



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

FOR OFFICE USE ONLY

Data Relative to Subject Property: 4002 Coolidge St

Date:

FOR OFFICE USE ONLY

Location address: 4000 Coolidge St

Zoning District:

PP595 / R-5(A)

Lot No.: 1

Block No.: 21753

Acreage: 2796

Census Tract:

26.03

Street Frontage (in Feet): 1) 78

2) 100

3) \_\_\_\_\_

4) \_\_\_\_\_

5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Kingdom at Fairpark LLC

Applicant: Monique Everett

Telephone:

919-523-9908

Mailing Address: 4608 Steel St Dallas TX

Zip Code:

75219

E-mail Address:

Admin@renuhouses.com

Represented by:

Monique Everett

Telephone:

919-523-9908

Mailing Address:

4608 Steel St Dallas TX

Zip Code:

75219

E-mail Address:

Admin@renuhouses.com

Affirm that an appeal has been made for a Variance ☒ or Special Exception ☐ of

13 "6" to Front yard along Ruthledge proposing setback at 6' 6"

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Because we have two frontage and need variance from difference of setback require

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

Before me the undersigned on this day personally appeared

Monique Everett

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted:

[Signature]

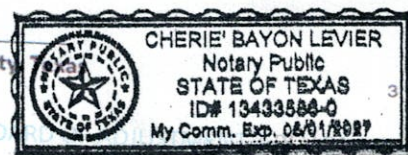
(Affiant/Applicant's signature)

Subscribed and sworn to before me this

16th day of June

2025

Notary Public in and for Dallas County



**BOARD OF ADJUSTMENT  
CITY OF DALLAS, TEXAS**

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**FILE NUMBER:** BOA-25-000024

**BUILDING OFFICIAL'S REPORT:** Application of Monquie Everett for a variance to the front-yard setback regulations at 4000 COOLIDGE ST. This property is more fully described as Block 2/1783 Lot 1 & 2 and is zoned PD-595 (R-5(A)), which requires a front-yard setback of 20-foot. The applicant proposes to construct a single-family residential structure and provide a 6-foot 6-inch front-yard setback, which will require a 13-foot 6-inch variance to the front-yard setback regulations.

**LOCATION:** 4000 COOLIDGE ST

**APPLICANT:** Monquie Everett

**REQUEST:** A variance to the front-yard setback regulations

**OPERATING AGREEMENT  
OF  
KINGDOM AT FAIRPARK, LLC  
A Georgia Limited Liability Company**

THIS Limited Liability Company Agreement (this “**Agreement**”) of **Kingdom AT FAIRARK, LLC**, a Georgia limited liability company (the “**Company**”), is entered into by **Daniel Bressler**, an individual, and **Liel Manoah**, an individual, (collectively the “**Members**”), and is effective as of the 10th day of June, 2023 by the undersigned.

**W I T N E S S E T H:**

WHEREAS, the Company was formed on June 6, 2023, when the Articles of Organization were filed with the office of Secretary of State pursuant to the statutes governing limited liability companies in the State of Georgia (the “**Statutes**”); and

WHEREAS, the Members desire to enter into a entity for the purpose in accordance with the Business Purpose of the Company pursuant to Article 3 herein.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the undersigned hereby agree as follows:

**ARTICLE I  
DEFINITIONS**

The following terms used in this Agreement shall have the following meanings:

“Default Rule.” A rule or provision in the Georgia Act which (i) structures, defines, or regulates the finances, governance, operations or other aspects of a limited liability company organized under the Georgia Act; and (ii) applies except to the extent it is negated or modified through the provisions of a limited liability company's articles of organization or operating agreement.

“Georgia Act.” The Georgia Limited Liability Company Act (O.C.G.A. §14-11-100 et seq.), as amended from time to time.

**ARTICLE II  
FORMATION OF THE COMPANY**

2.1 **Formation.** The Company was formed on August 21, 2023 by filing of Articles of Organization with the Secretary of State of Georgia.

2.2 **Principal Place of Business.** The principal place of business of the Company within the State of Georgia is located at 4243 Dunwoody Club Drive, Suite 200, Atlanta, Georgia 30350.

The Company may locate its places of business and registered office at any other place or places as the Member may from time to time deem advisable.

2.3 Registered Office and Registered Agent. The Company's registered office shall be at the office of its registered agent at 4243 Dunwoody Club Drive, Ste 200, Atlanta GA, 30350 and the name of its initial registered agent at such address is Liel Manoah. The registered office and registered agent may be changed from time to time by filing the address of the new registered office and/or the name of the new registered agent with the Secretary of State of Georgia pursuant to the Georgia Act and the applicable rules promulgated thereunder.

2.4 Term. The Company shall continue in existence perpetually unless the Company is dissolved and its affairs wound up in accordance with the Georgia Act or this Agreement. The Member may terminate this Agreement and dissolve the Company at any time.

2.5 Fiscal Year. The fiscal year of the Company shall be the calendar year.

### ARTICLE III BUSINESS OF COMPANY

The Company is organized to engage in any activity permitted by the Act or otherwise permitted to be engaged in by a limited liability company. In furtherance thereof, the Company may exercise all powers necessary to or reasonably connected with the Company's business which may be legally exercised by limited liability companies under the Georgia Act, and may engage in all activities necessary, customary, convenient, or incident to any of the foregoing.

### ARTICLE IV MEMBER

4.1 Name and Address of Member. Liel Manoah, having an address at 4561 Olde Perimeter Way, Unit 710, Atlanta GA, 30346 and Daniel Bressler, having an address at 4608 Steel St, Dallas TX, 75219 shall be the members ("Members") of the Company.

4.2 Power of Members. The Members shall have the power to do any and all acts necessary or convenient to or for the furtherance of the purposes described herein, including, without limitation, all powers, statutory or otherwise, possessed by members of limited liability companies under the laws of the State of Georgia.

### ARTICLE V MANAGEMENT

The business and affairs of the Company shall be conducted and managed solely and exclusively by the Manager. The Manager shall have the power to take any action on behalf of the Company including but not limited to exclusive and complete discretion to manage the business and affairs of the Company, to make all decisions affecting the business and affairs of the Company and

to take such actions as they deem necessary or appropriate to accomplish the purpose of the Company; except as provided in the Articles of Organization or the Statutes. The Initial designated Managers are Liel R. Manoah and Daniel Bressler.

The Manager shall not be required to manage the Company as its sole and exclusive function and, it may have other business interests and may engage in other activities (including competing business and activities) in addition to those relating to the Company.

The initial Managers shall be LIEL MANOAH and DANIEL BRESSLER.

## ARTICLE VI CAPITAL CONTRIBUTIONS

6.1 Capital contributions shall be made in such amounts and in such form as the Members shall determine. The Members shall not be obligated to make any additional capital contribution to the Company.

6.2 **Return of Capital Contributions.** Except as otherwise provided in this Agreement and subject to applicable law, Capital Contributions shall be returned prior to any distributions of profit.

## ARTICLE VII DISTRIBUTIONS

Subject to the requirements of applicable law, distributions shall be made to the Members at such time and in such amount as the Manager may determine in his sole and absolute discretion. Distributions may be in cash or in securities or other instruments held by the Company.

Cash Flow of the Company shall be distributed to the Interest Holders, in the following order of priority, whereby no funds shall be provided to a lower priority until all outstanding amounts in relation to the higher priority have been paid in full (and in relation to outstanding amounts for each priority owing to more than one Person, on a pro rata basis between such Persons as to the relevant amounts outstanding within such priority, to such Persons):

- a) to Interest Holders, their respective accrued but unpaid Preferences on any amount of such Interest Holders' remaining unreturned Initial Capital Contributions, if any;
- b) Second, to Interest Holders, their unreturned Initial Capital Contributions;
- c) Remaining funds shall be distributed (i) fifty percent (50%) to Daniel Bressler, and (ii) fifty percent (50%) to Liel Manoah.

ARTICLE VIII  
LIMITED LIABILITY OF MEMBER

The Members or Manager shall not under any circumstances whatsoever be liable for any debts, obligations or liabilities of the Company.

ARTICLE IX  
TAXATION

The Members intend that solely for federal and state income tax purposes they will not be treated as a separate entity but, instead, all income tax matters will be reported directly by the Members.

ARTICLE X  
MISCELLANEOUS

10.1 Severability. If any provision of this Agreement is held to be invalid, illegal or unenforceable, the validity, legality and enforceability of the remaining provisions shall not in any way be affected or impaired thereby.

10.2 Captions. All captions used in this Agreement are for convenience only and shall not affect the meaning or construction of any provision hereof.

10.3 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Georgia.

10.4 No Third Party Beneficiary. This Agreement is made solely and specifically between and for the benefit of the Members and no other person or party whatsoever shall have any rights, interest or claims hereunder or be entitled to any benefits under or on account of this Agreement as a third party beneficiary.

10.5 Relationship of this Agreement to the Default Rules. Regardless of whether this Agreement specifically refers to a particular Default Rule, in no event shall any Default Rule apply to the Company, it being the intent of the Member that, by virtue of this Section 10.5 all of the Default Rules shall be negated and, to the fullest extent possible, all of the rights and obligations of the Members with respect to the Company shall be as set forth in this Agreement and shall not arise from any provisions of the Act that constitute a Default Rule that is permitted to be made inapplicable, or modified with respect to, a limited liability company pursuant to the articles of organization or operating agreement of a limited liability company.

10.6 Entire Agreement. This Agreement contains all of the understandings and agreements of the Members with respect to its ownership of the Company.

**EXHIBIT A: List of Members, Capital and Percentages**

<b>Name</b>	<b>Initial Capital Contribution</b>	<b>Capital Percentage</b>
<b>Liel Manoah</b>	\$ 40,000.00	50.00%

**Address:**

4561 Olde Perimeter Way, Unit 710  
Atlanta, GA 30346

<b>Daniel Bressler</b>	\$40,000.00	50.00%
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**Address:**


4608 Steel St, Dallas TX, 75219

**Total: \$ 80,000.00**

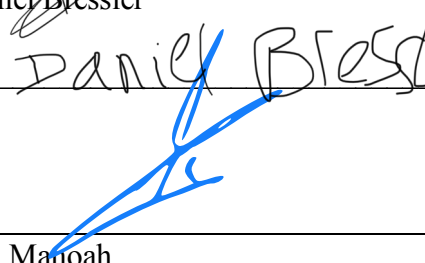
*[Signature Page Follows]*

IN WITNESS WHEREOF, the undersigned has executed this Agreement effective as of the date first above written.

**MEMBERS:**

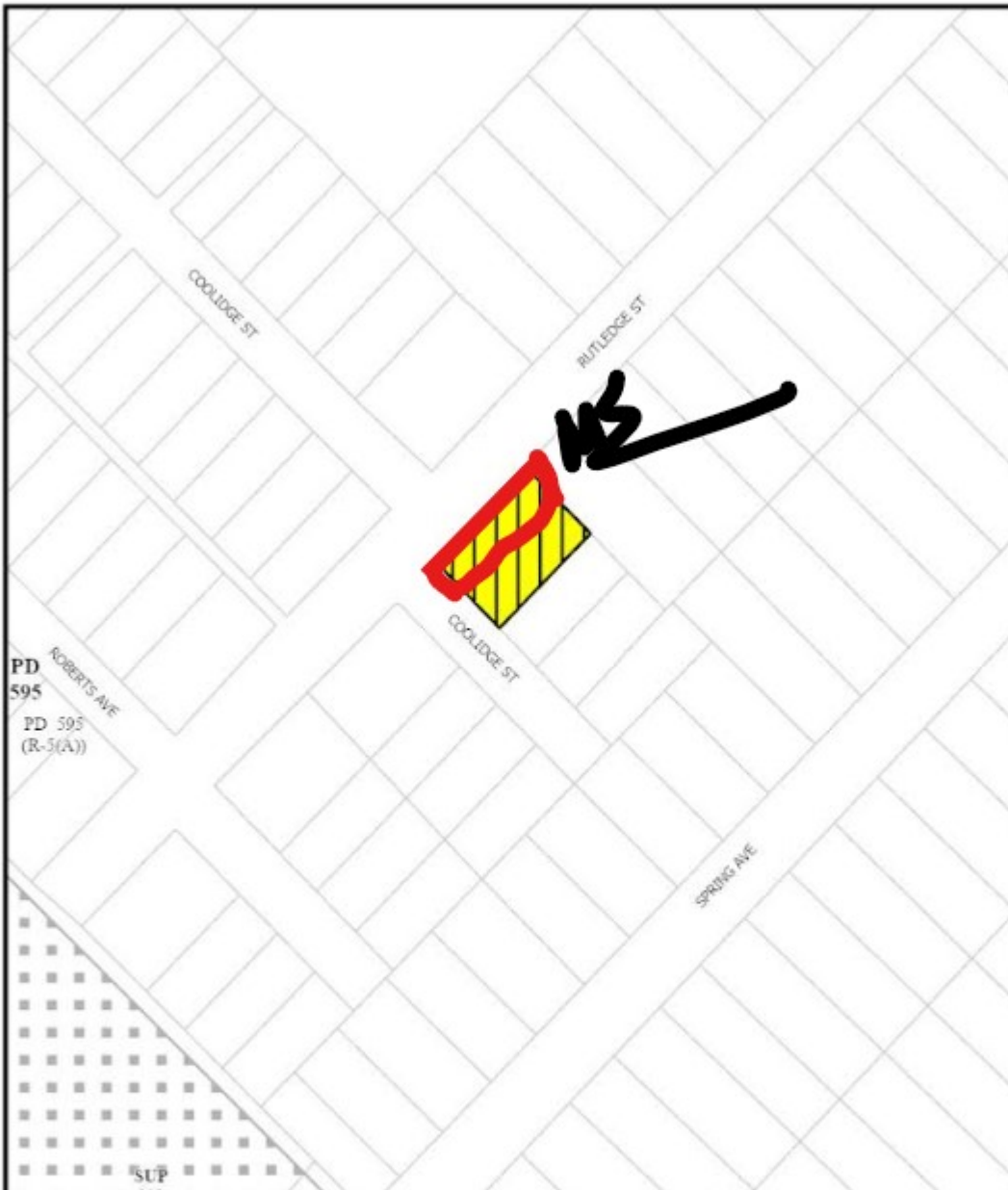
  
\_\_\_\_\_  
Daniel Bressler

By: Daniel Bressler

  
\_\_\_\_\_  
Liel Manoah

By: Liel Manoah, Manager





1:1,200

## ZONING MAP

Case no: **BOA-25-000024**

Date: **07/01/2025**



CITY OF DALLAS

## Development Services Board of Adjustment Referral Form:

Applicant/Representative: Monique Everett

Owner (if applicable): \_\_\_\_\_

Property address: 4002 Coolidge St

Lot: 1 & 2

City Block: 2/1783

Zoning: pd 595- R5

Request (check all that apply):

☐ **Variance**

☒ Yard setback

☐ Lot width

☐ Lot Depth

☐ Lot Coverage

☐ Floor area for accessory structures for  
single family uses

☐ Height

☐ Minimum width of sidewalk

☐ Off-street parking

☐ Off-street loading

☐ Landscape regulations

☐ Other

**Referrer**

☐ **Special Exception**

☐ Fence height and  
standards

☐ Visibility triangle  
obstructions

☐ Parking demand

☐ Landscaping

☐ Additional dwelling  
unit for a single-  
family

☐ Carport

☐ Non-conforming use

☐ Other

☐ Physical properties of the land prohibit commensurate development with properties of the same zoning

☐ The land (not the improvements) has restrictive size, shape, or slope.

