requested to site. These commercial properties abut residential districts but limit their impact on these communities through deed restrictions and screening requirements – minimizing the possible intrusion on these residential (or less intensive) communities.

The applicant also proposed deed restrictions that are similar to the property to the south. The deed restrictions will prohibit certain main uses from being developed on site as well as prohibited access onto Kingsford Road. A dividing wall must be built directly north of the property, and the property is only surface parking with no structures allowed except a dumpster and a dumpster enclosure.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
Proposed							
R-7.5(A) - Existing Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	30'	45%		Single family
Existing							
CR - Proposed Community retail	15'	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & personal service, office

Landscaping: Landscaping will be in accordance with Article X, as amended.

Parking:

The proposed development to the south will be a general merchandise or food store and two restaurants totaling 4,650 square feet of floor area. The total square foot of floor area for each restaurant will be approximately 700 square foot with 3,250 square foot of floor area for the general merchandise or food store.

The required off street parking for a restaurant is one parking space per 100 square feet. The 1,400 square feet for the restaurants, will require 14 parking spaces. The required off street parking for a general merchandise or food store 3,500 square feet or less is one space per 200 square feet. The general merchandise or food store is 3,250 square feet, with 17 parking spaces required. The required off street parking for a motor vehicle fueling station is 2 parking spaces. The site satisfies this requirement. Based on staff’s calculations, the applicant is required to have 33 parking spaces.

The applicant proposed that the subject site will be used for excess parking for the general merchandise or food store and restaurant uses to the south. Parking on the lot to the south meets the parking requirement for the uses on that site. The applicant indicated the request to provide excess parking stems from the restaurant operators indicating additional parking is necessary for optimal operations.

A parking demand analysis justifying the parking demand for the proposed site may justify the applicant's request. However, overparking can lead to nuisances that are not desirable since residential areas surround the request area. Additional parking could impact the drainage and impervious surface. Also, the parking can impact the adjacent road circulation with ingress and egress for the front and rear of the property.

Staff recommends denial of the request due to the excessive amount of parking requested by the applicant which exceeds the required number of spaces for the proposed uses.

Market Value Analysis

Market Value Analysis (MVA) is a tool to aid residents and policymakers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to target intervention strategies more precisely in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). The area of request has a portion of the site located in Category "F", and immediately adjacent to Category "H" properties. Properties to the north, east, west, and southwest of the site are also within Category "H". Properties within Category "G" are located further west of the proposed site. There are also properties within Category "H" south and southeast of the area of request.

Z190-334(JK)

List of Officers

Placid Development Group, LLC

Seth Williams, Managing Member

Kelly Hampton, Managing Member

Volunteered Deed Restrictions

II.

The Owner does hereby impress all of the Property with the following deed restrictions ("restrictions"), to wit:

The following uses are prohibited:

- (1) Institutional and community services uses.
 - Cemetery or mausoleum.
 - College, university, or seminary
 - Open-enrollment charter school or private school
 - Public school other than open-enrollment charter school
- (2) Lodging uses.
 - None permitted
- (3) Residential uses.
 - College dormitory, fraternity, or sorority house.
- (4) Retail and personal services uses.
 - Business school
 - Car wash
 - Commercial amusement (outside)
 - Commercial parking lot or garage
 - Mortuary, funeral home or commercial wedding chapel
- (5) Transportation uses.
 - Transit passenger shelter.
 - Transit passenger station or transfer center.
- (6) Utility and public service uses.
 - Commercial radio and television transmitting station.
 - Electrical substation.
 - Local utilities.
 - Police or fire station.
 - Post office.
 - Radio, television, or microwave tower.
 - Tower/antenna for cellular communication.
 - Utility or government installation other than listed.
- (7) Wholesale, distribution, and storage uses.
 - Mini-warehouse.
 - Recycling buy-back center.
 - Recycling collection center.

Z190-334(JK)

- Recycling drop-off container.
- Recycling drop-off for special occasion collection.

Additional Conditions:

- (1) Dividing wall must be built at north side of property if property directly north is zoned residential.
- (2) A minimum 30-foot landscape buffer is required on the north side of the property if property directly north is zoned residential.
- (3) On east side of said property, no curb cuts or access to property if property to the east is zoned residential.
- (4) Dumpster enclosure is permitted outside of the minimum 30-foot landscape buffer. With the exception of the dividing wall, no other structures are permitted.
- (5) Surface parking is permitted outside of the minimum 30-foot landscape buffer.



