



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

245-057

Data Relative to Subject Property: 3516 Booker St. Dallas TX 75215

Date:

FOR OFFICE USE ONLY

Location address: 3516 Booker St. Dallas TX 75215

Zoning District:

PD 595 / R-5

Lot No.: 22

Block No.: G/1698

Acreage: .101

Census Tract:

Street Frontage (in Feet): 1) 44'

2) 44'

3)

4)

5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): M6 HOMES LLC

Applicant: Sewdat Persaud

Telephone: 972-898-2029

Mailing Address: 521 Cove Ridge Rd Rockwall

Zip Code: 75032

E-mail Address: spersaud@att.net

Represented by: Sewdat Persaud

Telephone: 972-898-2029

Mailing Address: 521 Cove Ridge RD. Rockwall TX

Zip Code: 75032

E-mail Address: spersaud@att.net

Affirm that an appeal has been made for a Variance ☒ or Special Exception ☐ of 8'-1" OFF STREET PARKING

(1) Requesting an 8.5' x 19' variance to park in the front yard setback.

(2) We are also requesting an 8'-2" variance for the rear yard setback. 32

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Lot is not big enough to accommodate parking space.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared

Sewdat Persaud

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted:

(Affiant/Applicant's signature)

Subscribed and sworn to before me this

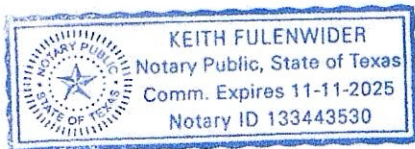
20th

day of

February

2025

Notary Public in and for Dallas County, Texas





Appeal number: BDA 245-057

I, SEWDAT PERSAUD/ M6 HOMES LLC, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 3516 BOOKER STREET DALLAST X 75215
(Address of property as stated on application)

Authorize: SEWDAT PERSAUD
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

☒ Variance (specify below)

☐ Special Exception (specify below)

☐ Other Appeal (specify below)

Specify: Requesting Variance of 8'-1" OFF STREET PARKING

SEWDAT PERSAUD
Print name of property owner or registered agent

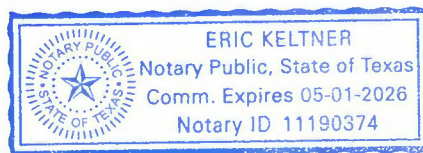
[Signature]
Signature of property owner or registered agent

agent Date 2/12/25

Before me, the undersigned, on this day personally appeared

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 12 day of
February, 2025



[Signature]
Notary Public for Dallas County,
Texas

Commission expires on
5/1/2026

3516 BOOKER

Date of copy: 1/26/2025

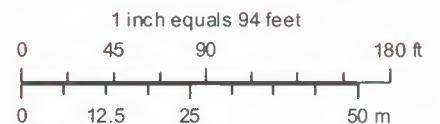
DCAD Tax Account: 00000170386000000



This product is for INFORMATIONAL purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Dallas Central Appraisal District
2949 N Stemmons Freeway
Dallas, TX 75247-6195
(214) 631-1342
www.dallascad.org



BDA245-OS7

DCAD, NCTCOG, USGS, Esri, Inc



BUILDER TO FIELD VERIFY
ALL SETBACKS AND BUILDING LINES
PRIOR TO CONSTRUCTION

SITE PLAN

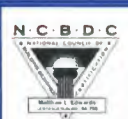
SCALE: 1" = 10'-0"