"A variance may not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor may a variance be granted to permit any reason privilege in developing a parcel of land permitted by the zoning ordinance to other parcels of the land in districts with the same classification."

Property has 2 front yard setback and wants Rutledge st to be considered as side yard instead of front yard

SEC. 51A-3.102

Referred by: Anthony Cisneros

Date: 03/26/2025

Printed name

Application forms can be obtained at

<https://dallascityhall.com/government/Boards-and-Commissions/Board-of-Adjustment/Pages/default.aspx> or

320 E. Jefferson Blvd, Rm 118 Dallas TX 75203



Monique Everett &lt;admin@renuhouses.com&gt;

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**Application Denial for Your Address Assignment-Change ADDR-25-000068**

1 message

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**SVC\_Accela\_IG1** <SVC\_Accela\_IG1@dallas.gov>  
To: "admin@renuhouses.com" <admin@renuhouses.com>

Fri, Jun 6, 2025 at 2:02 PM

Hello Renu Property Investment - Monquie Everett,

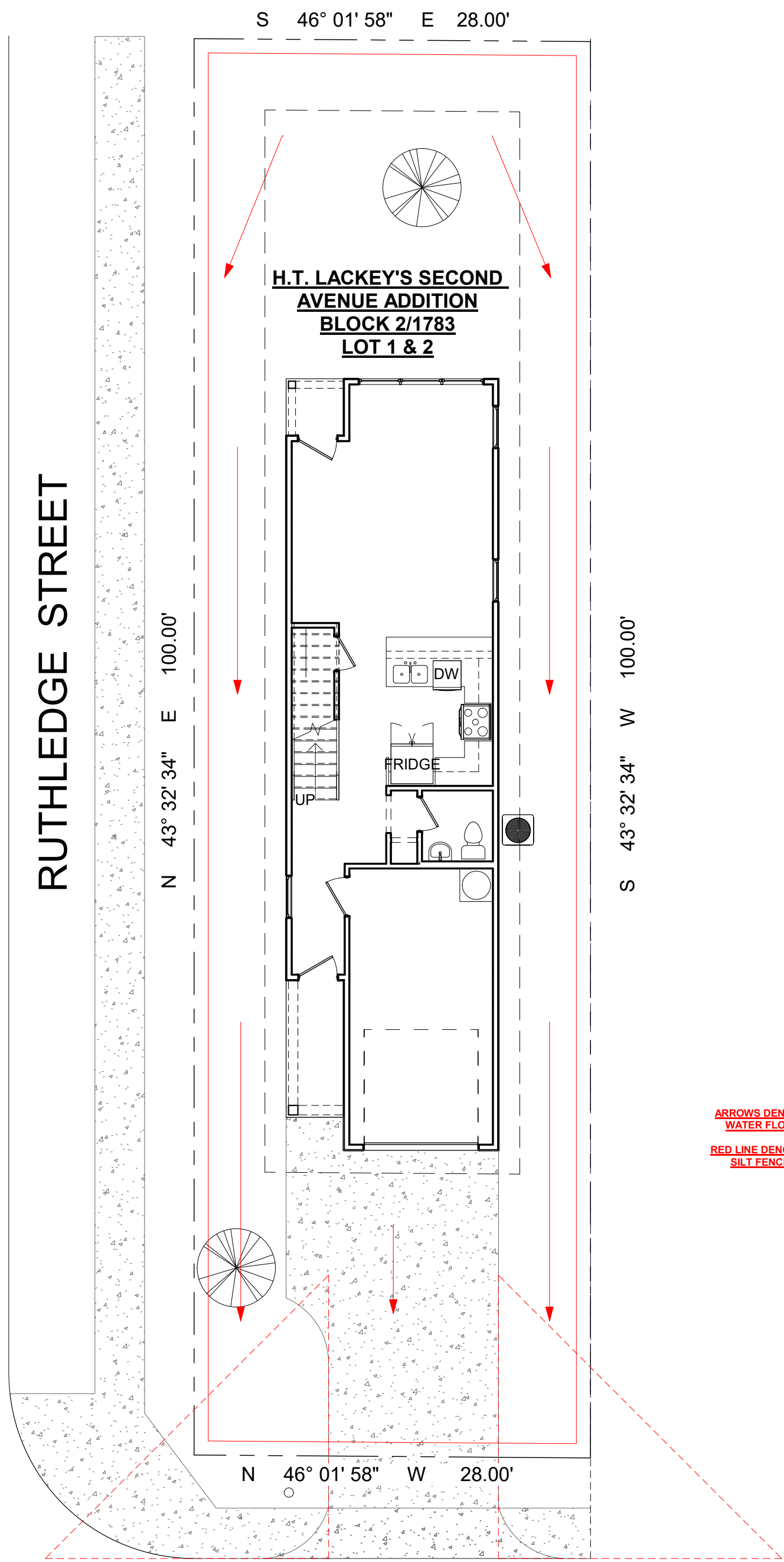
Thank you for submitting your Address Assignment-Change, ADDR-25-000068 We regret to inform you that your application has been denied for the following reason(s):

4000 Coolidge St was assigned for Lot 1 in 2023. No address creation required. Please apply under 4000 Coolidge.

If you have any questions, please feel free to contact us via the contact information below.

Sincerely,  
City of Dallas  
Addressing  
214-948-4480  
320 E. Jefferson Blvd. Room LL07, Dallas, TX  
[pdvaddressing@dallas.gov](mailto:pdvaddressing@dallas.gov)





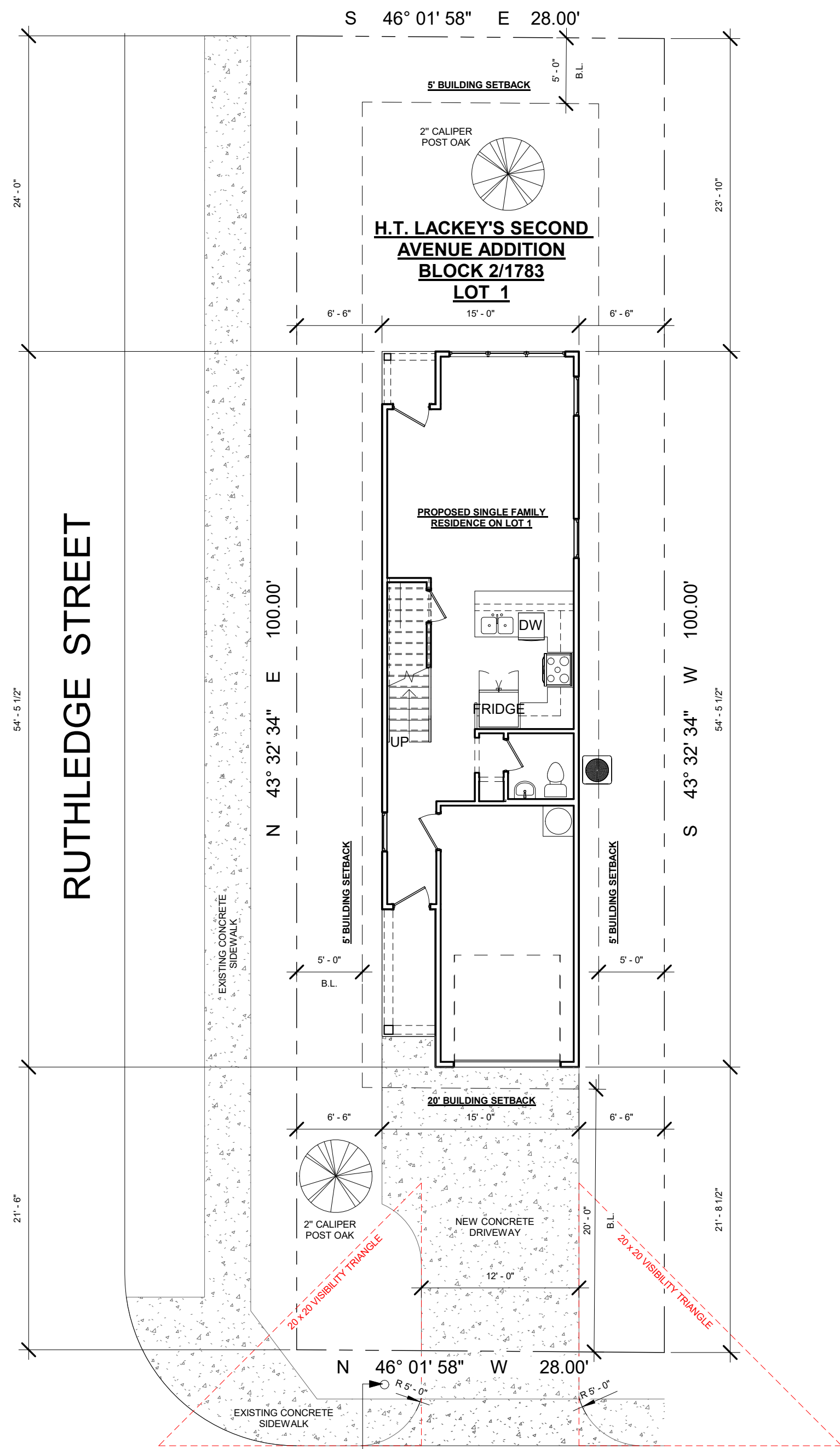
TRUE NORTH

2 DRAINAGE PLAN  
1/8" = 1'-0"

**ZONING: PD 595 R-5(A)**  
**LOT COVERAGE PER ZONING: 45%**  
**LOT AREA: 2,800 SF**  
**HOUSE AREA: 808 SF**  
**LOT COVERAGE: 29%**

**GENERAL SITE PLAN NOTES:**  
1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.  
2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 8" BELOW GRADE AND 4" BELOW BEAMS.

**GENERAL NOTES:**  
1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
3.) Contractor must verify all dimensions and scale drawings.



TRUE NORTH

1 SITE PLAN  
1/8" = 1'-0"

**BRESSLER**

4000 Coolidge Street  
H.T. Lackey's Second  
Avenue Addition  
Block 2/1783 Lot 1  
Dallas, Texas 75215

**ISSUE FOR PERMIT**

June 13, 2025



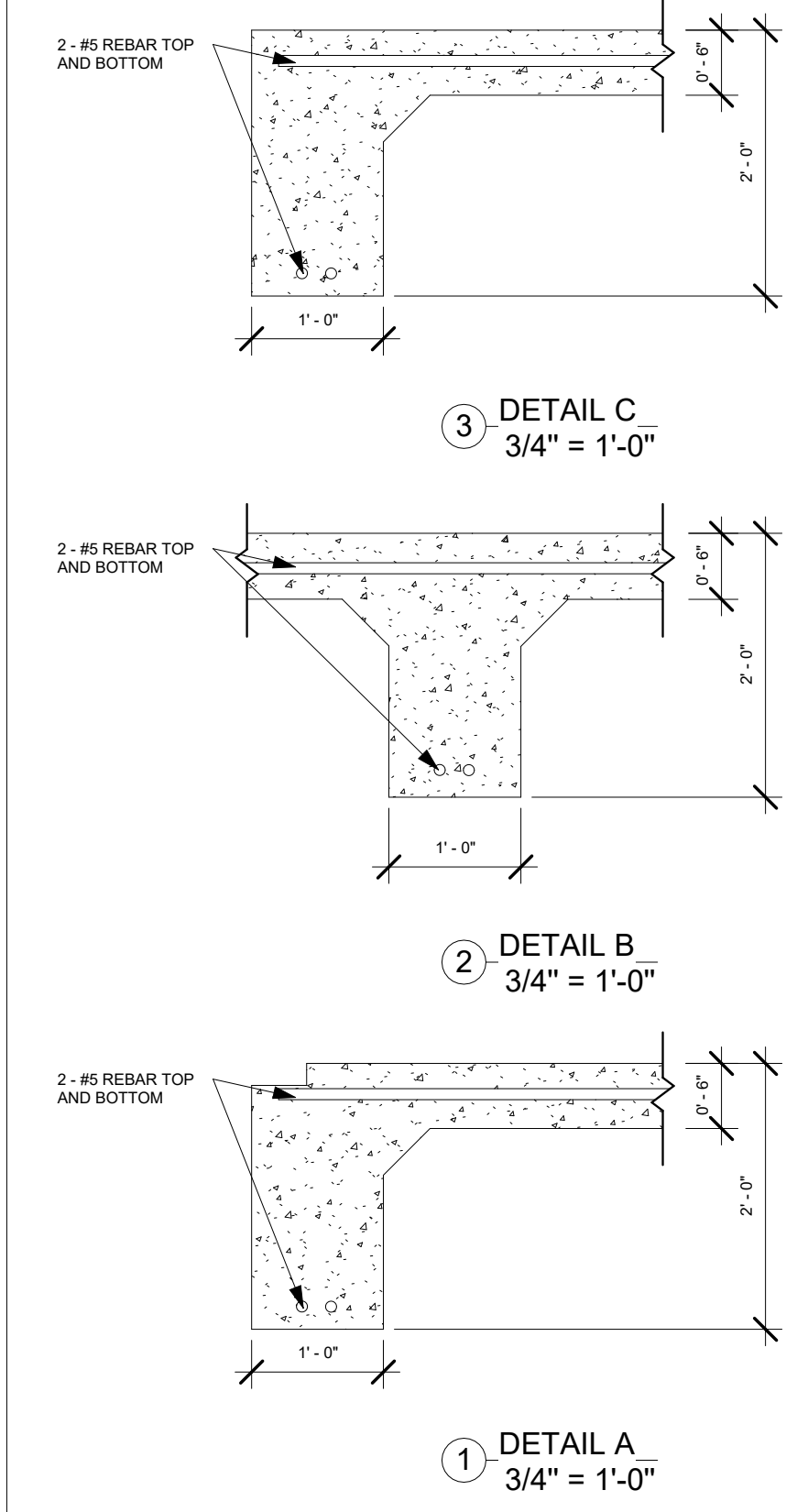
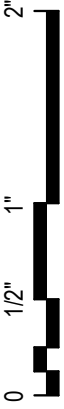
06/13/2025

