



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

FOR OFFICE USE ONLY

Data Relative to Subject Property:

Date:

FOR OFFICE USE ONLY

Location address: 5008 Radbrook Place

Zoning District: R-1ac(A)

Lot No.: 1 Block No.: 12A/5585 Acreage: 1.15 acres

Census Tract: _____

Street Frontage (in Feet): 1) _____

2) _____

3) _____

4) _____

5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Melissa Arnoldi

Applicant: Jennifer Hiromoto

Telephone: 469-275-2414

Mailing Address: PO Box 38586 Dallas, TX

Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Represented by: Jennifer Hiromoto

Telephone: 469-275-2414

Mailing Address: PO Box 38586 Dallas, TX

Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Affirm that an appeal has been made for a Variance ☐ or Special Exception ☒ of 3'6" to the fence height regulations

The wrought iron fence at its highest point will be 6'6" with stone columns at 7'-6" within the front yard setback.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The applicant for 5008 Radbrook is requesting approval to install a new wrought iron fence, with the stone columns reaching a maximum height of 7'6" and the wrought iron fence panels extending to 6'6". The design will be complemented by landscaping to improve both privacy and the property's aesthetic appeal. Other fences taller than 4' exist in the immediate area and the proposed fence will not adversely affect surrounding properties.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Jennifer Hiromoto

(Affiant/Applicant's name printed)

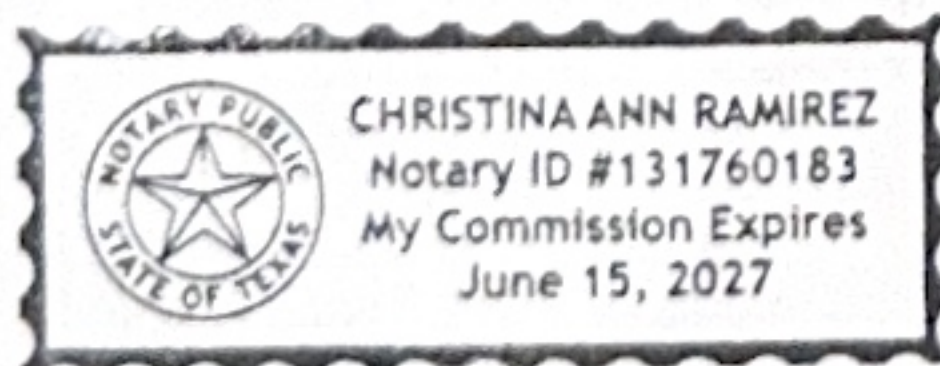
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