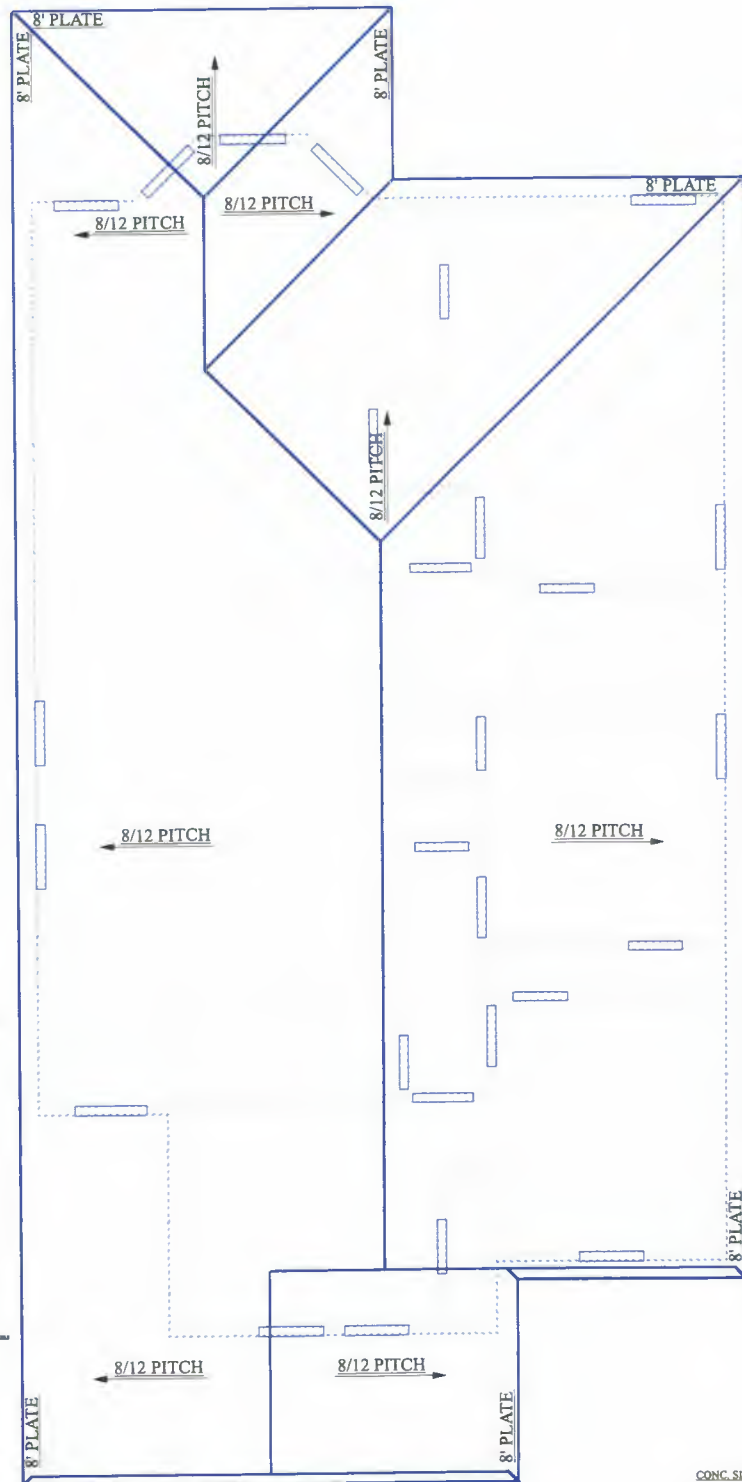
BDA245-057



AIBD CERTIFICATION
44-798
MATTHEW L. EDWARDS

M6 HOMES, LLC.
PERSAUD SEWDAT
972-898-2029





ROOF LAYOUT PLAN
SCALE: 1/4" = 1'-0"

Plan Copyright, Ownership and Liability

These plans are copyrighted and are subject to copyright protection as "Architectural Works" under section 102 of the Copyright Act, 17 U.S.C. as amended December 1990 and known as Architectural Works Copyright Protection Act of 1990. Reproductions of these home plans or designs either as whole or in part, including any form and/or reproduction of derived works thereof for any reason without prior written permission is strictly prohibited. The purchase of a set of home plans as an owner transfers any copyright or other ownership interest in it to the buyer except for a limited license to use that set of home plans for the construction of one dwelling unit. The protection includes but is not limited to the overall form as well as the arrangement and composition of space and elements of the design. These plans are the property of Blue Line Design.