Title  
**SITE & DRAINAGE PLAN**

Sheet

**A-001**

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DC TEXAS ARCHITECTURE

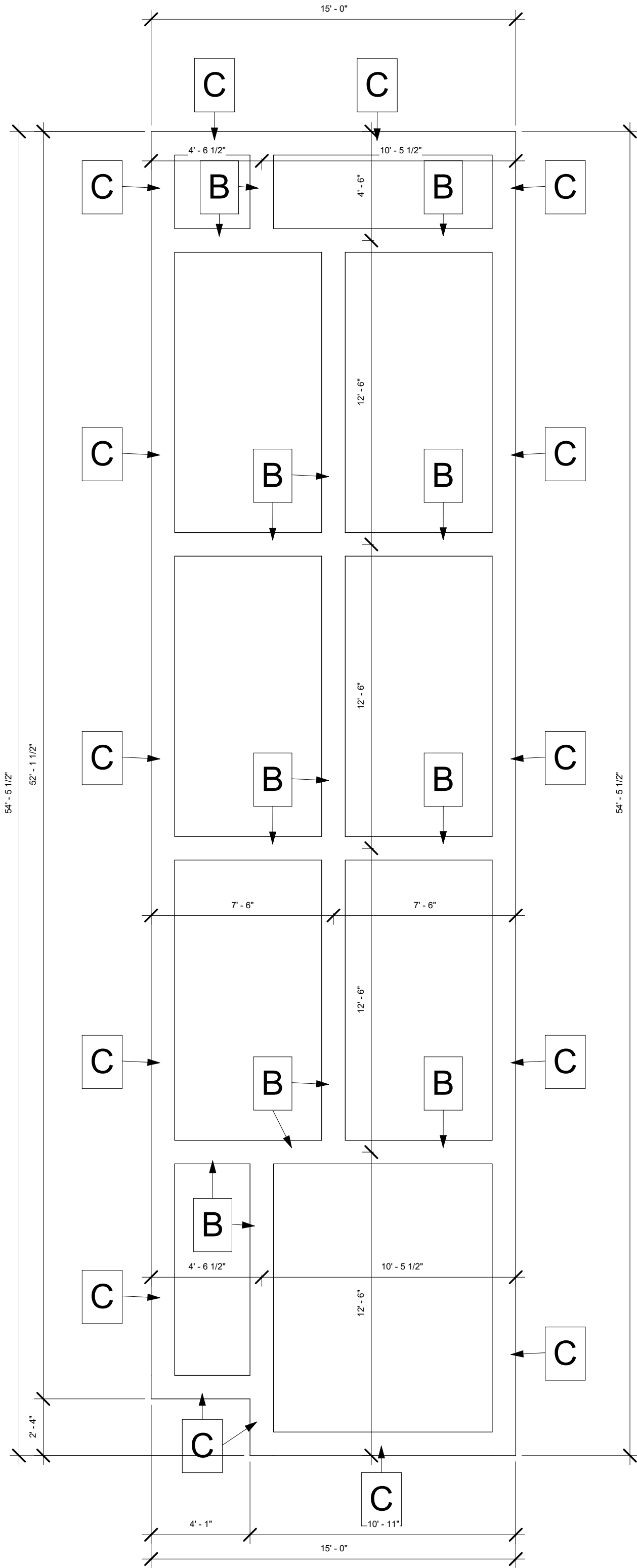


#### GENERAL FOUNDATION PLAN NOTES:

- 1.) ALL EXTERIOR BEAMS 12" x 24" W 2-#5 REBAR TOP & BOTTOM (INTERIOR: 12" x 24").
- 2.) ALL CONCRETE TO BE 3500 P.S.I. MIN.
- 3.) 4" CUSHION SAND UNDER SLAB W/8 MILL POLY COVER BETWEEN SAND & CONCRETE.
- 4.) SEE SECTIONS FOR DETAILS.
- 5.) REBAR IN SLAB TO BE #3 @ 16" O.C. EACH WAY.
- 6.) MINIMUM REBAR OVERLAP 30 x DIA.
- 7.) SLAB THICKNESS 6" MINIMUM.
- 8.) ALL BEAMS MUST BE MINIMUM 14" INTO UNDISTURBED SOIL.

#### GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.



1 ARCHITECTURAL FOUNDATION PLAN  
1/4" = 1'-0"







WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3'-0"	6'-0"	FIXED	7'-0"
B	3'-0"	6'-0"	SINGLE-HUNG	7'-0"
C	3'-0"	1'-6"	FIXED	7'-0"
D	3'-0"	5'-0"	SINGLE-HUNG	7'-0"

NOTE:  
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED, R-VALUE TO MEET CODE.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	2'-8"	6'-8"	LEFT	EXT. FULL LITE
2	2'-4"	6'-8"	RIGHT	HOLLOW CORE
3	2'-4"	6'-8"	RIGHT	HOLLOW CORE
4	2'-8"	6'-8"	RIGHT	EXT. SOLID CORE
5	2'-8"	8'-0"	RIGHT	EXT. FULL LITE
6	8'-0"	7'-0"	OVERHEAD	GARAGE
7	2'-8"	6'-8"	RIGHT	HOLLOW CORE
8	2'-4"	6'-8"	LEFT	HOLLOW CORE
9	2'-4"	6'-8"	RIGHT	HOLLOW CORE
10	2'-4"	6'-8"	LEFT	HOLLOW CORE
11	2'-8"	6'-8"	RIGHT	HOLLOW CORE
12	2'-4"	6'-8"	LEFT	HOLLOW CORE
13	2'-8"	6'-8"	RIGHT	HOLLOW CORE
14	2'-8"	6'-8"	RIGHT	HOLLOW CORE
15	2'-4"	6'-8"	RIGHT	HOLLOW CORE
AA	2'-8"	6'-8"		DW OPENING
BB	1'-10"	6'-8"		CABINET FRONT

ABBREVIATIONS:  
DW EB ARCH - DRY WALL EYEBROW ARCH.  
EXT - EXTERIOR

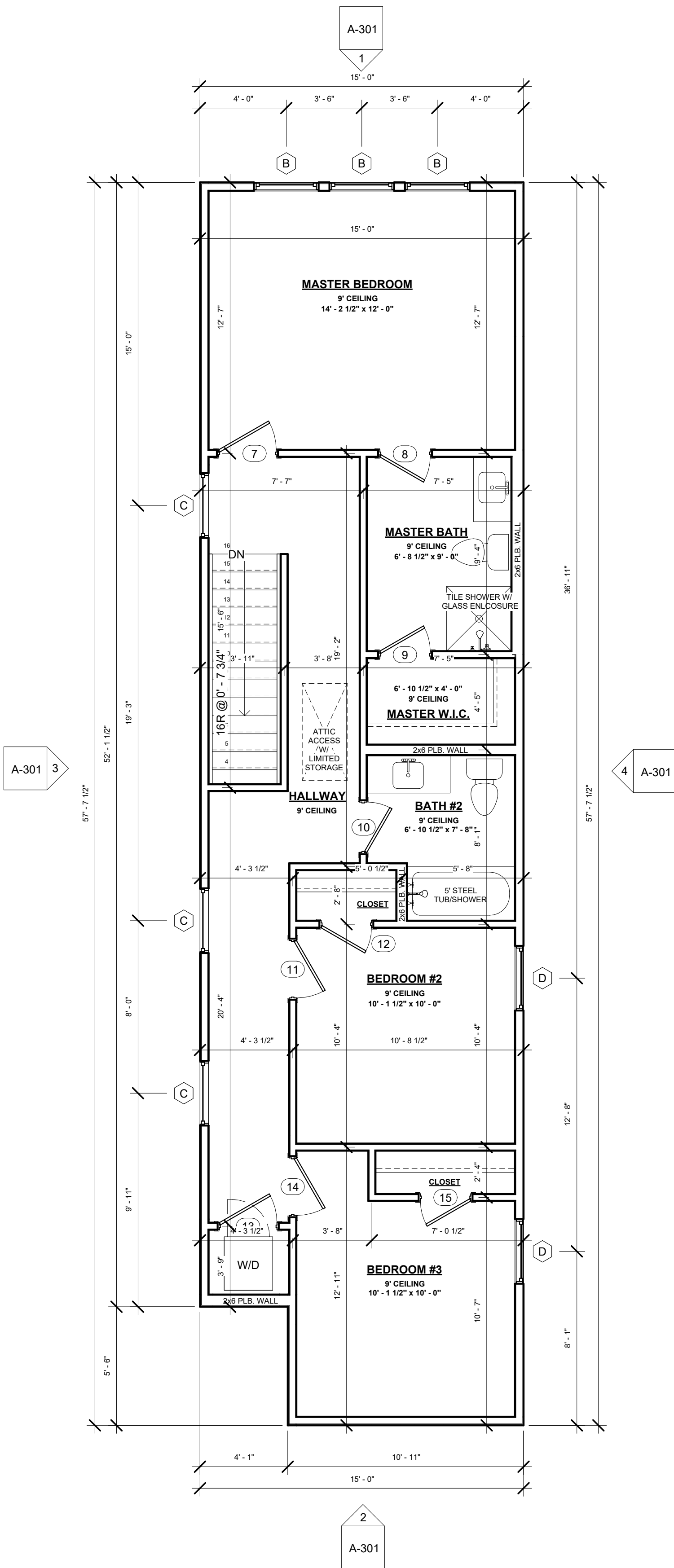
#### GENERAL FLOOR PLAN NOTES:

- GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- CASED DOOR OPENINGS PER BUILDER SPEC.
- UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- UPPER CABINETS IN UTILITY PER OWNER SPEC.
- TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- CLOSET SHELVES PER OWNER SPEC.
- ALL WALLS ARE DIMENSIONED 4" NOMINAL, BRICK 5", NOMINAL.
- PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- ALL WATER HEATERS ARE TO BE 18" A.F.F.
- AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

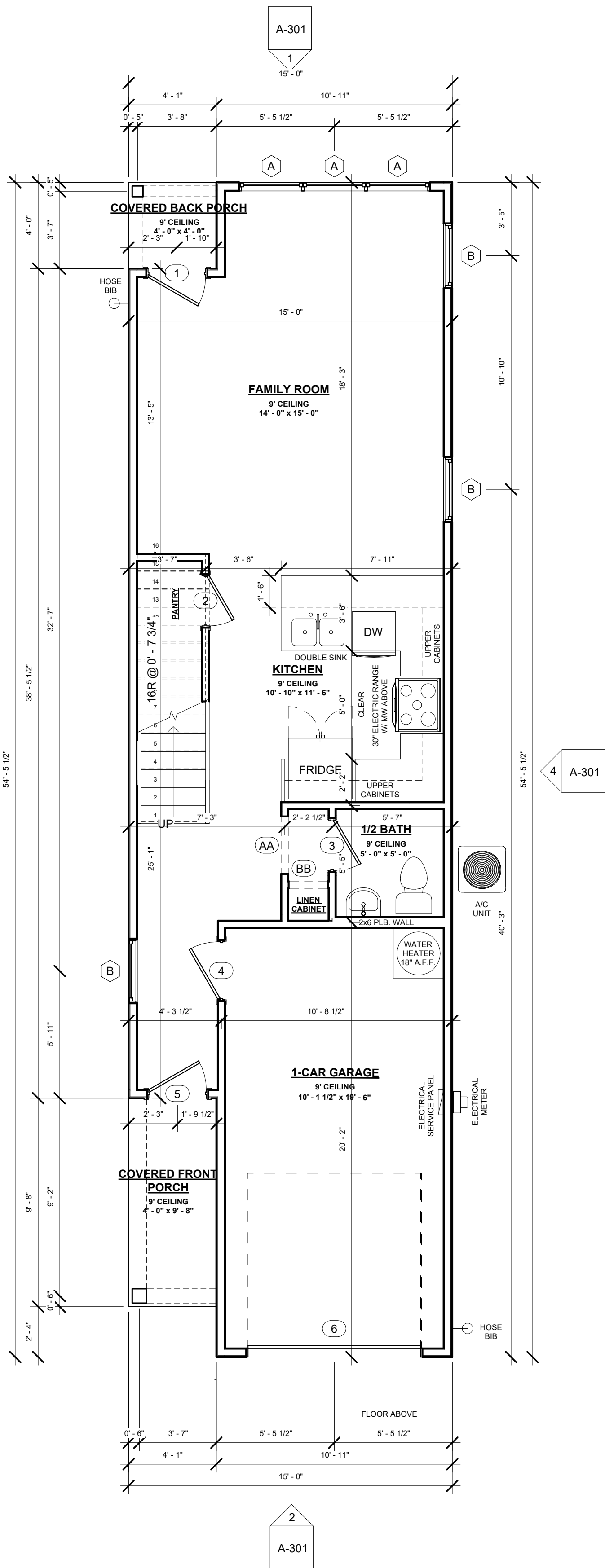
AREA TOTALS	
FIRST FLOOR LIVING	534 SF
SECOND FLOOR LIVING	744 SF
	1278 SF
1-CAR GARAGE	218 SF
	218 SF
COVERED FRONT PORCH	39 SF
COVERED BACK PORCH	16 SF
	55 SF
FOUNDATION	808 SF
	808 SF

#### GENERAL NOTES:

- These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- Contractor must verify all dimensions and scale drawings.