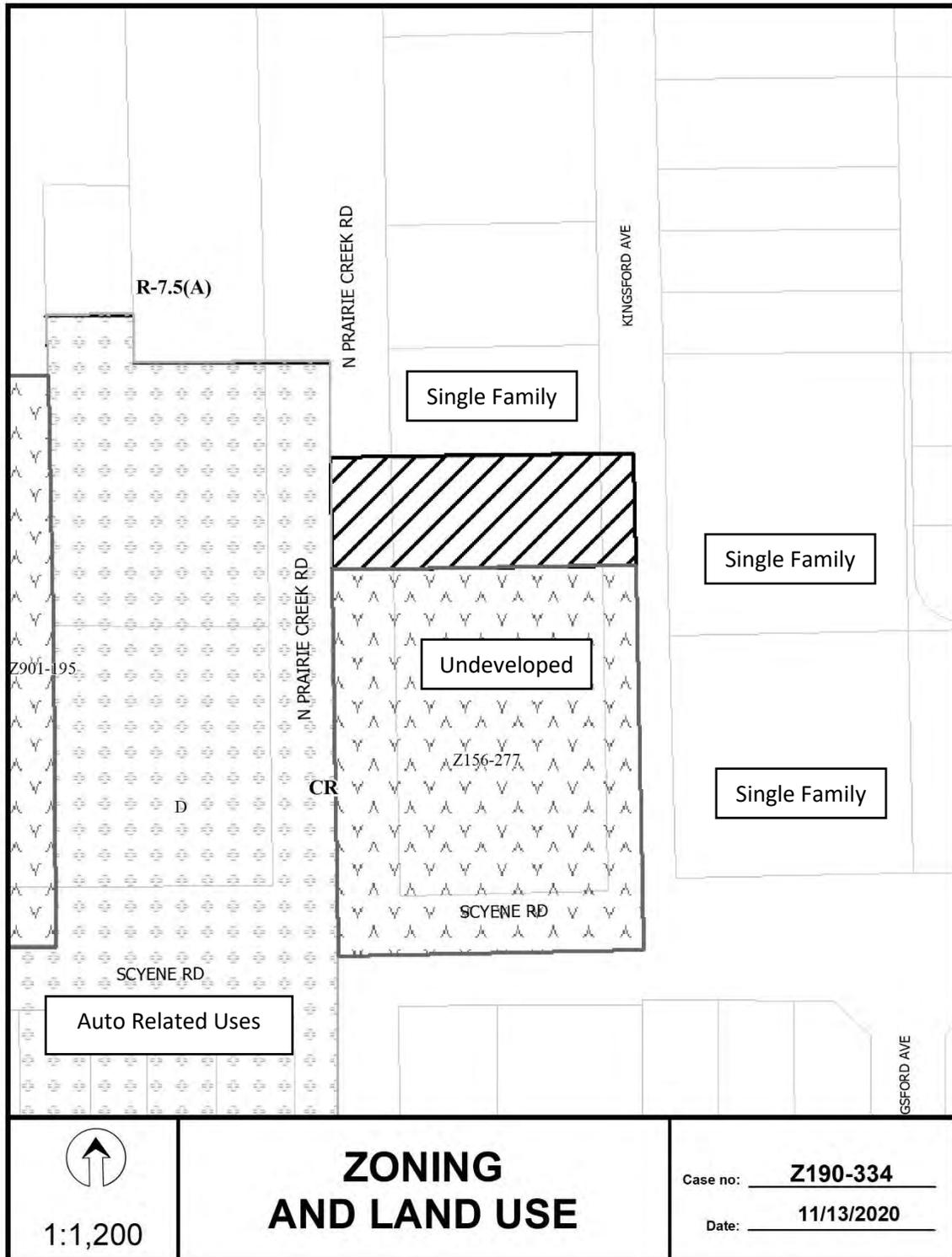


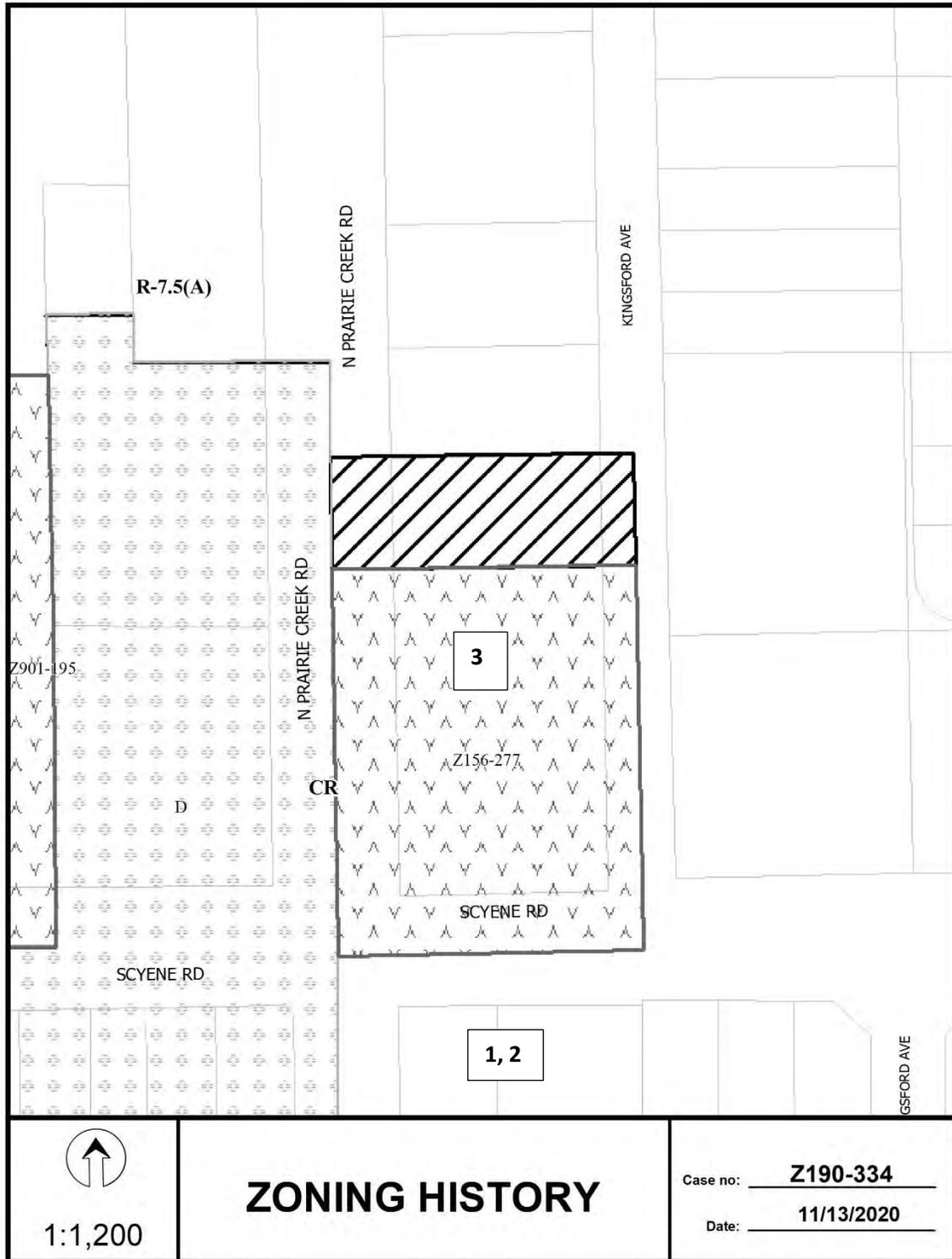
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AERIAL MAP