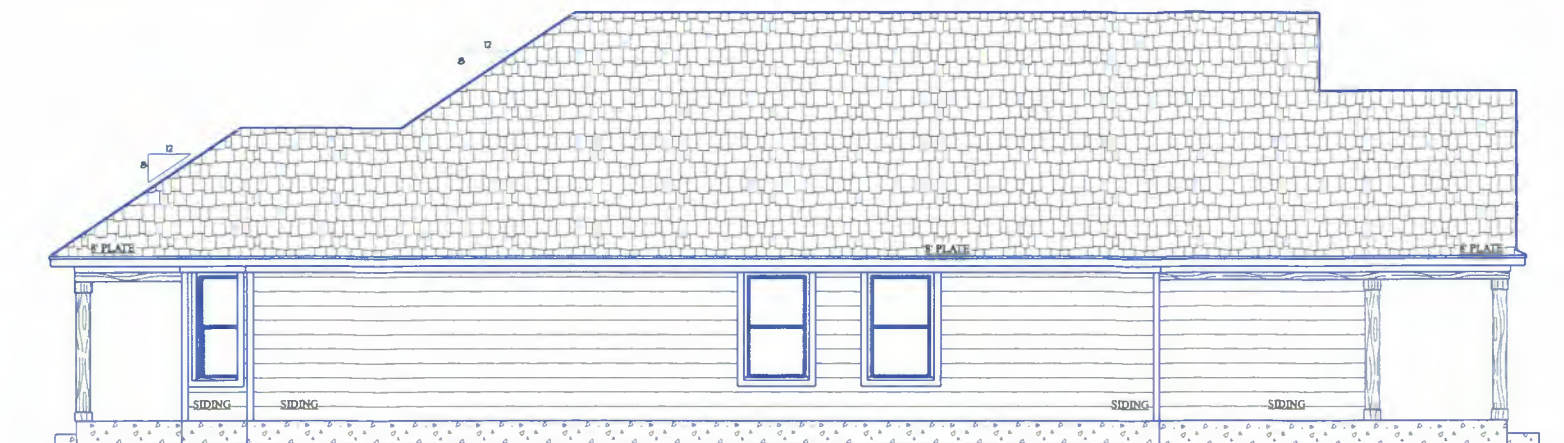
Blue Line Home Design assumes no liability for any structure constructed from this plan. It is the responsibility of the purchaser of this plan to perform the following before beginning any construction:

1. Verify dimensions and all aspects of plans for compliance with all local codes and ordinances where home is to be constructed.
2. Verify all structural for design, size and reinforcement with local engineer and building officials.
3. Plans indicate locations only; engineering aspects should incorporate actual site and soil conditions.

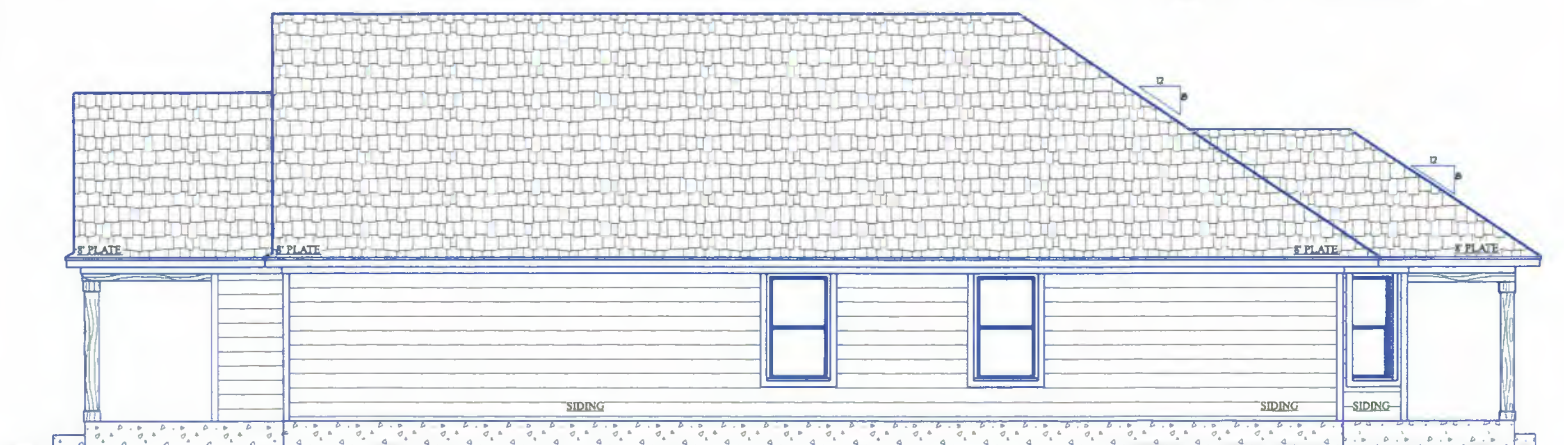
Limit of Designer's liability is not to exceed price paid for plans. Blue Line Design assumes no liability for any change made to these plans not do we assume any liability for advice given or methods used by the builder, contractor or other professionals involved in the construction of a home from the plans. Blue Line Design is not a registered Architect however, Blue Line Design is registered and maintains good standing with the American Institute of Building Design.