2 SECOND FLOOR PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

## BRESSLER

4000 Coolidge Street  
H.T. Lackey's Second  
Avenue Addition  
Block 2/1783 Lot 1  
Dallas, Texas 75215

**ISSUE FOR PERMIT**  
June 13, 2025



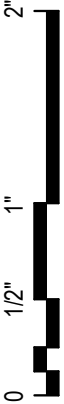
06/13/2025

Title  
**FLOOR PLAN**

Sheet

**A-101**

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DC TEXAS ARCHITECTURE



ROOF LEGEND	
SYMBOL	DESCRIPTION
	30 YEAR ASPHALT COMPOSITION SHINGLE ROOF
	METAL GUTTER
	METAL ROOF

GENERAL ROOF PLAN NOTES:

- 1.) NO VENT STACKS AND PENETRATIONS TO BE LOCATED ON THE FRONT OF THE HOUSE AND VISIBLE FROM THE STREET.  
2.) VENT STACKS AND PENETRATION TO BE PAINTED TO MATCH ROOF COLOR.  
3.) GUTTERS TO BE PAINTED TO MATCH EXTERIOR TRIM.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
3.) Contractor must verify all dimensions and scale drawings.

A-301 3

A-301 1

4" / 12"

A-301 4

A-301 2

1 ROOF PLAN  
1/4" = 1'-0"



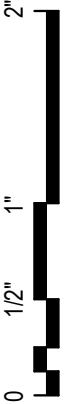
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Title  
ROOF PLAN

Sheet

A-102





**GENERAL ELECTRICAL PLAN NOTES:**

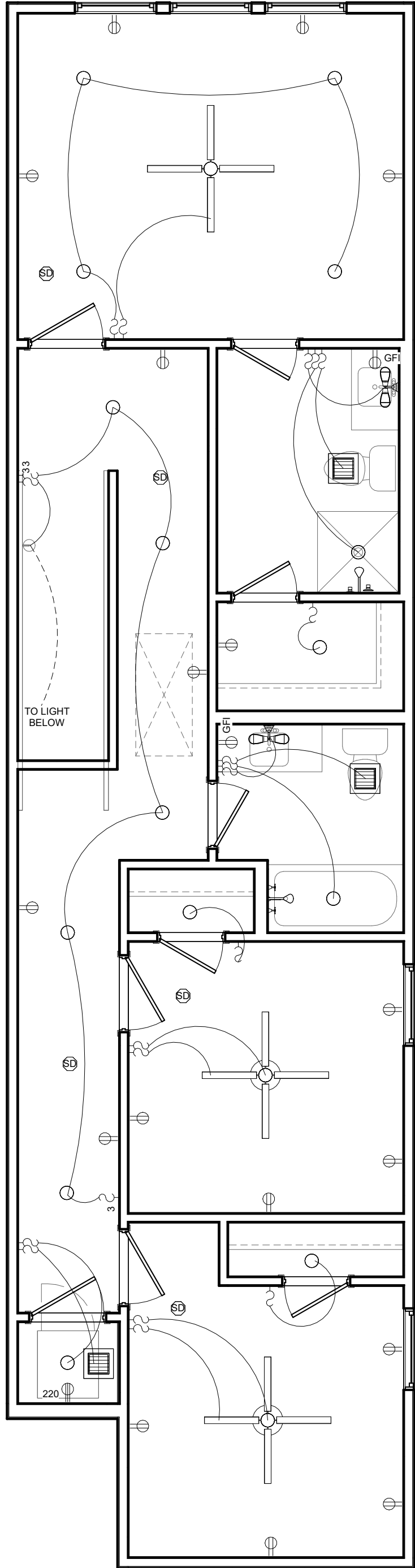
- 1.) VERIFY ALL EXTERIOR ELECTRICAL, FLOOR PLUGS, PHONE & TV JACKS, SECURITY & SOUND SYSTEM WIRING WITH OWNER PRIOR TO CONSTRUCTION PROJECT.
- 2.) INSTALL ARC FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL SLEEPING ROOMS.
- 3.) DEDICATED CIRCUITS FOR ALL APPLIANCES.
- 4.) PROVIDE SWITCHED LIGHTING & 110 VOLT RECEPTACLE IN ATTIC @ MECHANICAL PLATFORM.
- 5.) PLANS MUST COMPLY WITH CURRENT CITY ADOPTED ELECTRICAL CODE.

**ELECTRICAL SYMBOLS**

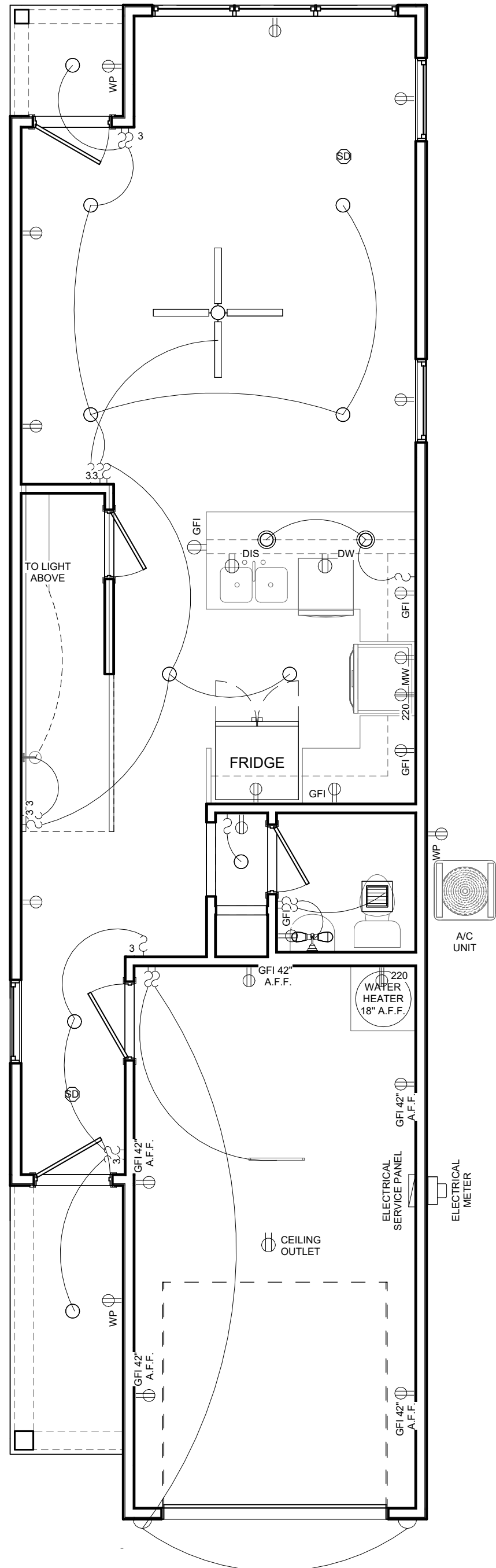
	SWITCH		LED 6" RECESSED CAN LIGHT
	3-WAY SWITCH		SURFACE MOUNT LIGHT
	DUPLEX RECEPTACLE		LED WALL MOUNT SCONCE
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE		SINGLE LED WALL SCONCE
	220 VOLT DUPLEX RECEPTACLE		UNDER CABINET/ROPE LIGHTS
	WEATHER PROOF DUPLEX RECEPTACLE		FLOOD LIGHT
	42" ABOVE FINISH FLOOR		LED UPLIGHT
	FLOOR DUPLEX RECEPTACLE		EXTERIOR LED SCONCES
	ELECTRICAL PANEL		EXTERIOR GOOSENECK LIGHT
	ELECTRICAL METER		LED CHANDELIER
	SMOKE/CARBON MONOXIDE DETECTOR COMBO		CEILING FAN
	EXHAUST FAN		CEILING FAN WITH LIGHT KIT
	LED STRIP LIGHT		
	LED PENDANT LIGHT		

**GENERAL NOTES:**

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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- 3.) Contractor must verify all dimensions and scale drawings.



② SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



① FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



06/13/2025

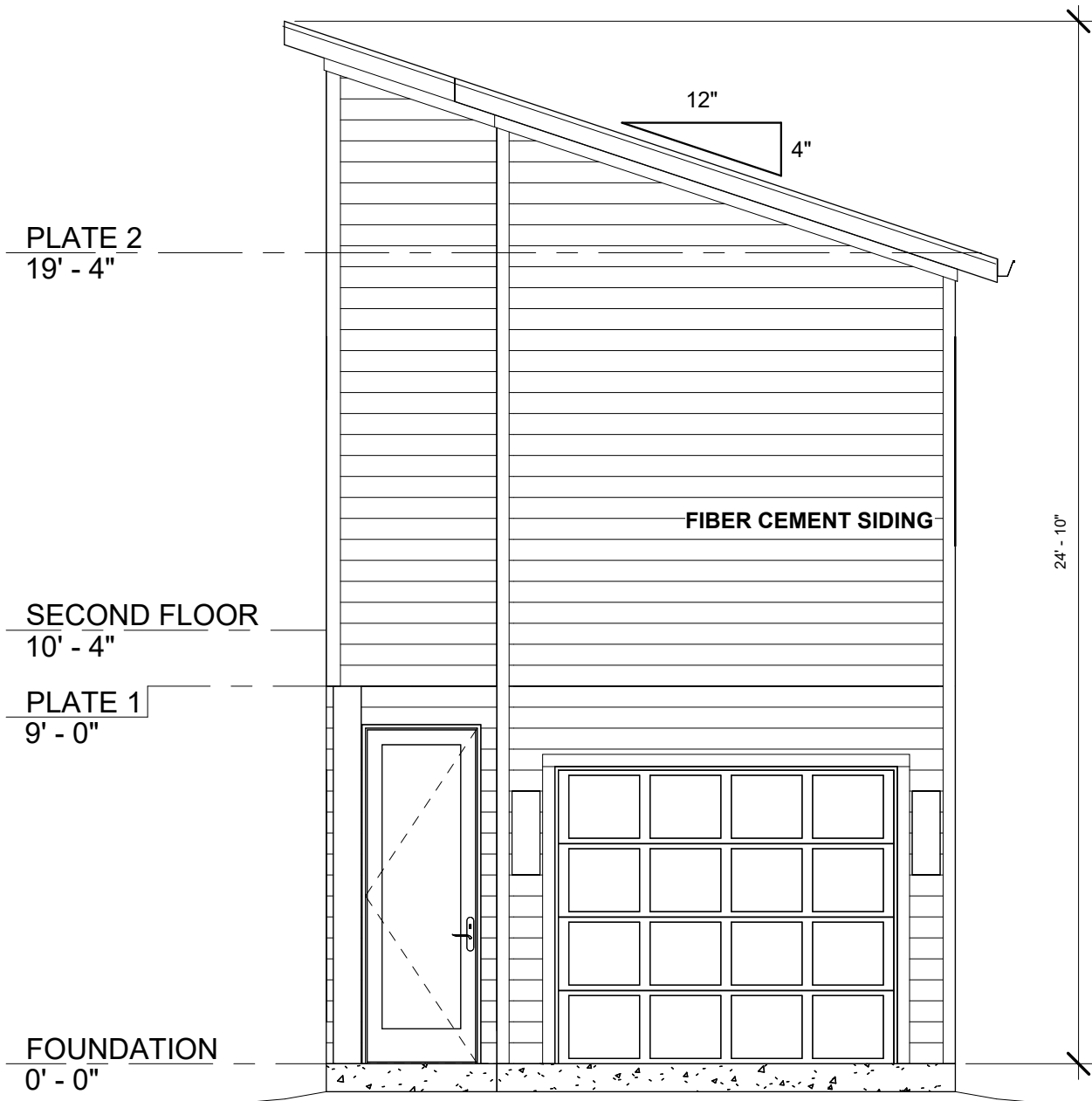
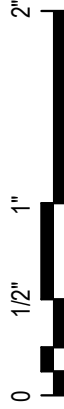
Title  
**ELECTRICAL PLAN**