Case no: Z190-334

Date: 11/13/2020



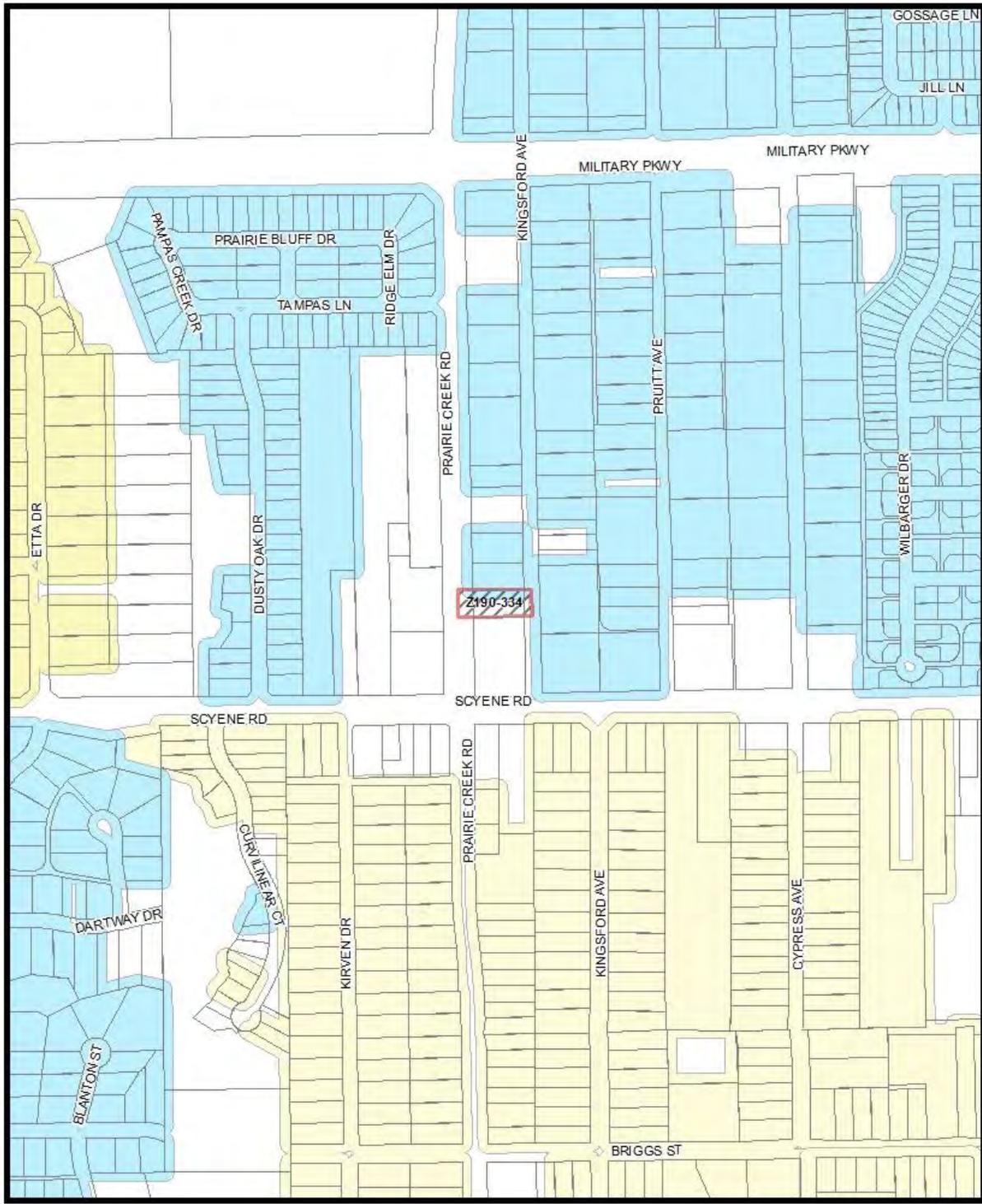


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ZONING HISTORY

Case no: Z190-334

Date: 11/13/2020

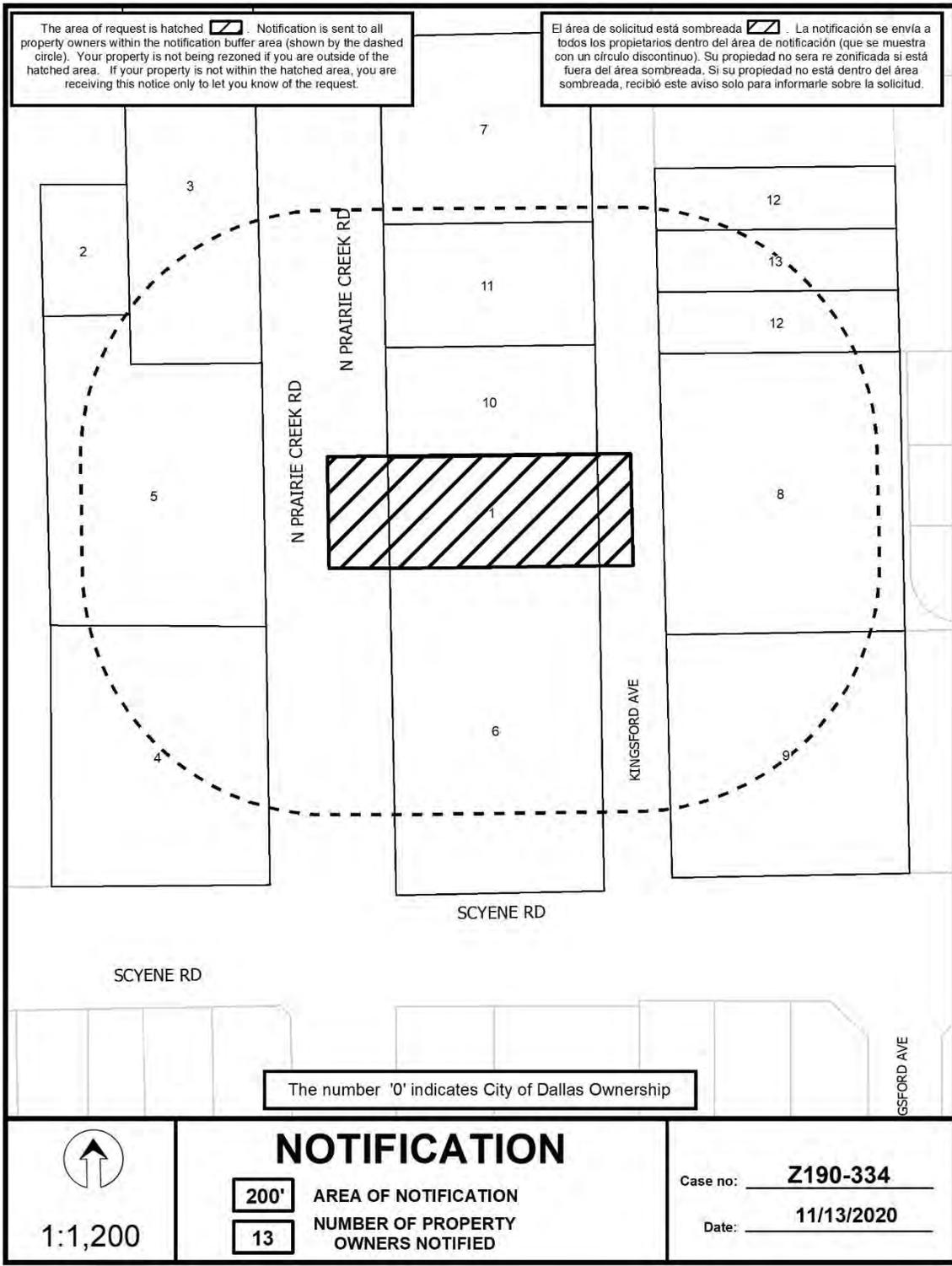


Market Value Analysis A B C D E F G H I NA

1:4,800

Market Value Analysis

Printed Date: 11/13/2020



Z190-334(JK)

11/13/2020

Notification List of Property Owners

Z190-334

13 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	3107 KINGSFORD AVE	CARTER JAMES
2	9109 SCYENE RD	CARTER KENT
3	3200 N PRAIRIE CREEK RD	CARTER KENT
4	9115 SCYENE RD	WACKEROW MARY H
5	3125 N PRAIRIE CREEK RD	NOSHAHI MOHAMMAD H
6	3005 KINGSFORD AVE	CARTER KENT
7	3302 S PRAIRIE CREEK RD	NORTH DALLAS CHURCH OF CHRIST
8	3116 KINGSFORD AVE	PGSR REALTY LLC
9	3006 KINGSFORD AVE	FLORES JESUS & ROSALINDA
10	3117 KINGSFORD AVE	JOHNSON GLORIA I
11	3207 KINGSFORD AVE	TORRES JOSE A
12	3204 KINGSFORD AVE	TONGRA LP
13	3208 KINGSFORD AVE	HERNANDEZ ANACLETO & ELIDA