NOTES:

1. These plans are intended to provide the basic construction information necessary to substantially complete the structure. These plans must be verified and checked completely by the builder. Any discrepancy, error and/or omission is found to be brought to the attention of the architect before any construction work or purchase have been made.
2. These plans are designed to be in substantial compliance with the 2021 International Residential Code. The construction shall conform to all national, state and local building codes and ordinances. There could be some variations over anything noted in these drawings.
3. Contractor must verify all dimensions and note drawings.
4. All steel walls are dimensioned 6" nominal, 4" x 8" nominal and floor walls 2" nominal.
5. Lamin doors and position have 5 high shelves unless noted otherwise.
6. Provide 3/4 inch weep line in waterproofing.
7. Use water barriers in the garage are to be on a 1" platform.
8. All conditioner condenser must be 7" above grade.
9. In absence of existing schedule prepared by architect or engineer, and accepted by building official see Table B602.1 in the International Residential Code.
10. Refer to engineer drawings for all foundations.
11. Lot drawings to comply with the International Residential Code.
12. Building area as is cleared of all houses, trees and vegetation. Use a minimum of 8" below grade and 4" below house.
13. Check plans for level changes floor, walls and plumbing fixture locations.



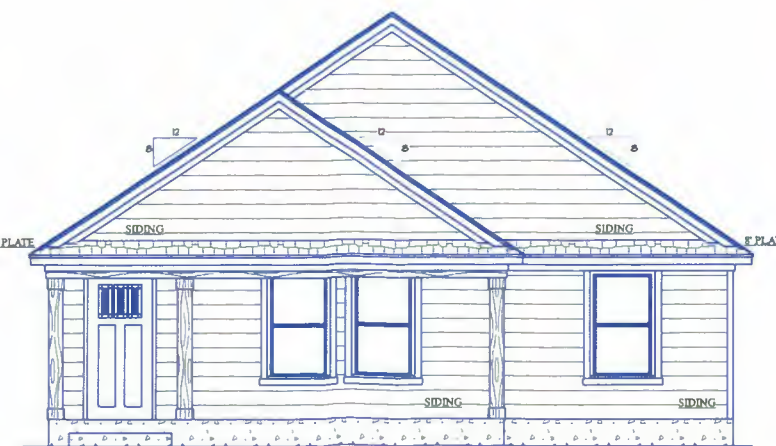
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



M6 HOMES, LLC.
PERSAUD SEWDAT
972-898-2029

JANUARY 9th, 2025

A NEW SINGLE FAMILY HOME
TO BE LOCATED @
3516 BOOKER STREET - LOT 22
ATLANTA TO BOOKER BRISTOLS L.L. ADD.
DALLAS, TX - DALLAS COUNTY