Sheet

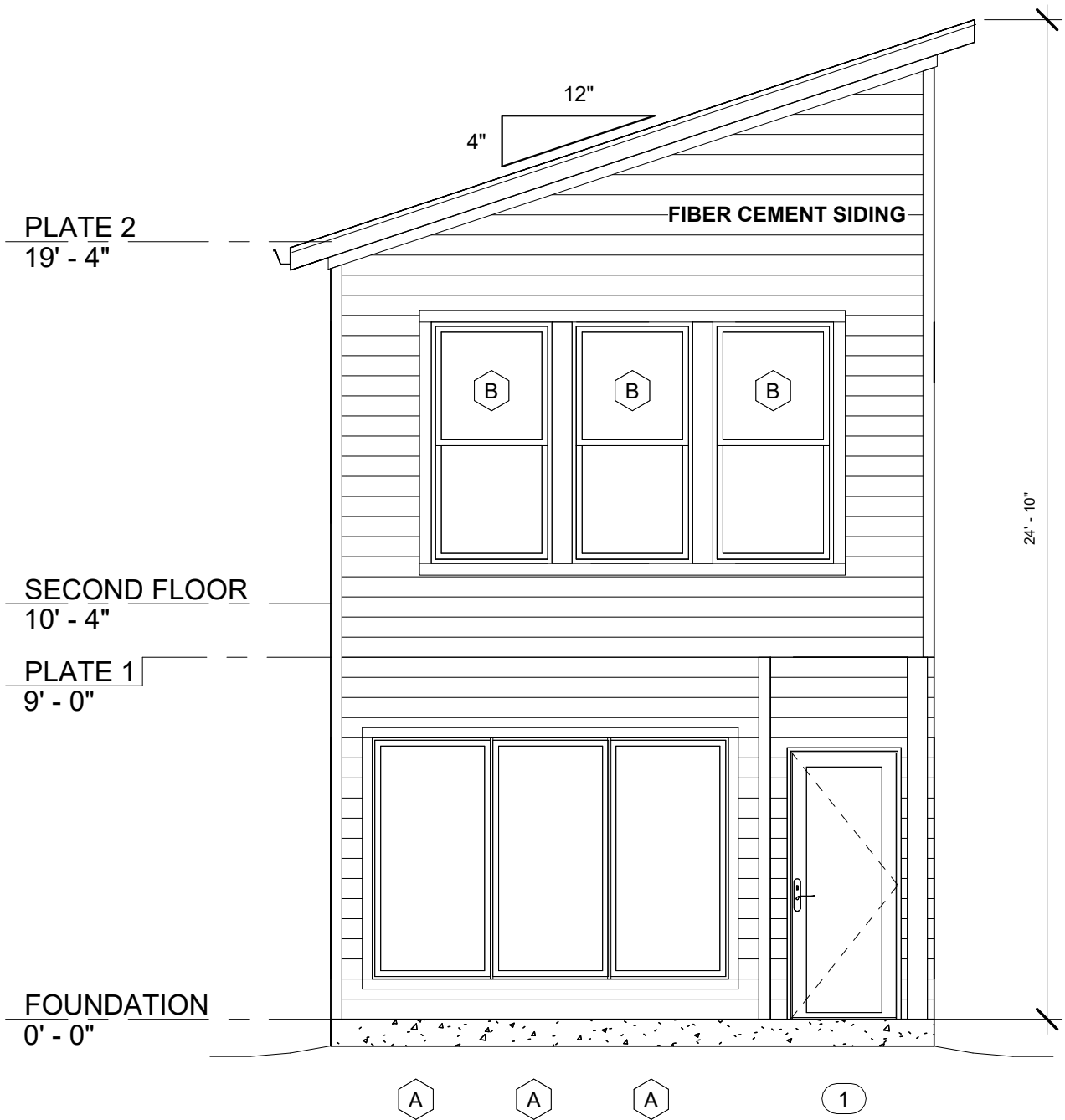
**A-241**

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2 FRONT ELEVATION  
1/4" = 1'-0"



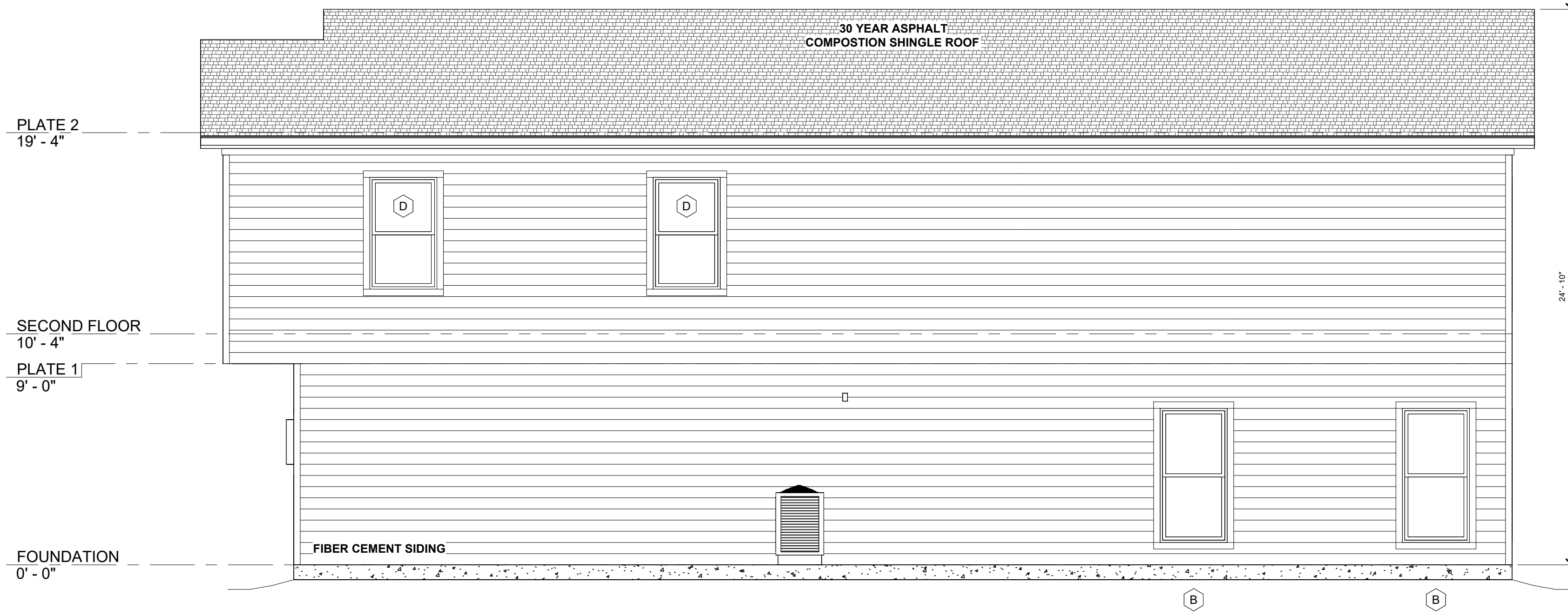
1 REAR ELEVATION  
1/4" = 1'-0"

**GENERAL NOTES:**

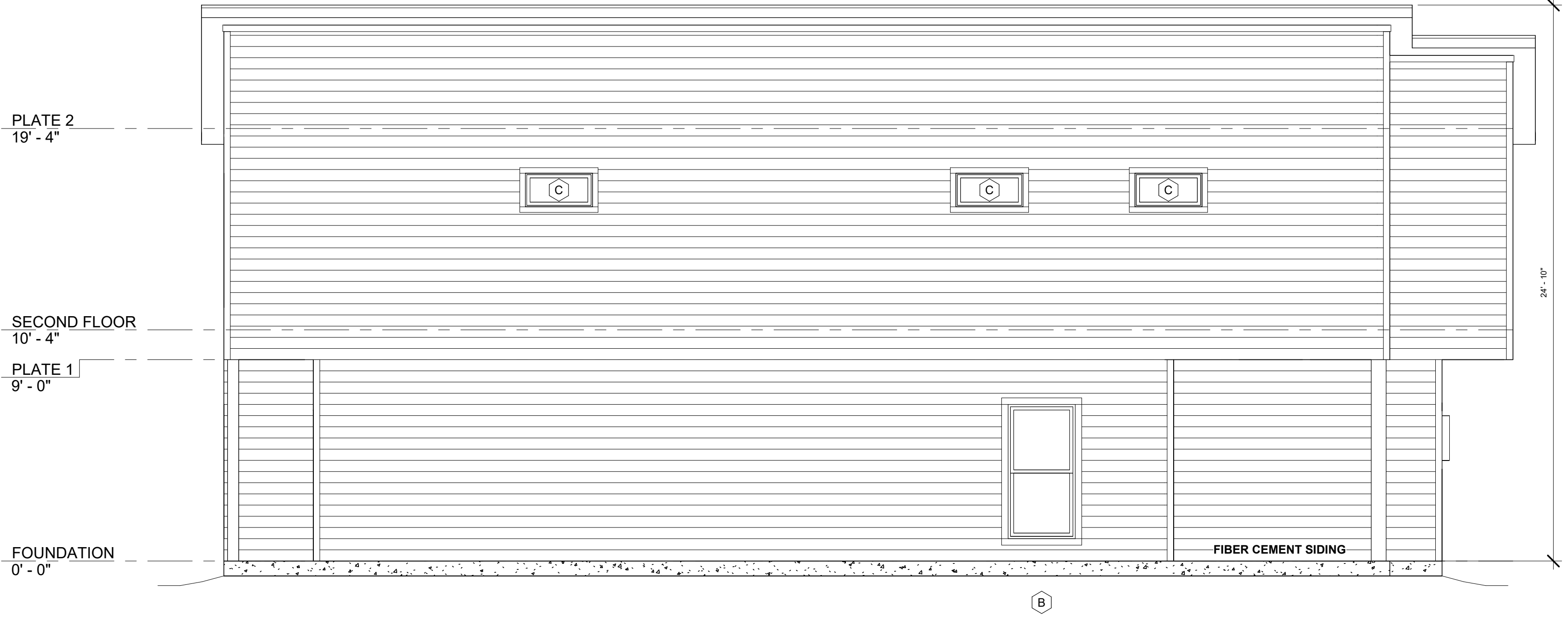
- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.

**GENERAL ELEVATION NOTES:**

- 1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.