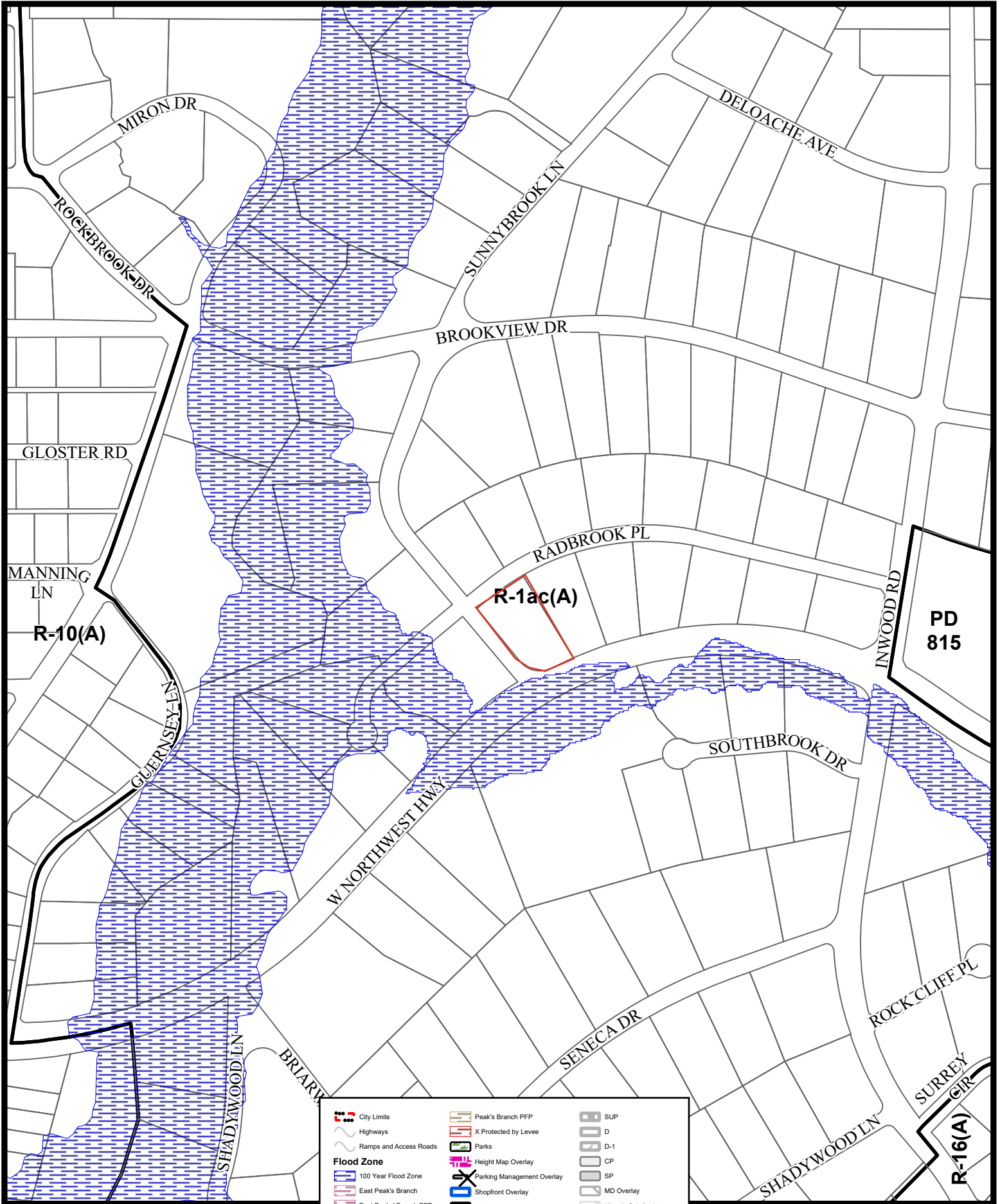
Respectfully submitted: [Signature]