MATTHEW L. EDWARDS
AIBD CERTIFICATION # 44-798

213 W ENNIS AVENUE
SUITE 400
ENNIS, TX 75119
OFFICE# (972)935-9710
WWW.PLAN-MASTER.COM



BDA245-057

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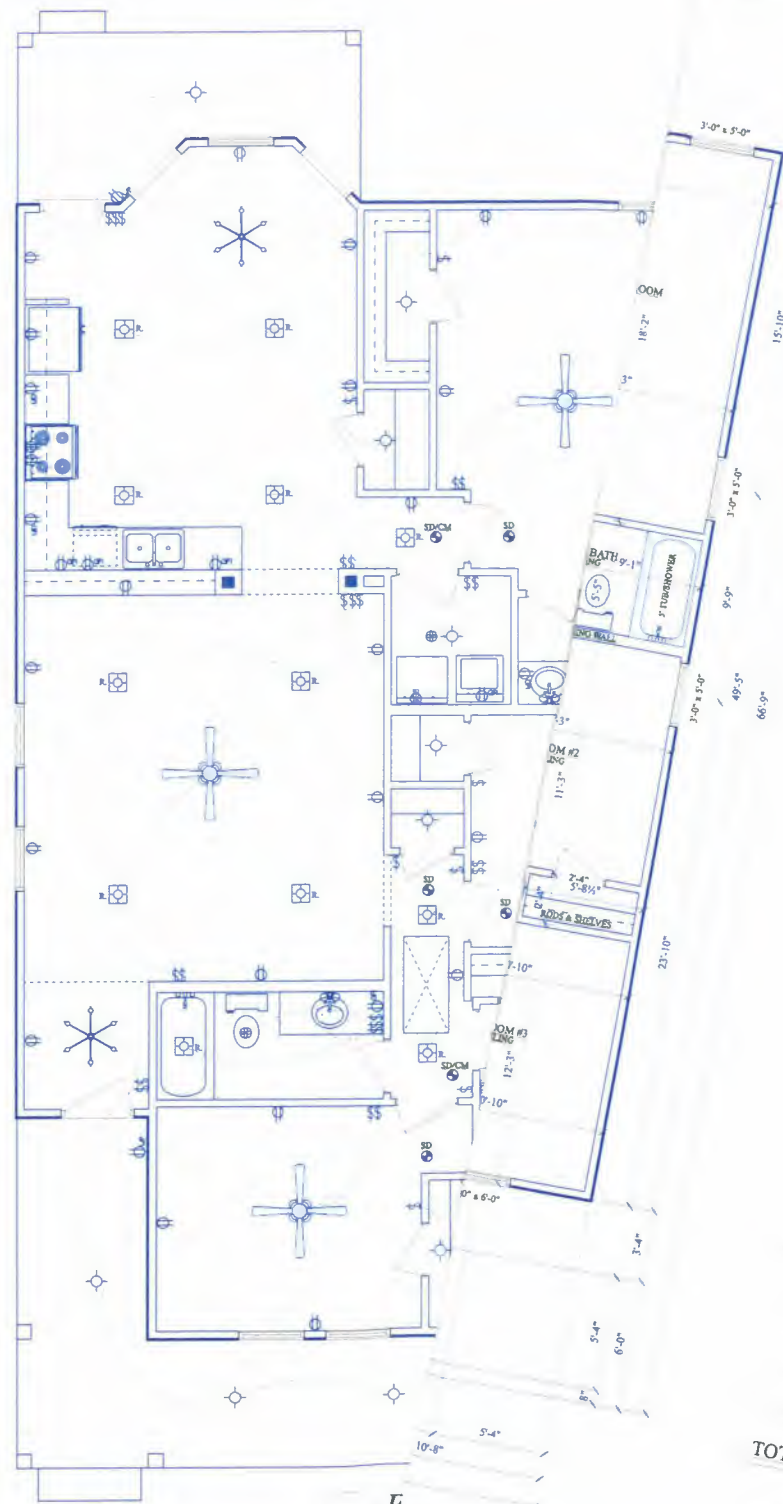
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1. Verify dimensions and all aspects of plans for compliance with all local codes and ordinances where house is to be constructed.
2. Verify all structural for design, size and reinforcement with local engineer and building officials.
3. Please indicate locations early engineering reports should incorporate actual size and soil conditions.

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2. These plans are designed to be in substantial compliance with the 2021 International Residential Code. The construction shall conform to all national, state and local building codes and ordinances. These notes shall take precedence over anything noted in these drawings.
3. Contractor must verify all dimensions and scale drawings.
4. All steel walls are dimensioned 4" nominal, brick 2" nominal and flat walls 1" nominal.
5. Lateral cleats and posties have 5 high shelve unless noted otherwise.
6. Provide 3/4 inch water line in refrigeration.
7. Gas water heaters in the garage are to be on a 1" platform.
8. All foundation construction must be 1" above grade.
9. In absence of existing schedule prepared by architect or engineer, and accepted by building official see Table R402.3 to the International Residential Code.
10. Refer to engineer drawings for all foundations.
11. See drainage to comply with the International Residential Code.
12. Building area to be cleared of all trees, roots and vegetation. Clear a minimum of 4' below grade and 4' below house.
13. Check plans for level changes their notes and plumbing fixture locations.