4 RIGHT ELEVATION  
1/4" = 1'-0"



3 LEFT ELEVATION  
1/4" = 1'-0"



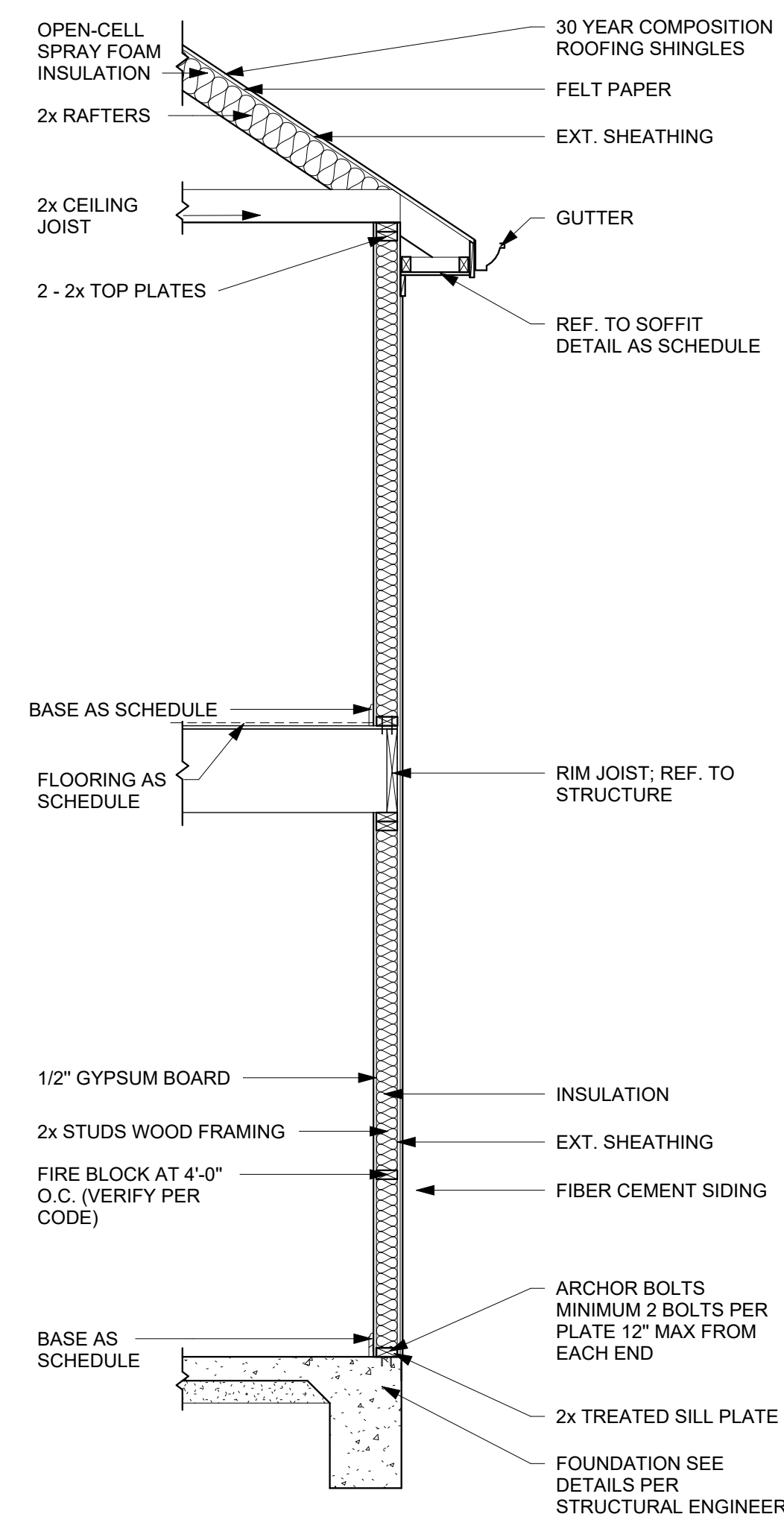
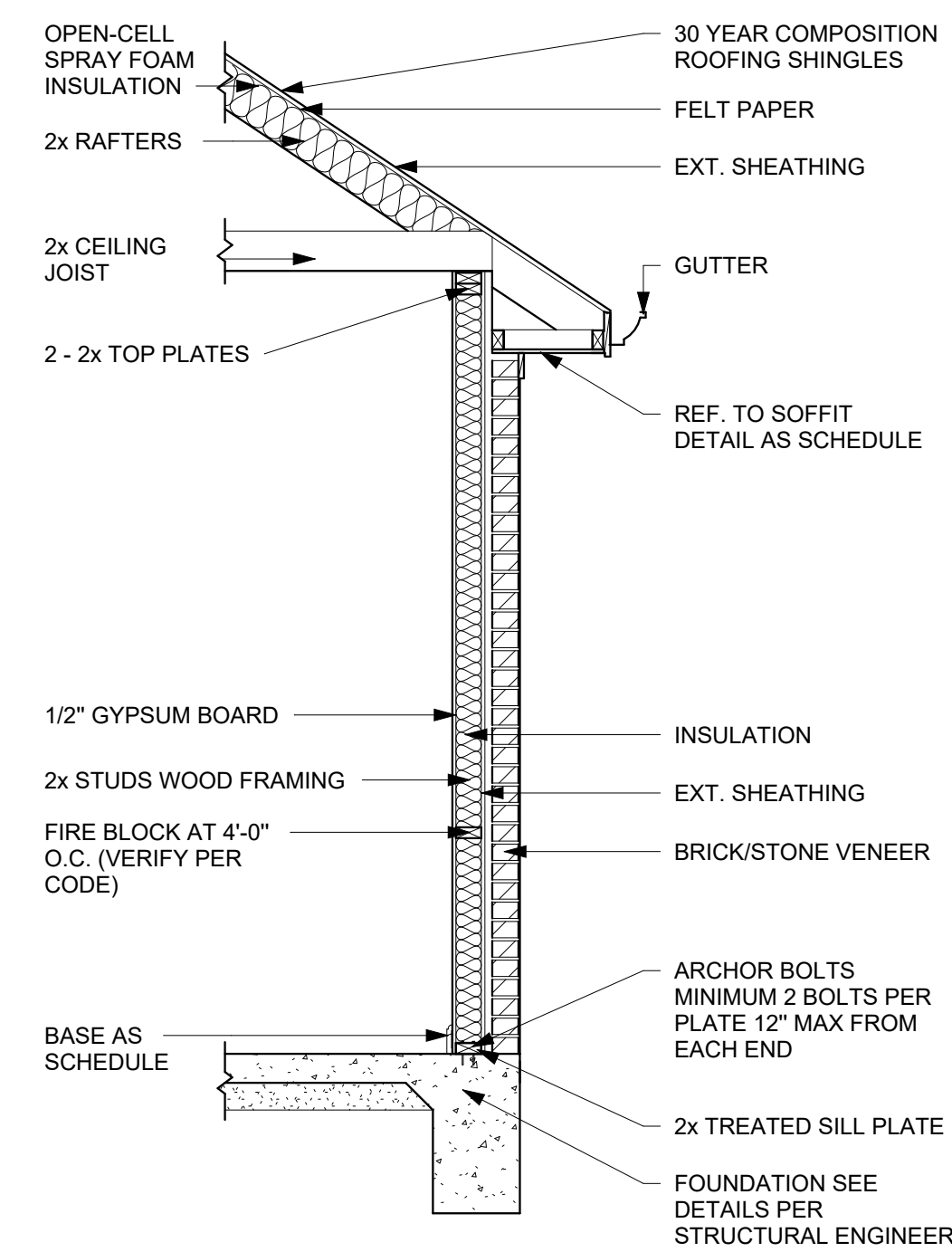
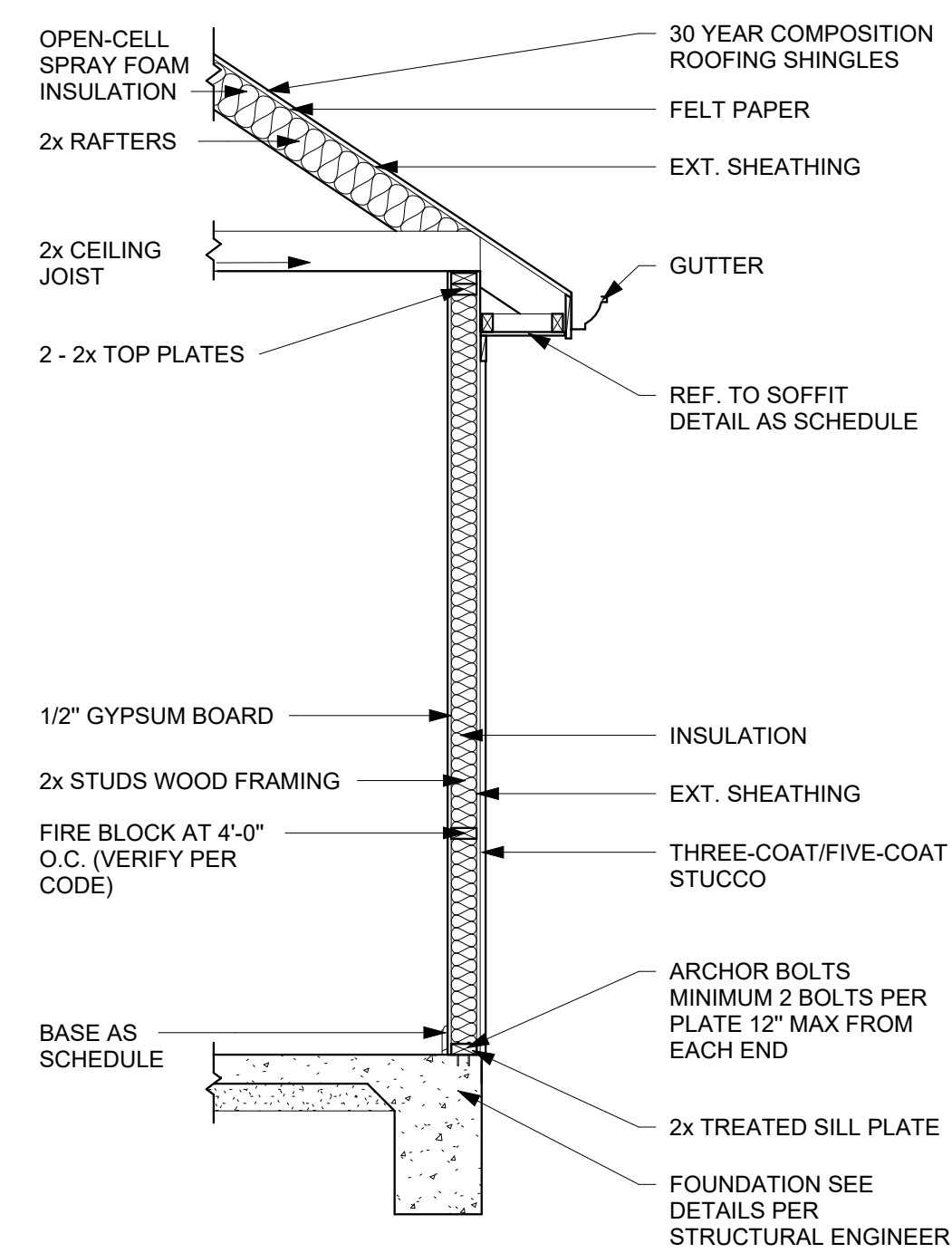
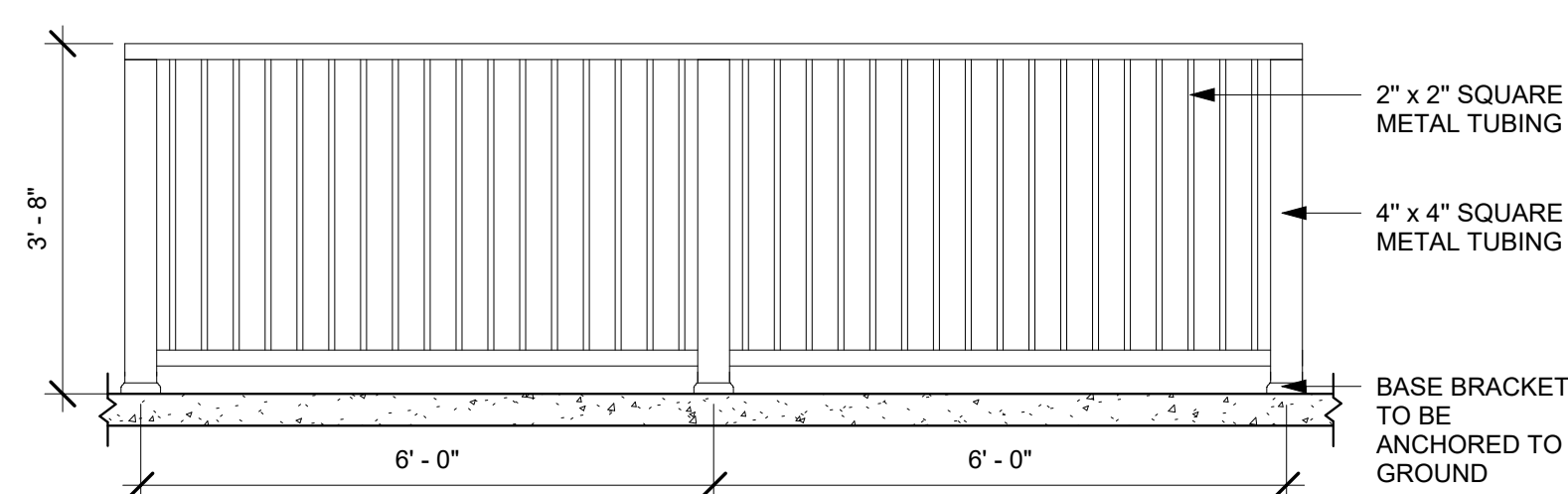
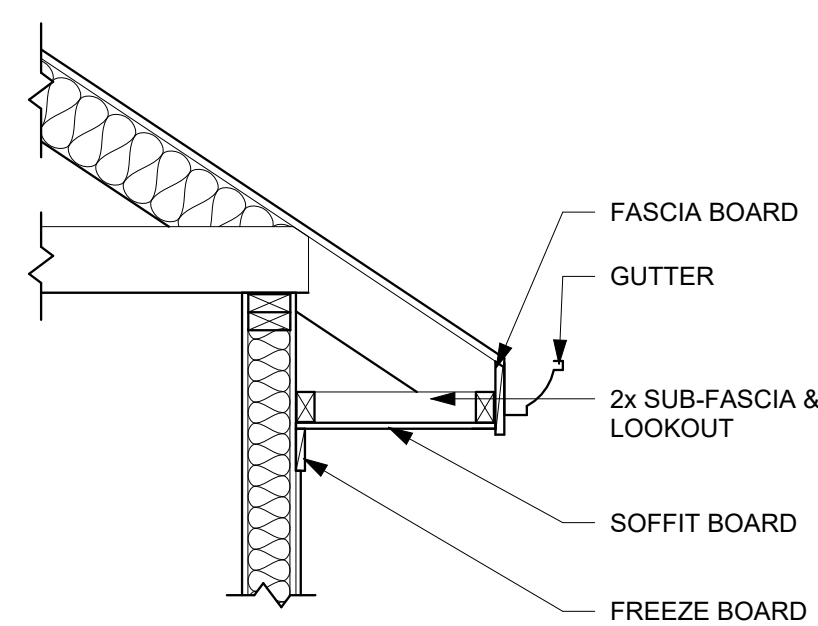
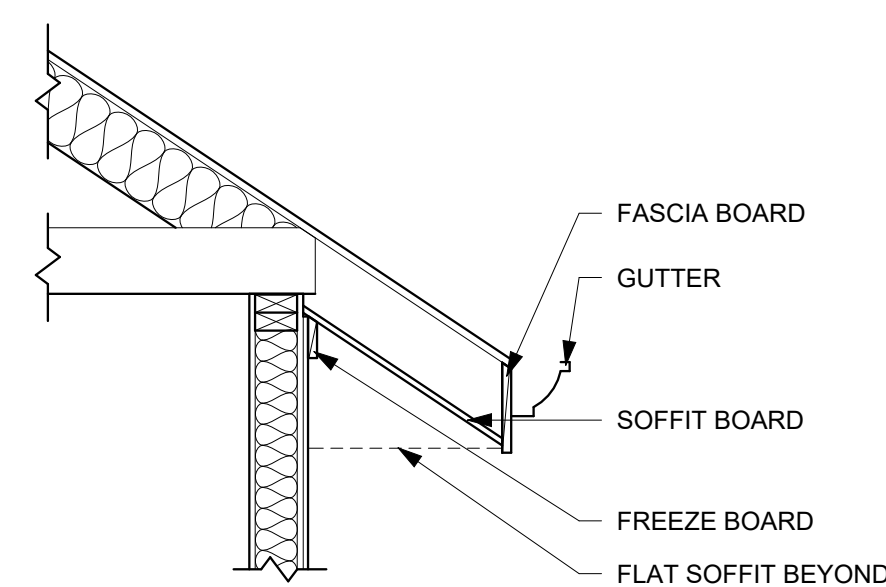
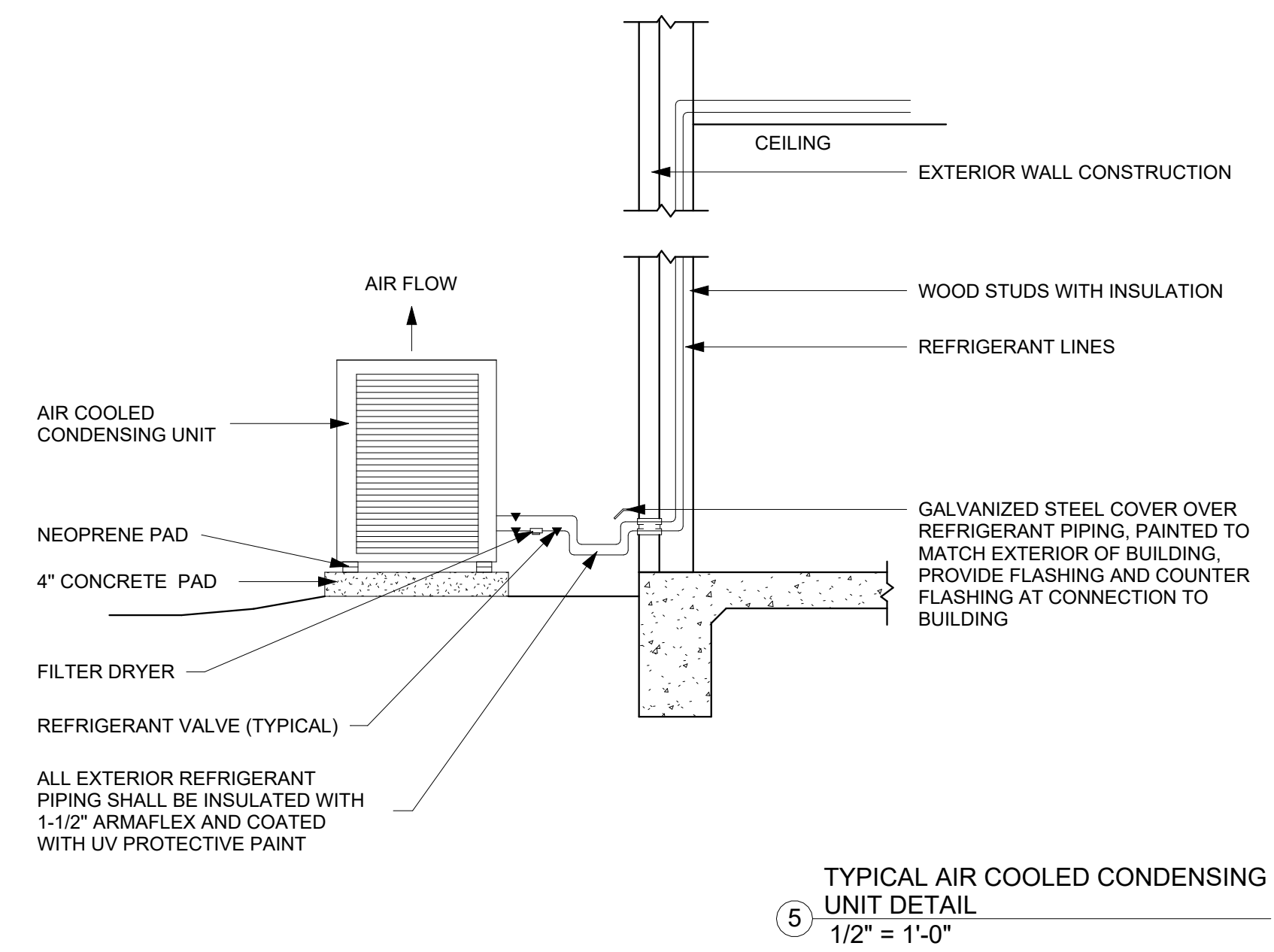
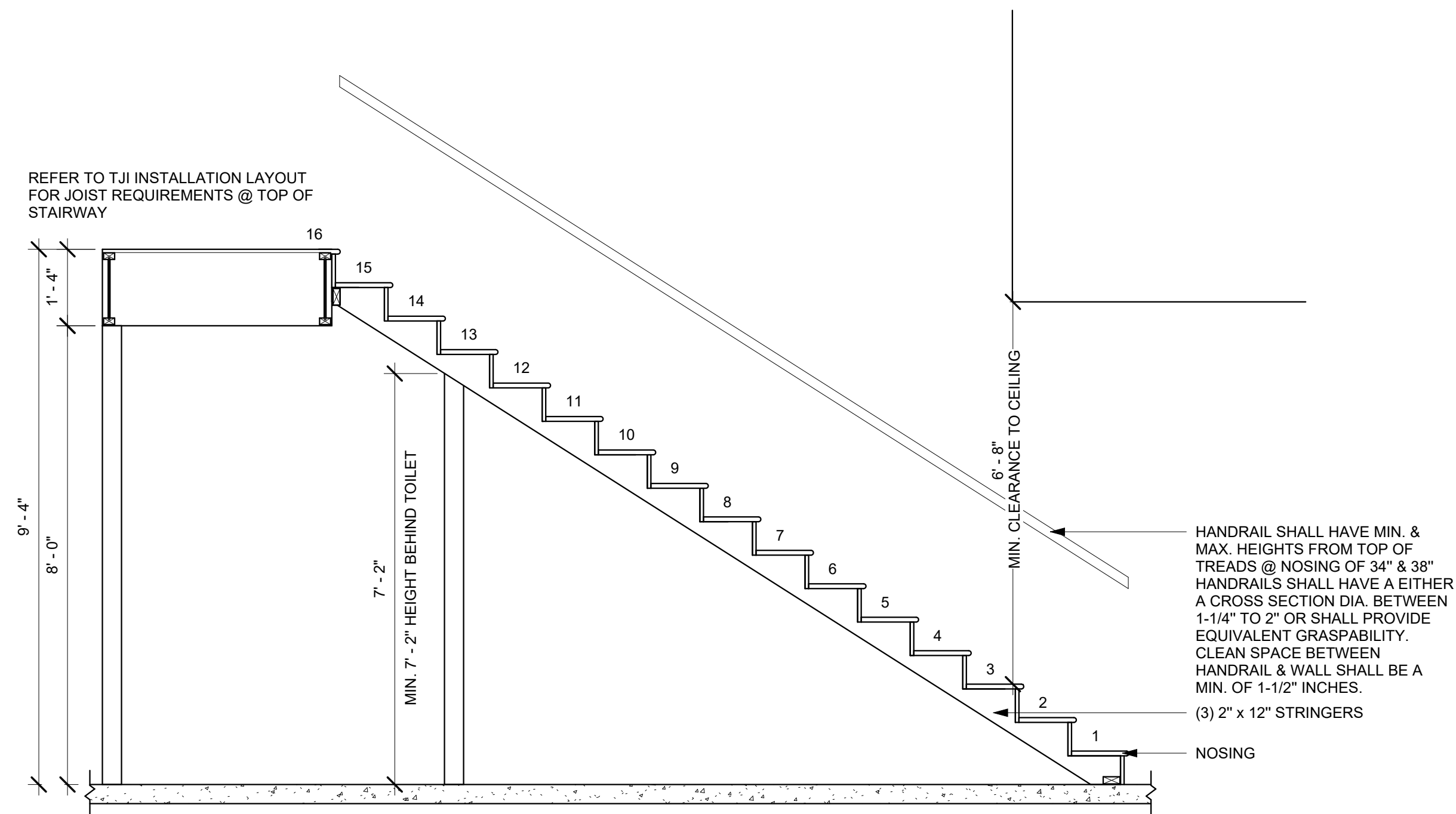
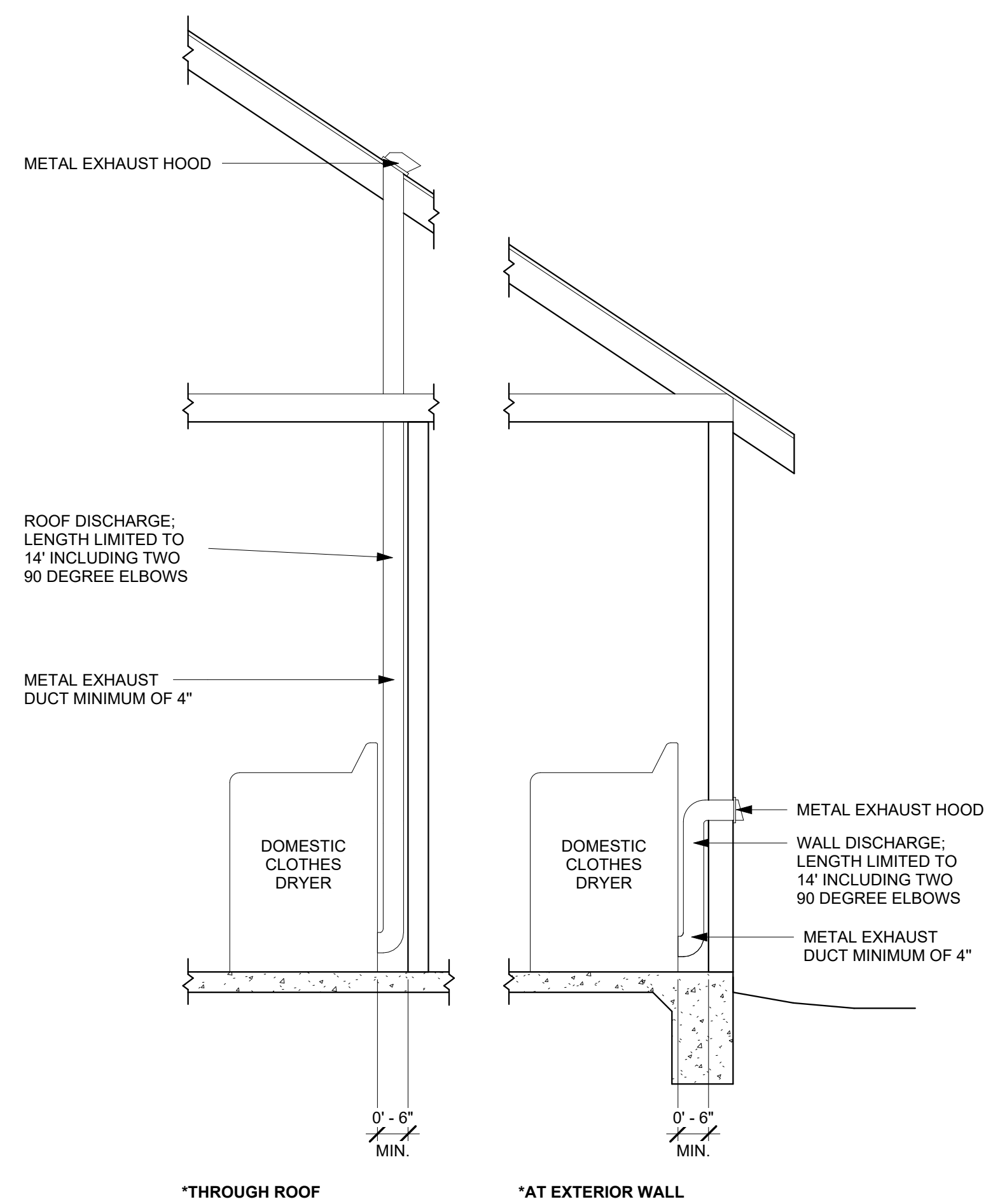
06/13/2025