Memorandum



CITY OF DALLAS

DATE December 3, 2020

TO Tony Shidid, Chair and
City Plan Commissioners

SUBJECT **City Plan Commission Authorized Hearing**

Commissioners Blair, Hampton, and Shidid request that the City Plan Commission authorize a public hearing to determine the proper zoning on property zoned Planned Development District Nos. 672 and 969, an A(A) Agricultural District, a CR Community Retail District with Specific Use Permit (SUP) No. 1301 for a Tower / Antenna for Cellular Communication and SUP No. 2297 for Mini-warehouse, a CR Community Retail with a D-1 Liquor Control Overlay, a CS Commercial Service District, an MF-1(A)(SAH) Multifamily District, an MH(A) Manufactured Home District, an R-1/2ac(A) Single Family Residential District, an R-10(A) Single Family Residential District, an R-16(A) Single Family Residential District, and an R-7.5(A) Single Family Residential District in an area generally bound by Interstate Highway 20 and City of Dallas Corporate Limits on the north, City of Dallas Corporate Limits on the east and south, Seagoville Road on the southwest, and Beltline Road on the west and containing approximately 1,418 acres. Consideration is to be given to appropriate zoning for the area to include but not limited to use, development standards, and other appropriate regulations. A map of the proposed area to be considered is attached.

Based on the number of points received for prioritization of authorized hearings, this authorization would be number 15 on the Prioritization List. The Authorized Hearing Prioritization List is attached for reference.

This is a hearing to consider the request to authorize the hearing and not the rezoning of property at this time.

A handwritten signature in blue ink that reads "Steven Doss".

Steven Doss, AICP, Senior Planner
Current Planning Division
Sustainable Development and Construction Department

Memorandum



CITY OF DALLAS

DATE October 30, 2020

TO Kris Sweckard, Director
Sustainable Development and Construction Department

SUBJECT Request for Agenda Item for an Authorized Hearing

We respectfully request that the following item be placed on the City Plan Commission agenda and advertised as required by Section 51A-4.701(a)(1) of the City of Dallas Development Code.

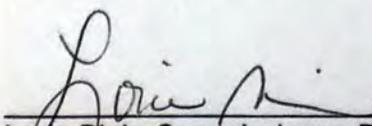
Consideration of authorizing a public hearing to determine the proper zoning on property zoned Planned Development District Nos. 672 and 969, an A(A) Agricultural District, a CR Community Retail District with Specific Use Permit (SUP) No. 1301 for a Tower / Antenna for Cellular Communication and SUP No. 2297 for Mini-warehouse, a CR Community Retail with a D-1 Liquor Control Overlay, a CS Commercial Service District, an MF-1(A)(SAH) Multifamily District, an MH(A) Manufactured Home District, an R-1/2ac(A) Single Family Residential District, an R-10(A) Single Family Residential District, an R-16(A) Single Family Residential District, and an R-7.5(A) Single Family Residential District in an area generally bound by Interstate Highway 20 and City of Dallas Corporate Limits on the north, City of Dallas Corporate Limits on the east and south, Seagoville Road on the southwest, and Beltline Road on the west and containing approximately 1,418 acres. Consideration is to be given to appropriate zoning for the area to include but not limited to use, development standards, and other appropriate regulations.

To achieve the current City of Dallas Forward Dallas and East Kleberg's Community goals that provide East Kleberg with new commercial and retail services, and residential growth this area will need to conform to the City of Dallas zoning standards. By updating the existing East Kleberg Community Plan the residents will be able to achieve the quality of life they desire, support the city's Forward Dallas goals, and receive additional city services and increase the quality of retail, and commercial services.

Attached is a location map for your review.

This is a hearing to consider the request to authorize the hearing and not the rezoning of property at this time.

Thank you for your attention to this matter.



Lorie Blair, Commissioner, District 8

Ronald W. Almon DISTRICT 3
Commissioner

Tom Gunn DS
Commissioner

c: Neva Dean, Assistant Director, Sustainable Development and Construction Department

DRAFT
 Order of prioritization if East Kleberg and West Kleberg hearings are authorized.

AUTHORIZED HEARING POINTS for PRIORITIZATION																						
CC Dist	Date of Prioritization: 11/24/2020	Order by Prioritization	Order by Date of Authorization	LAND USE PLAN					SPECIAL CITY DESIGNATED AREA				OTHER CITY PROGRAM		INFRA INVEST	TRANSITIONAL AREA				EXTENUATING CIRCUMSTANCES	Total Points	
				forward Dallas!	less than 2 yrs	2-3 yrs	3-4 yrs	4-5 yrs	5-10 yrs	Stab Area	Emerg Mrkt	Redev Area	NEZ	TIF		PID	20% zoning change request	10% zoning change request	SF Demo Permits in higher density			Request for CD in SF Hist. Dist.
				50	20	15	10	5	1	3	2	1	3	3	1	3	2	1	3	3	Council determines	
4	East Oak Cliff	1	2							3				3		3						9
4	10th St Hist. Dist.and PD No.388	2	12							3				3						3		9
11	PD No.887 Valley View Galleria	3	13						1					3		3						7
6	Singleton/Chicago IR area	4	8						1				3									4
14	Turtle Creek Neighborhood	5	3												1							1
1	Elmwood	6	1																			0
1	Catherine/Pierce Trolley Stop	7	4																			0
1	Edgefield/Clarendon Trolley Stop	8	5																			0
14	CD No.12 Amend	9	6																			0
1	Clarendon/Hampton MF-2 Area	10	7																			0
14	NO(A) Single property-Richmond/Summit	11	9																			0
8	Julius Schepps/McCommas Bluff	12	10																			0
1	Hampton/Clarendon Trolley Stop	13	11																			0
3	Westmoreland/Illinois DART	14	14																			0
8	East Kleberg	15	15																			0
8	West Kleberg	16	16																			0