AREA TOTALS
LIVING AREA 1,606
COVERED PORCH 189
COVERED PATIO 101
TOTAL FOUNDATION 1,896

FLOOR PLAN
SCALE: 1/4" = 1'-0"

213 W ENNIS AVENUE
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BDA24S-057

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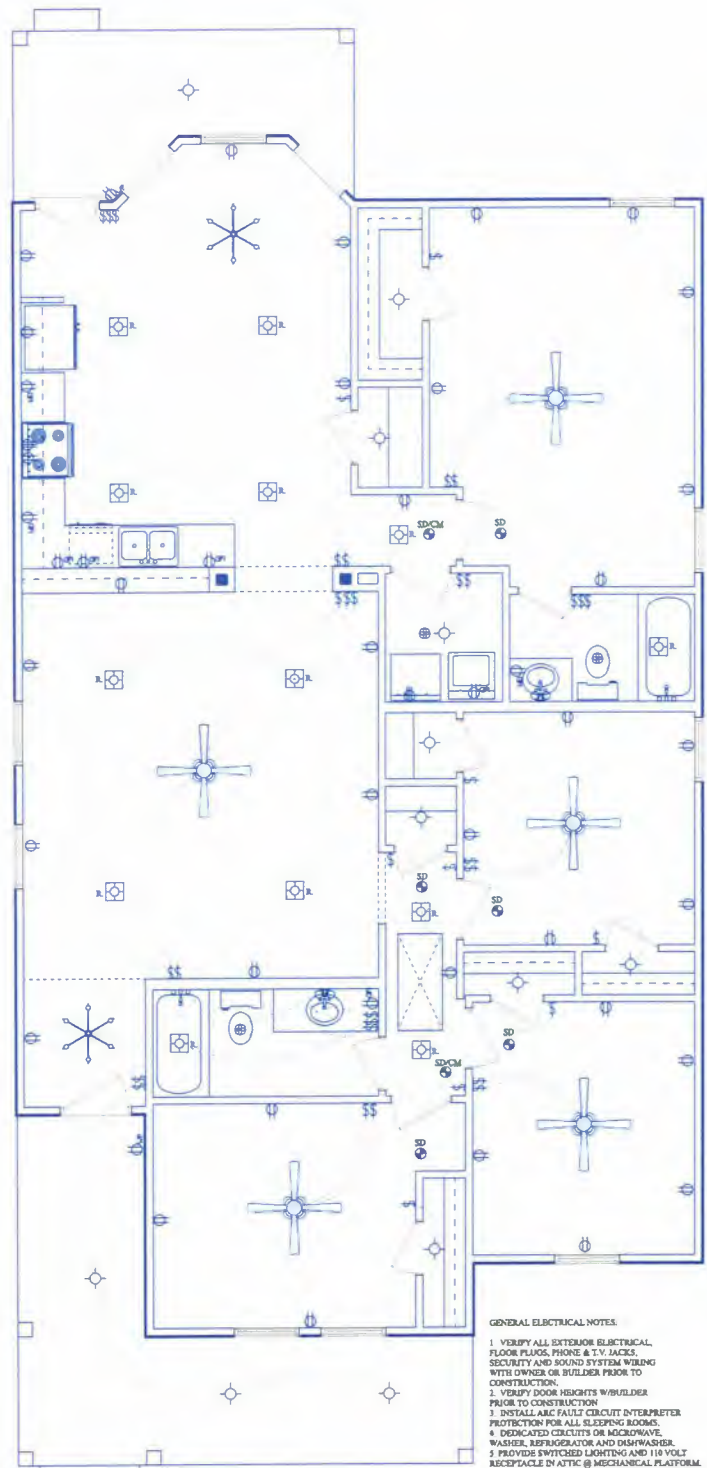
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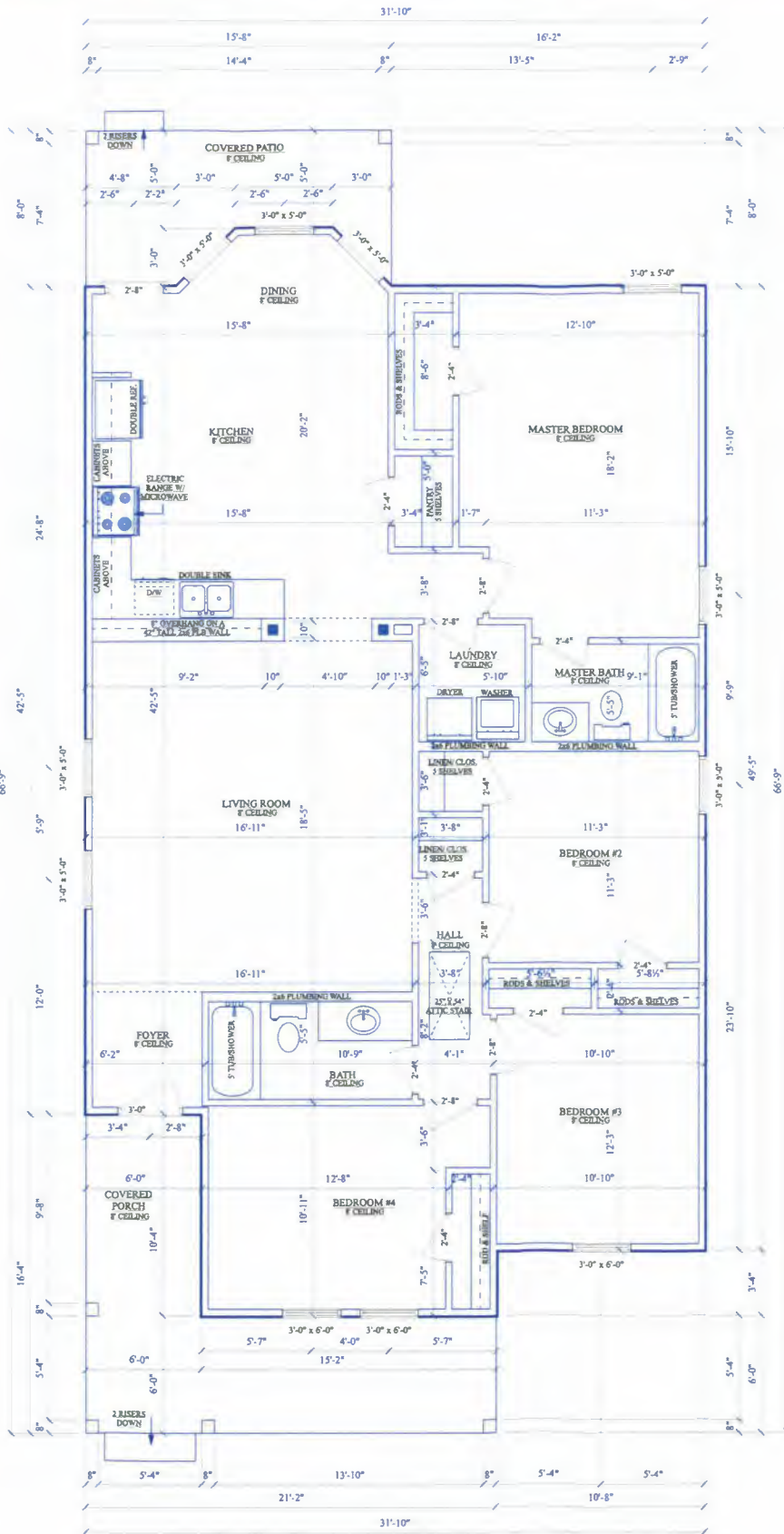
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3. Contractor must verify all dimensions and scale drawings.
4. All steel rods are dimensioned 4" nominal, bric 3" nominal and this with 2" nominal.
5. Lamin glass and windows have 5 high shatter unless noted otherwise.
6. Provide 1/2" each water line to refrigerator.
7. One water heater as the garage is to be in a 11" platform.
8. Air conditioner condenser must be 2" above grade.
9. In absence of zoning schedule prepared by architect or engineer, and accepted by building official use Table R602.3 in the International Residential Code.
10. Refer to engineer drawings for all foundations.
11. Lot drainage to comply with the International Residential Code.
12. Building area to be cleared of all trees, roots and vegetation. Cut stumps a maximum of 1" below grade and 4" below house.
13. Check plans for level changes floor, roof and planting, fence locations.



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

GENERAL ELECTRICAL NOTES:
1. VERIFY ALL EXTERIOR ELECTRICAL, FLOOR PLUGS, PHONE & T.V. JACKS, SECURITY AND SOUND SYSTEM WIRING WITH OWNER OR BUILDERS PRIOR TO CONSTRUCTION.
2. VERIFY DOOR HEIGHTS W/BUILDERS PRIOR TO CONSTRUCTION.
3. INSTALL ALL FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL SLEEPING ROOMS.
4. DEDICATED CIRCUITS OR MICROWAVE, WASHER, REFRIGERATOR AND DISHWASHER.
5. PROVIDE SWITCHED LIGHTING AND 110 VOLT RECEPTACLE IN ATTIC @ MECHANICAL PLATFORM.



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TOTAL FOUNDATION 1,896

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