Title  
**ELEVATIONS**

Sheet

**A-301**

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- 3.) Contractor must verify all dimensions and scale drawings.

**BRESSLER**

**4000 Coolidge Street  
H.T. Lackey's Second  
Avenue Addition  
Block 2/1783 Lot 1  
Dallas, Texas 75215**

**ISSUE FOR  
PERMIT**  
June 13, 2025



06/13/2025

Title

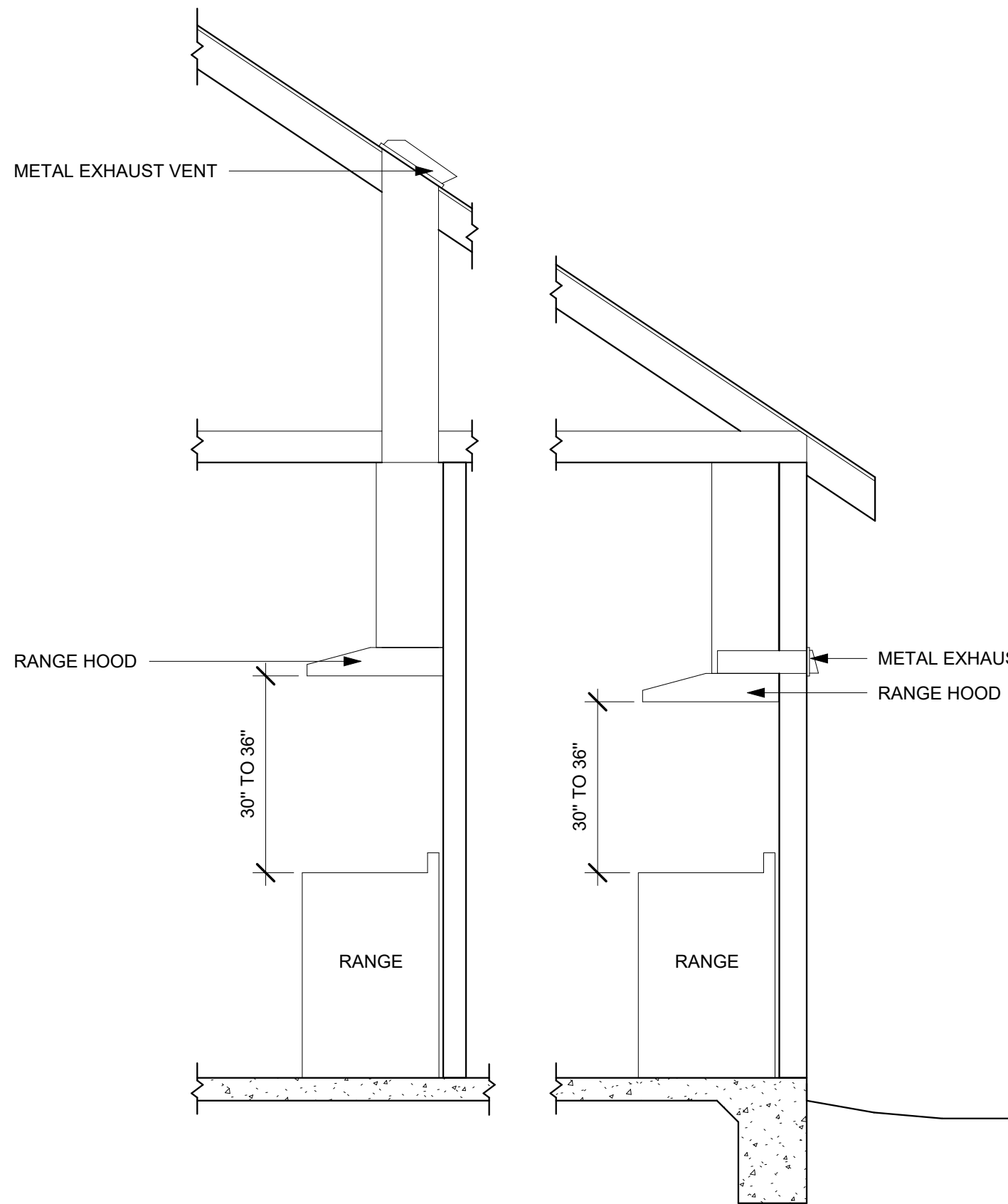
**TYPICAL DETAILS**

Sheet

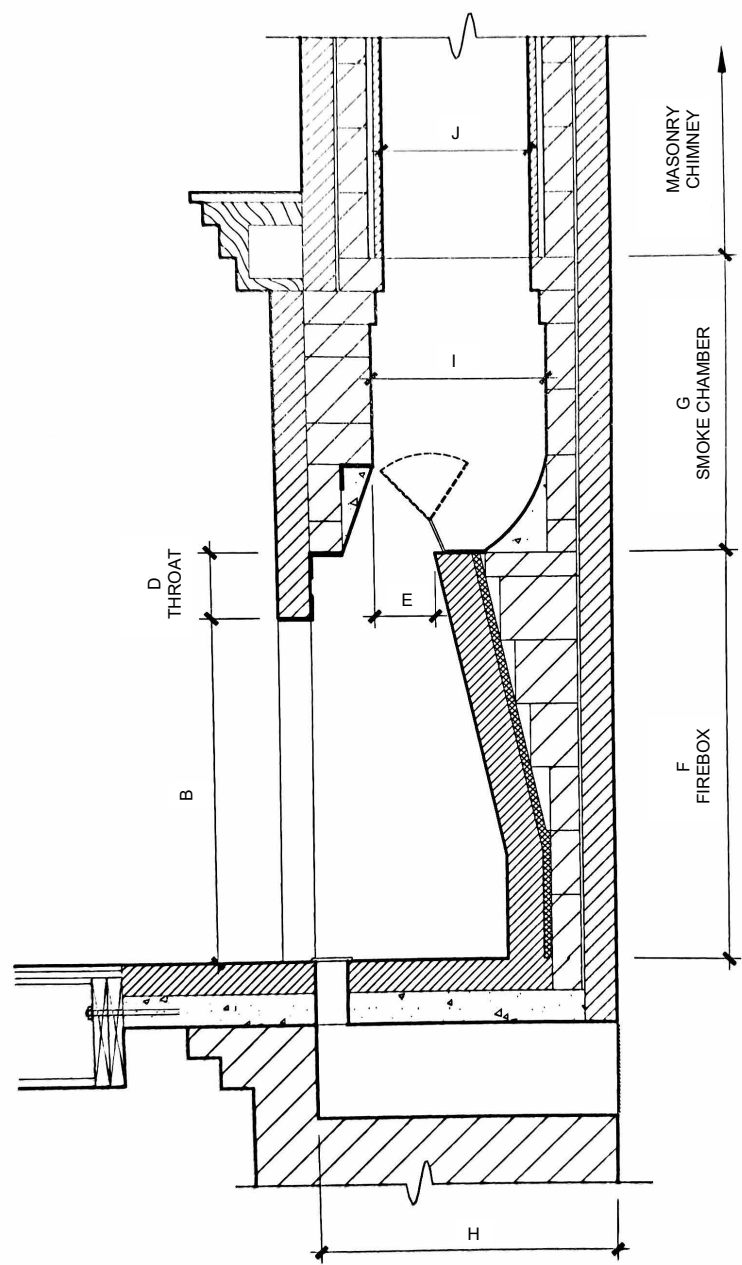
**A-401**

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⑤ TYPICAL KITCHEN VENT  
1/2" = 1'-0"