Currently in process:

- Arts District (Z167-360)
- Vickery Meadow (Z167-378)
- Elm Thicket (Z167-395)
- PD No. 317 - The Cedars (Z167-311)
- The Bottom (Z178-307)

Memorandum



CITY OF DALLAS

DATE December 3, 2020

TO Tony Shidid, Chair and
City Plan Commissioners

SUBJECT **City Plan Commission Authorized Hearing**

Commissioners Blair, MacGregor, and Stinson request that the City Plan Commission authorize a public hearing to determine the proper zoning on property zoned Planned Development District Nos. 162, 258, 399, 512, 566, 752, 789, 797, and 777 with Specific Use Permit (SUP) No. 1886 for Sale of Alcoholic Beverages and a D-1 Liquor Control Overlay, an A(A) Agricultural District with SUP No. 1031 for a Radio, Television or Microwave Tower, SUP No. 2232 for Placement of Fill Material, SUP No. 798 for Mining of Sand & Gravel, SUP No. 799 for Mining of Sand & Gravel, and SUP No. 84 for a Sewage Treatment Plant, a CR Community Retail District with SUP No. 1838 for Sale of Alcoholic Beverages, SUP No. 2146 for Sale of Alcoholic Beverages in Conjunction with a General Food Store greater than 3,500 square feet, SUP No. 2272 for Mini-warehouse, SUP No. 2378 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store 3,500 square feet or less, and SUP No. 2393 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store 3,500 square feet or less, a CS Commercial Service District with SUP No. 1111 for Sale of Alcoholic Beverages, SUP No. 1837 for Commercial Amusement (Inside) limited to a Dance Hall, SUP No. 1843 for Sale of Alcoholic Beverages, SUP No. 1851 for Sale of Alcoholic Beverages, SUP No. 1883 for Sale of Alcoholic Beverages, SUP No. 2242 for a Tower / Antenna for Cellular Communication, SUP No. 2262 for Commercial Amusement (Inside) Limited to a Dance Hall, SUP No. 2282 for Outside Sales, and SUP No. 2332 for Sale of Alcoholic Beverages in Conjunction with General Merchandise or Food Store greater than 3,500 square feet, a CS Commercial Service District with D-1 Liquor Control Overlay, a D(A) Duplex District, an IM Industrial/Manufacturing District, an IM Industrial/Manufacturing District with a D-1 Liquor Control Overlay, an IR Industrial/Research District, an IR Industrial/Research District with a D-1 Liquor Control Overlay, an LO-1 Limited Office District, an MF-1(A)(SAH) Multifamily District, an MF-2(A)(SAH) Multifamily District, an MH(A) Manufactured Home District, an MU-1(SAH) Mixed Use District, an MU-1(SAH) Mixed Use District with a D-1 Liquor Control Overlay, an NO(A) Neighborhood Office District, an NS(A) Neighborhood Service District, an NS(A) Neighborhood Service District with a D-1 Liquor Control Overlay, an R-1ac(A) Single Family Residential District, an R-1/2ac(A) Single Family Residential District, an R-1/2ac(A) Single Family Residential District with a D-1 Liquor Control Overlay, an R-10(A) Single Family Residential District with SUP No. 800 for a Cemetery and SUP No. 801 for a Water Tower, an R-16(A) Single Family Residential District, an R-7.5(A) Single Family Residential District, an R-7.5(A) Single Family Residential District with a D-1 Liquor Control Overlay, an R-5(A) Single Family Residential District, an R-5(A) Single Family District with a D-1 Liquor Control Overlay, and a TH-1(A) Townhome District in an area

generally bound by Beltline Road and Seagoville Road on the east, City of Dallas Corporate Limits on the south and west, St Augustine Road, Haymarket Road, and Ashwood Drive on the northwest, and City of Dallas Corporate Limits, Rylie Crest Drive, Ravenview Road, and Fish Road on the north and containing approximately 7,002 acres. Consideration is to be given to appropriate zoning for the area to include but not limited to use, development standards, and other appropriate regulations. A map of the proposed area to be considered is attached.

Based on the number of points received for prioritization of authorized hearings, this authorization would be number 16 on the Prioritization List. The Authorized Hearing Prioritization List is attached for reference.

This is a hearing to consider the request to authorize the hearing and not the rezoning of property at this time.

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Steven Doss, AICP, Senior Planner
Current Planning Division
Sustainable Development and Construction Department

Memorandum



CITY OF DALLAS

DATE October 30, 2020

TO Kris Sweckard, Director
Sustainable Development and Construction Department

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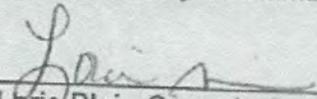
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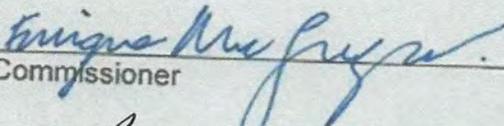
Attached is a location map for your review.