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 18th day of July, 2025

Christina Ann Ramirez
Notary Public in and for Dallas County, Texas



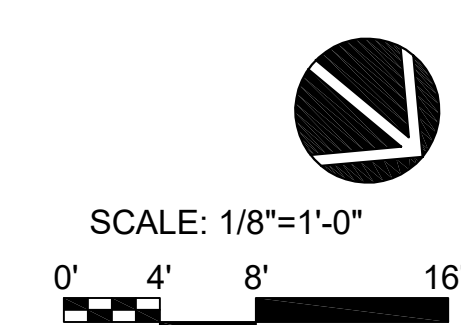
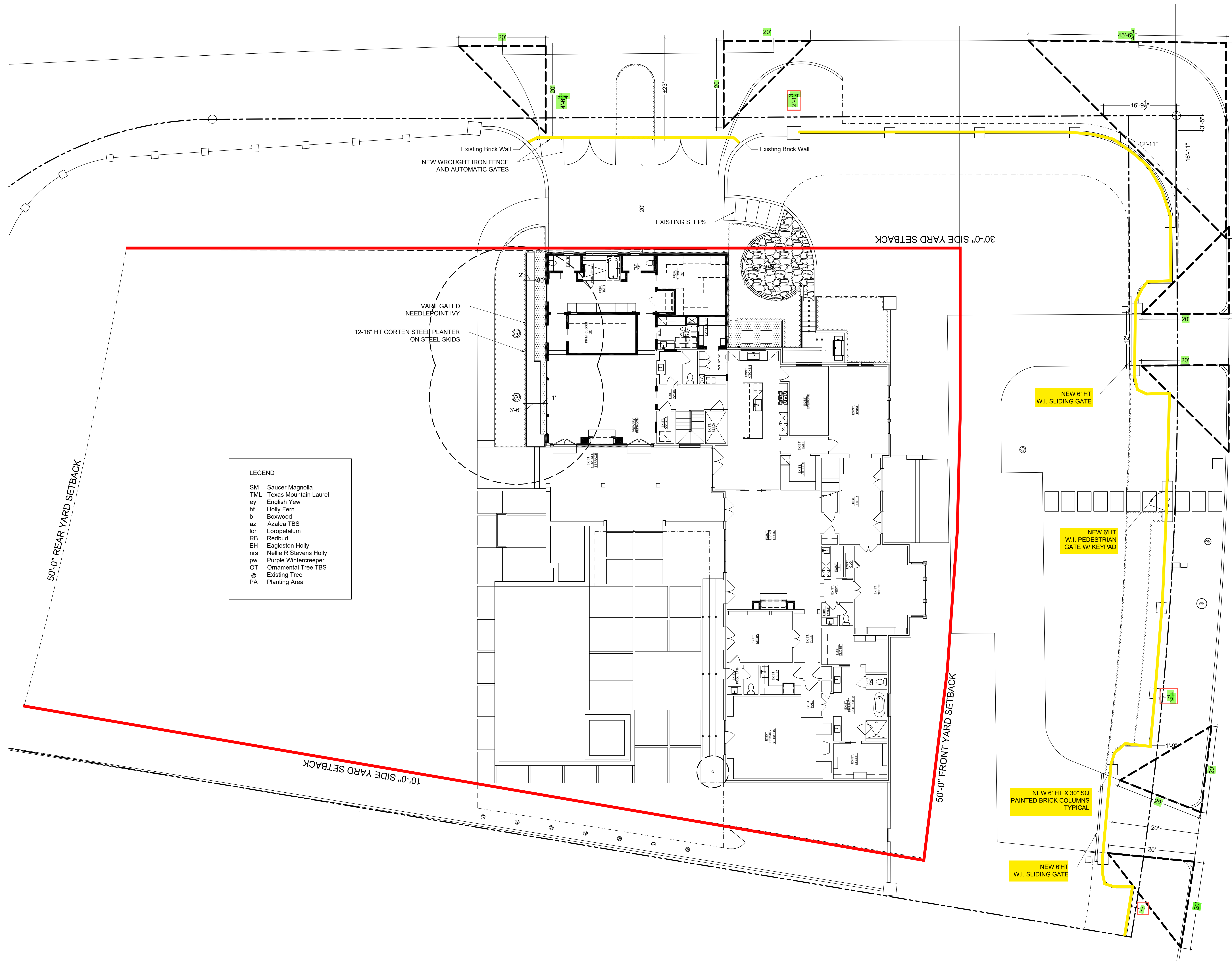


1:4,800

	City Limits		Peak's Branch PFP		SUP
	Highways		X Protected by Levee		D
	Ramps and Access Roads		Parks		D-1
Flood Zone			Height Map Overlay		CP
	100 Year Flood Zone		Parking Management Overlay		SP
	East Peak's Branch		Shopfront Overlay		MD Overlay
	East Peaks' Branch PFP		Base Zoning		Historic Subdistricts
	Floodway		PD193 Oak Lawn		Historic Overlay
	Mill Creek		Dallas Environmental Corridors		CD Subdistricts
	Mill Creek PFP		DDO Overlay		PD Subdistricts
	Peak's Branch		Deed Restrictions		PDS Subdistricts
					NSO Subdistricts