④ TYPICAL MASONRY FIREPLACE  
SECTION  
1/2" = 1'-0"

**GENERAL NOTES:**

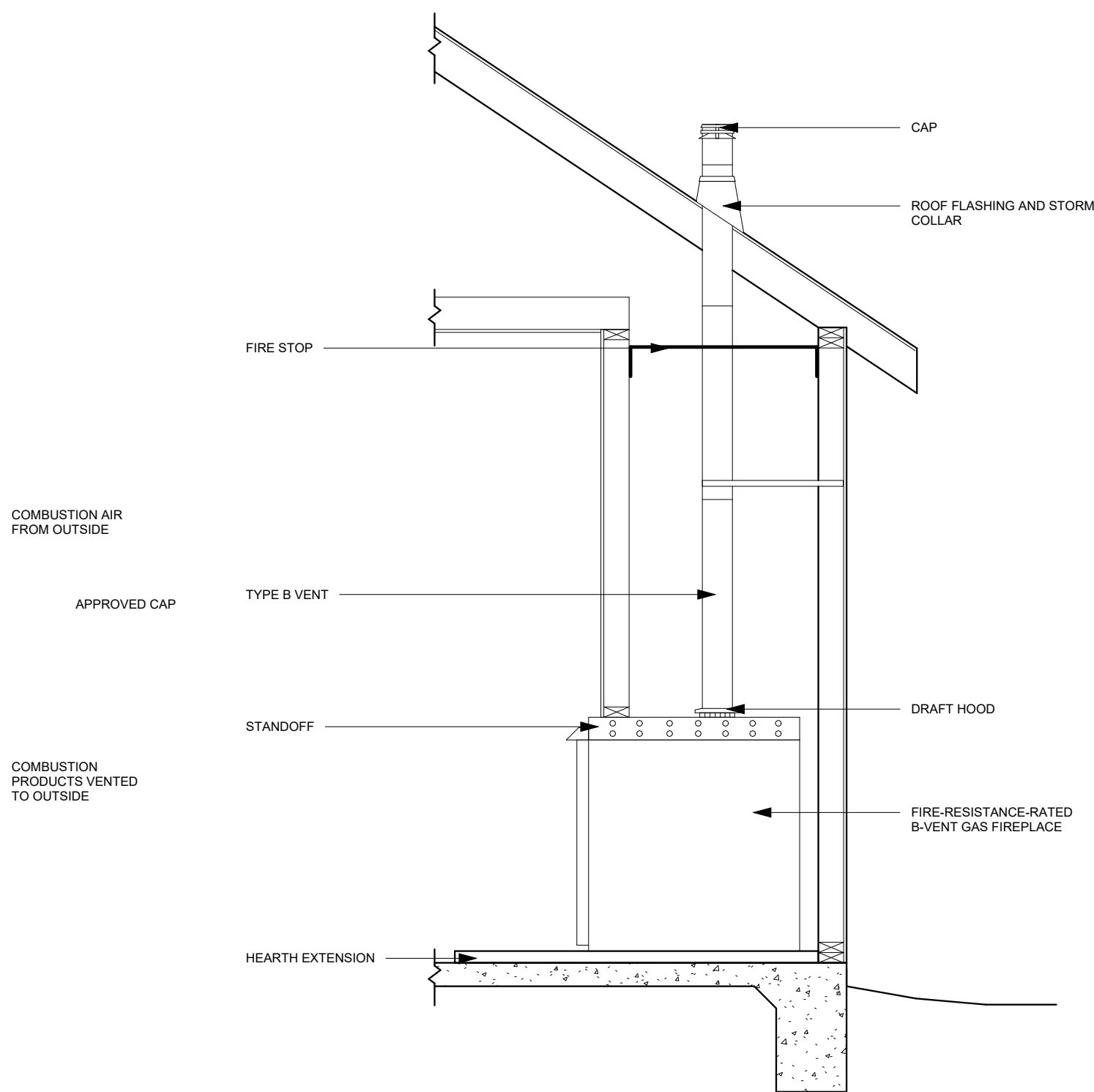
- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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\*ARCHITECTURAL GRAPHIC STANDARDS  
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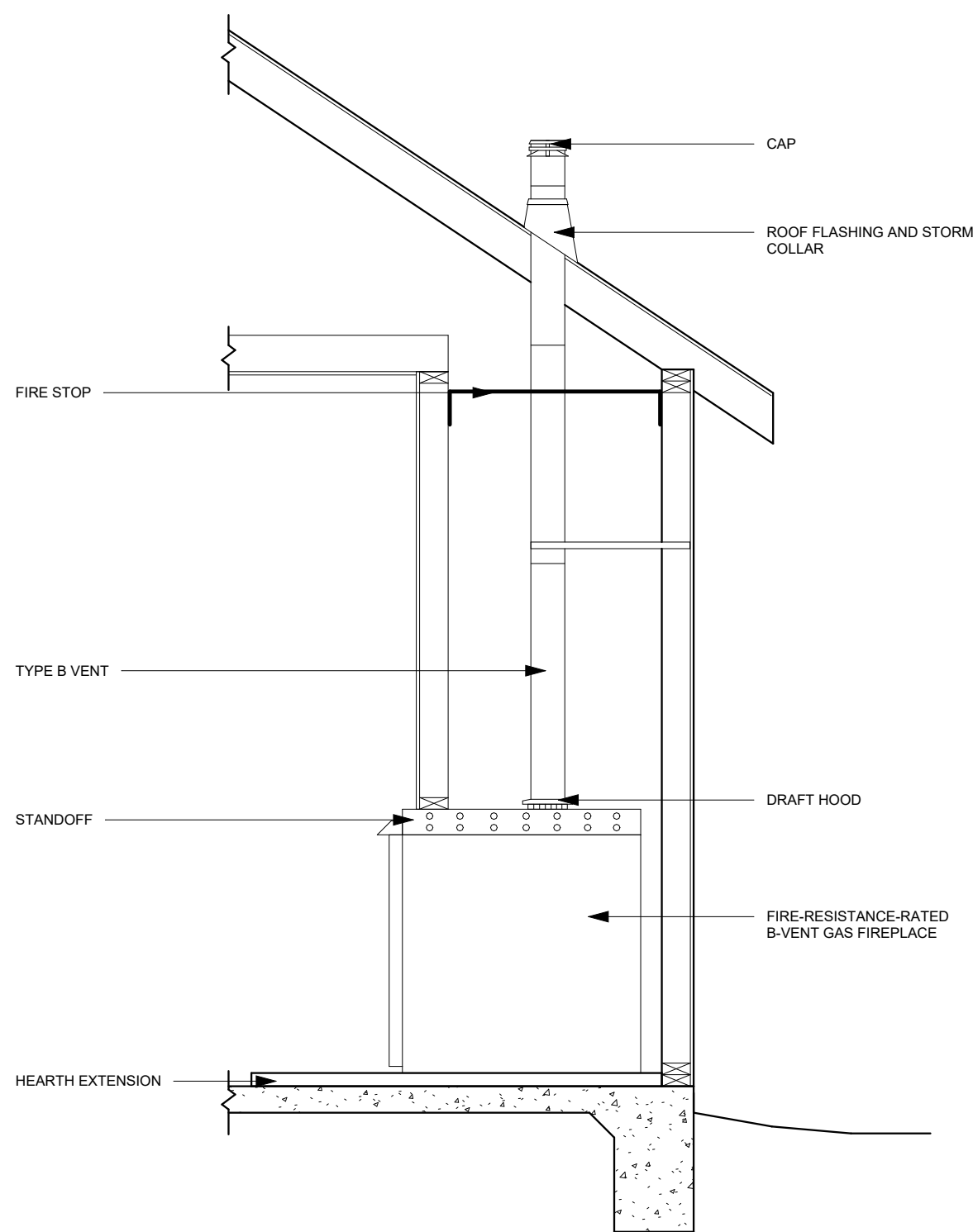
**SOLID-FUEL APPLIANCES**

Unlisted appliances should be installed according to the provisions of NFPA 211. Acceptable floor protection materials and minimum size for these slopes are generally specified by the manufacturers; if they are not follow NFPA 211 or local code requirements.

\*ARCHITECTURAL GRAPHIC STANDARDS  
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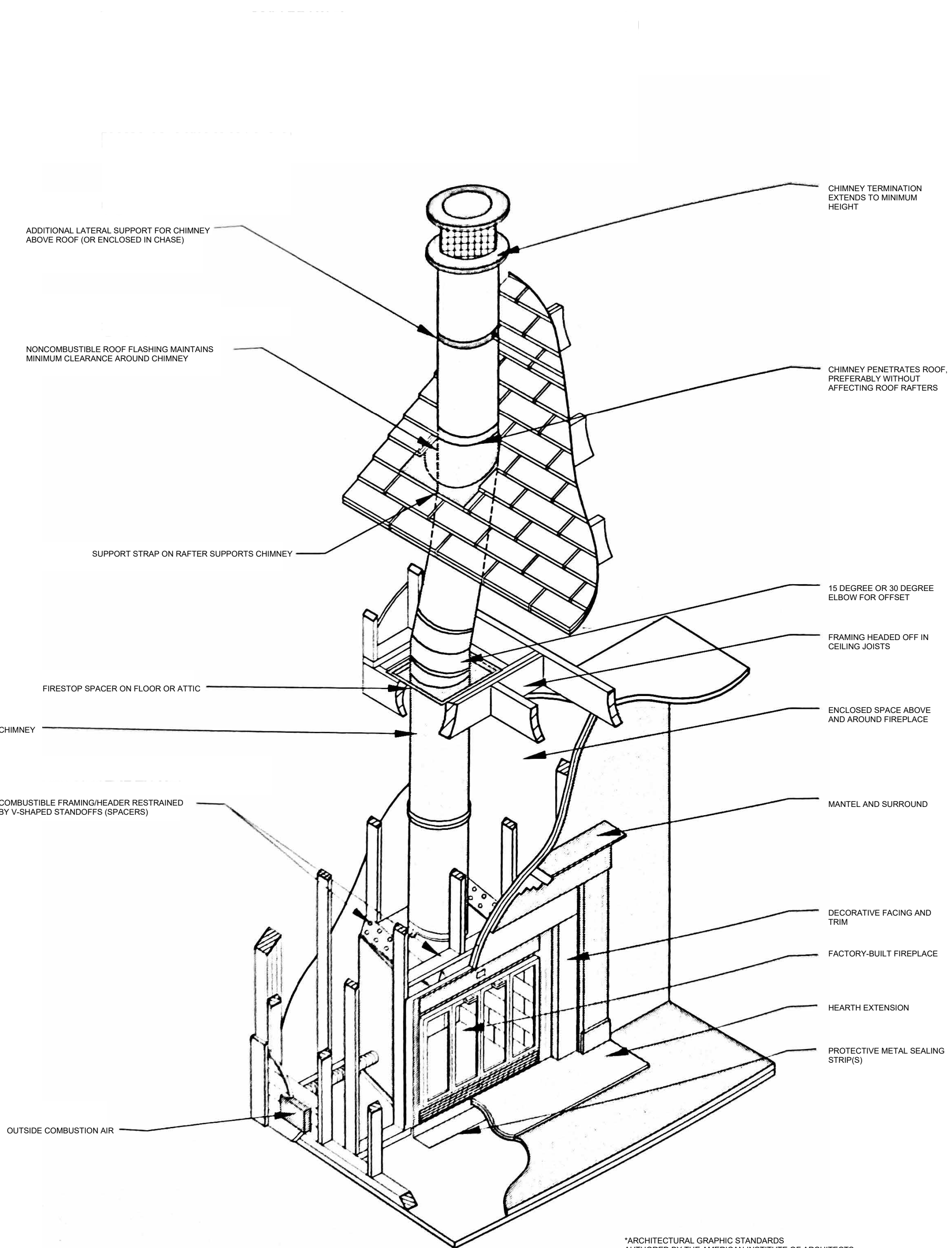


③ TYPICAL GAS FIREPLACE HORIZONTAL  
1/2" = 1'-0"



② TYPICAL GAS VERTICAL FIREPLACE  
1/2" = 1'-0"

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① TYPICAL WOOD FIREPLACE  
1/2" = 1'-0"

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