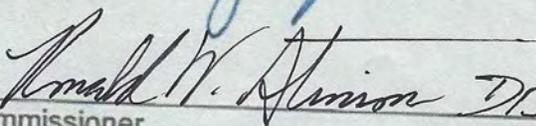
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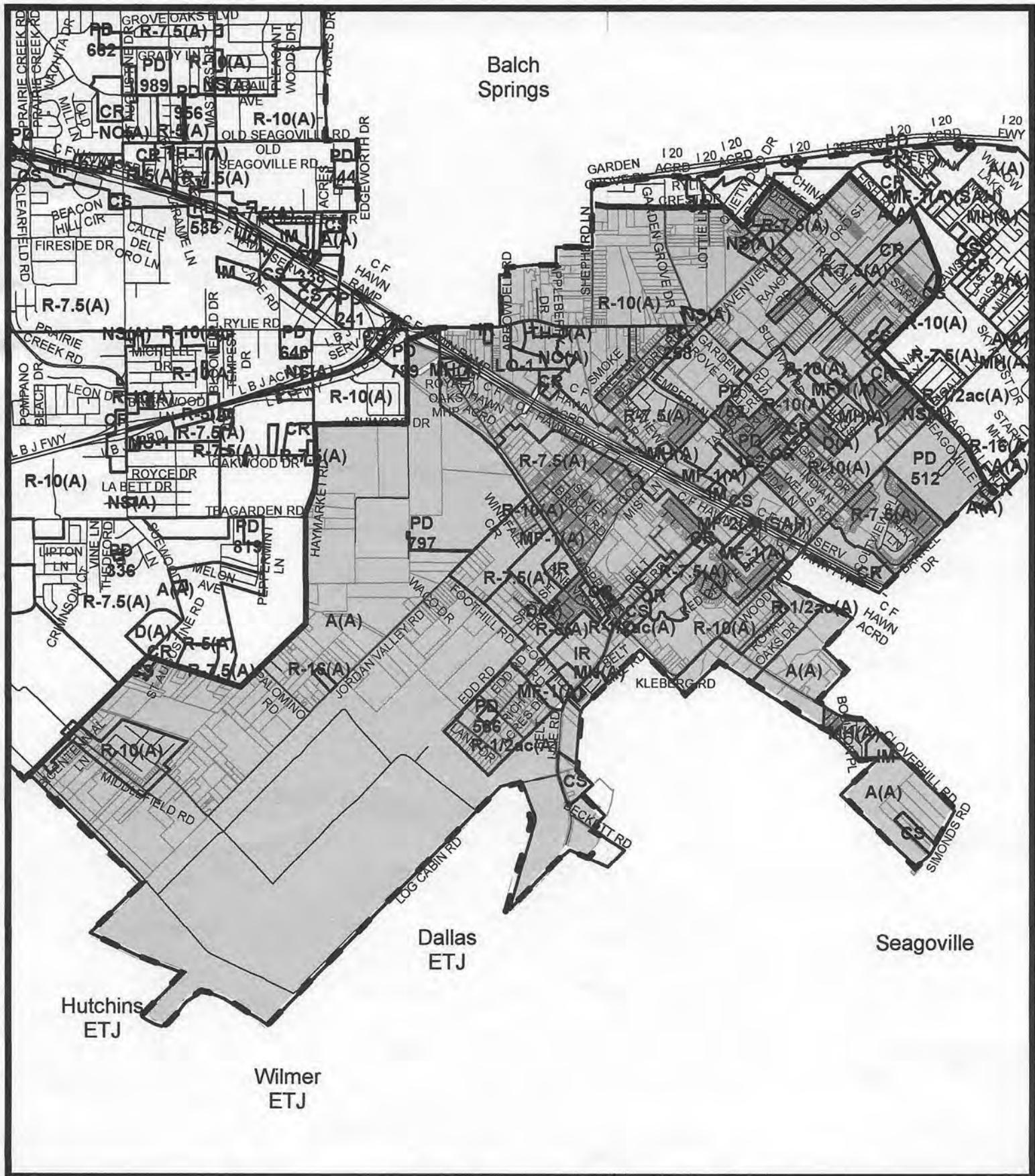


Lorie Blair, Commissioner, District 8

 DISTRICT 1
Commissioner

 DISTRICT 3
Commissioner

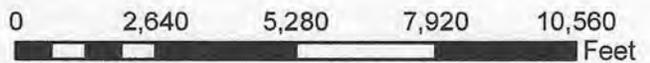
c: Neva Dean, Assistant Director, Sustainable Development and Construction Department