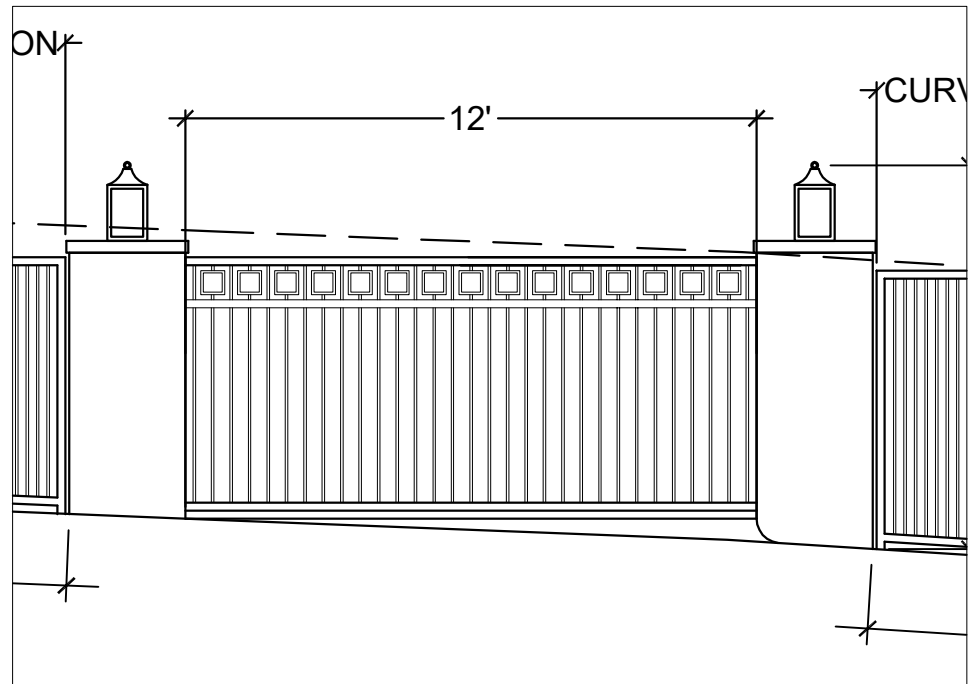
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Printed: 7/2/2025

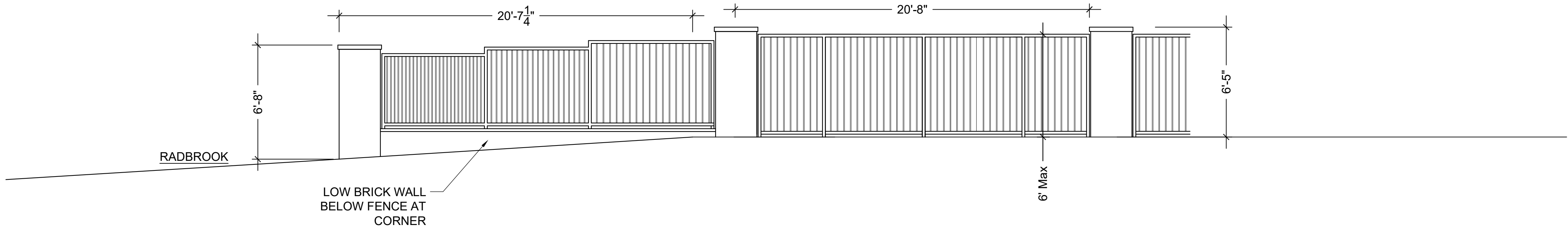
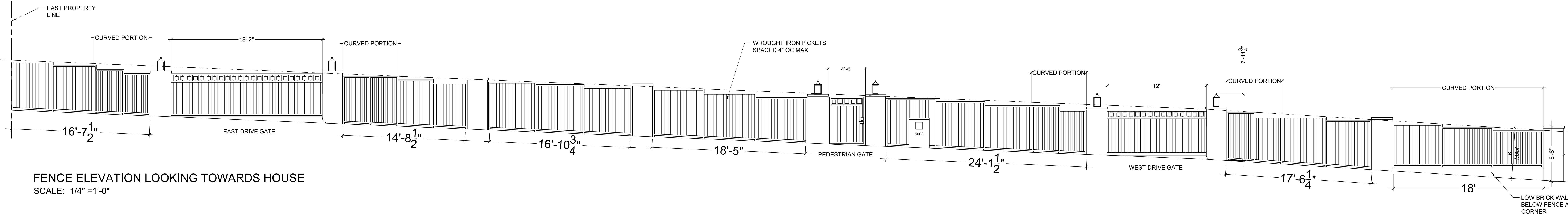


FENCE VARIANCE PLAN

5008 Radbrook
Dallas, Tx



ENLARGEMENT OF GATE DETAIL
SCALE: 1/4" = 1'-0"



SUNNYBROOK - FRONT YARD ELEVATION $\frac{1}{4}"=1'$

FENCE VARIANCE
ELEVATIONS
5008 Radbrook
Dallas, Tx