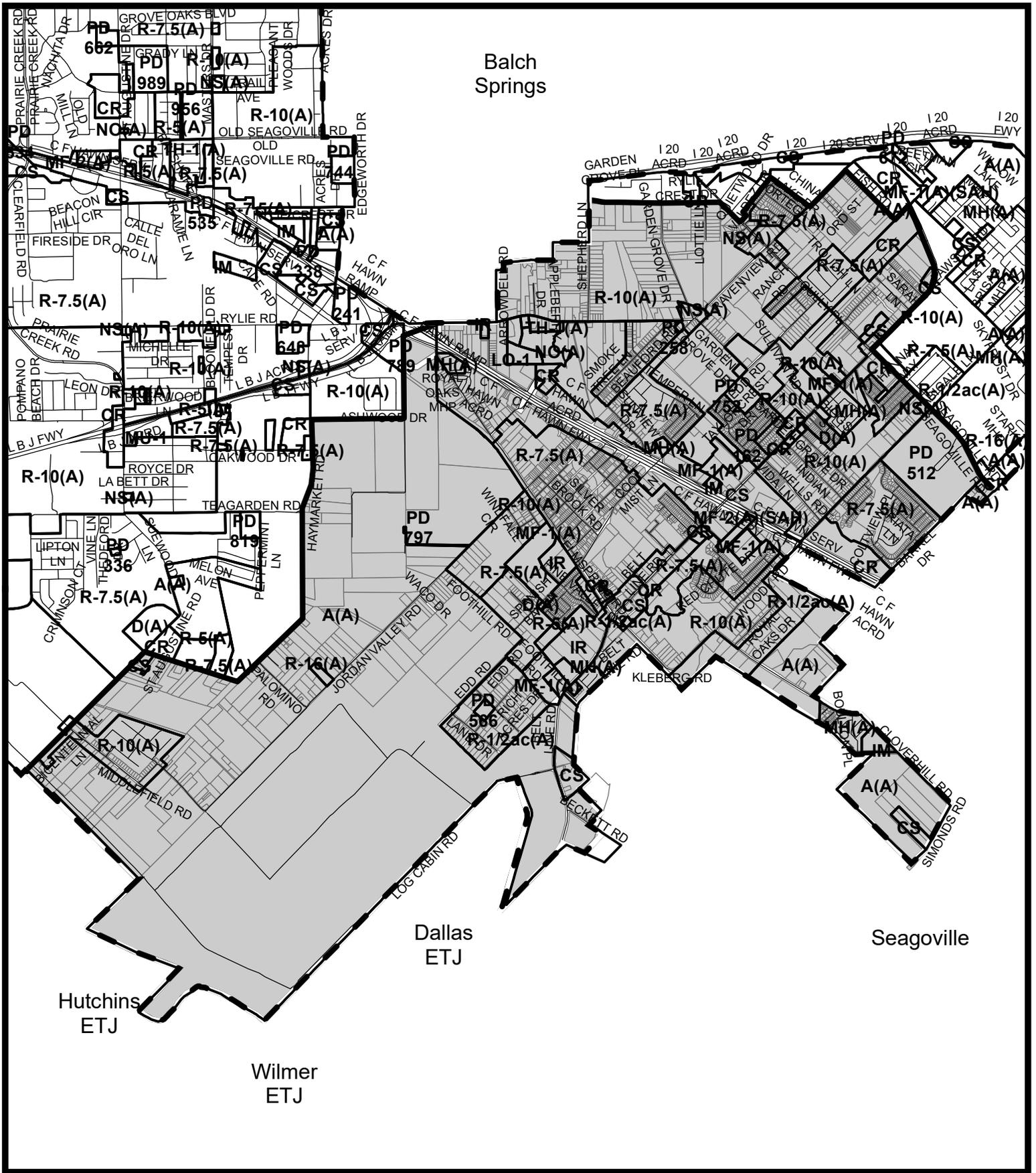


Proposed Authorized Hearing Map



- Base Zoning
- Hearing Area
- City Limits
- Parcels

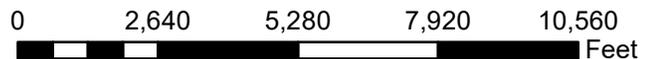




Proposed Authorized Hearing Map



- Base Zoning
- Hearing Area
- City Limits
- Parcels



DRAFT
Order of prioritization if East Kleberg and West Kleberg hearings are authorized.

AUTHORIZED HEARING POINTS for PRIORITIZATION																						
CC Dist	Date of Prioritization: 11/24/2020	Order by Prioritization	Order by Date of Authorization	LAND USE PLAN					SPECIAL CITY DESIGNATED AREA				OTHER CITY PROGRAM		INFRA INVEST	TRANSITIONAL AREA				EXTENUATING CIRCUMSTANCES	Total Points	
				forward Dallas!	less than 2 yrs	2-3 yrs	3-4 yrs	4-5 yrs	5-10 yrs	Stab Area	Emerg Mrkt	Redev Area	NEZ	TIF		PID	20% zoning change request	10% zoning change request	SF Demo Permits in higher density			Request for CD in SF Hist. Dist.
				50	20	15	10	5	1	3	2	1	3	3	1	3	2	1	3	3	Council determines	
4	East Oak Cliff	1	2							3				3		3						9
4	10th St Hist. Dist.and PD No.388	2	12							3				3						3		9
11	PD No.887 Valley View Galleria	3	13						1					3		3						7
6	Singleton/Chicago IR area	4	8						1				3									4
14	Turtle Creek Neighborhood	5	3												1							1
1	Elmwood	6	1																			0
1	Catherine/Pierce Trolley Stop	7	4																			0
1	Edgefield/Clarendon Trolley Stop	8	5																			0
14	CD No.12 Amend	9	6																			0
1	Clarendon/Hampton MF-2 Area	10	7																			0
14	NO(A) Single property-Richmond/Summit	11	9																			0
8	Julius Schepps/McCommas Bluff	12	10																			0
1	Hampton/Clarendon Trolley Stop	13	11																			0
3	Westmoreland/Illinois DART	14	14																			0
8	East Kleberg	15	15																			0
8	West Kleberg	16	16																			0

Currently in process:

- Arts District (Z167-360)
- Vickery Meadow (Z167-378)
- Elm Thicket (Z167-395)
- PD No. 317 - The Cedars (Z167-311)
- The Bottom (Z178-307)