

# Historic Resources Survey of Downtown and Deep Ellum Final Report

*Volume I*



Prepared for  
The City of Dallas

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Prepared by  
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## Executive Summary

In June 2020, the City of Dallas commissioned HHM & Associates, Inc. of Austin, Texas, to undertake a historic resources survey of Downtown Dallas and Deep Ellum. The project was funded cooperatively by the City of Dallas and Preservation Dallas, a nonprofit organization dedicated to the preservation and revitalization of the city's historic buildings, neighborhoods and places. Funding from Preservation Dallas was financed in part with grants from Downtown Dallas Inc., the Summerlee Foundation, Hoblitzelle Foundation, and the National Trust for Historic Preservation through the Fondren Fund of Texas.

Survey boundaries are depicted in figure i (to follow). At the outset of the project, HHM & Associates completed a Research Design and Fieldwork Methodology for review and approval by the City of Dallas and Preservation Dallas, which established shared expectations for the project's scope of work. The project comprehensively identified, documented, and evaluated all buildings, structures, sites, landscapes, and objects within the survey boundaries, regardless of construction date. Survey work, completed from December 2020 through January 2021, identified **790** above-ground cultural resources. The survey team gathered basic information for all resources but recorded more detailed information for those that are listed in or recommended eligible for inclusion in the National Register of Historic Places (NRHP, or National Register), as well as for those eligible for City of Dallas landmark or historic district designation. All evaluations were made by professionals meeting the *Secretary of the Interior's Professional Qualification Standards* (36 CFR 61), carefully following the National Register Criteria for Evaluation and the City's Unified Development Code. The survey findings were shared with the public in May 2021, and recommendations within this report reflect public input gathered through June 2021. The recommendations resulting from HHM's evaluations are summarized in table i and table ii below, with further detail provided within Volume I of the report, along with the appendices.

In addition, the project entailed researching and writing a series of 22 citywide thematic historic context statements to guide future efforts to evaluate and designate historic resources. These themes were selected collaboratively by a team of volunteers organized by the City of Dallas and Preservation Dallas. Outlines and research plans for the historic context statements were included within the Research Design for review and approval by the City of Dallas and Preservation Dallas. The context statements—with supplementary figures, tables, and maps—are provided within Volume II. The bibliography of resources used in preparation of the report and context statements is included in Volume II as well.

Overall, the survey report and historic context statements aim to provide the City of Dallas with information to guide future planning and cultural resources management downtown, as well as to access grants and incentives for preservation.

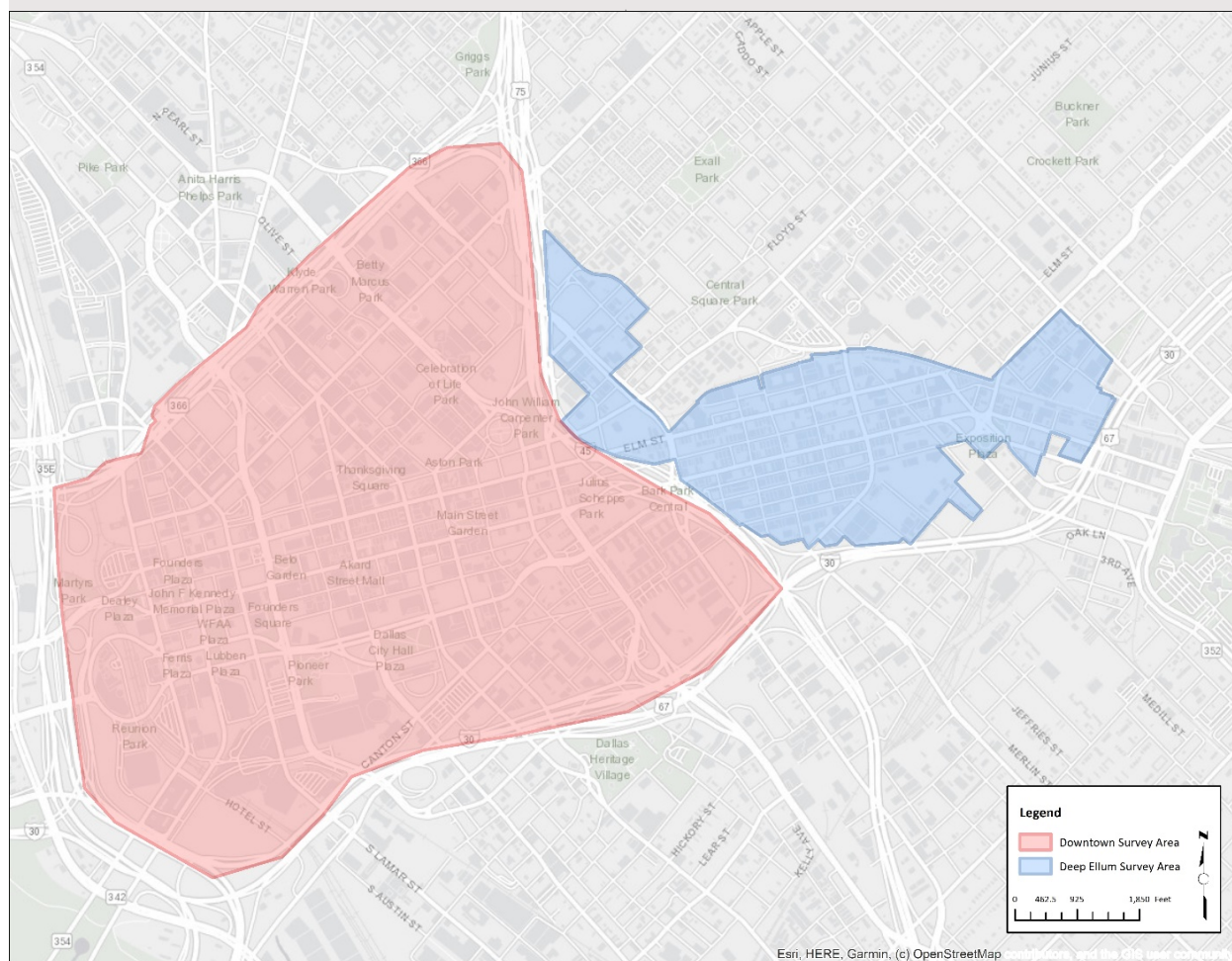


Figure i. Map depicting the boundaries of the survey areas for Downtown Dallas and Deep Ellum. Source: Data from HHM with ESRI base map, 2021.

Table i. Individual eligibility recommendations, according to both National Register and City of Dallas Local Landmark Criteria.

Eligibility Recommendations	National Register		Local		Both Designations	
	Resources	% of Total	Resources	% of Total	Resources	% of Total
Maintain prior individual designation(s)	15	1.9%	31	3.9%	26	3.3%
Recommend new individual designation(s)	24	3.0%	13	1.6%	68	8.6%
<b>TOTAL</b>	<b>39</b>	<b>4.9%</b>	<b>44</b>	<b>5.5%</b>	<b>94</b>	<b>11.9%</b>

*Table ii. Combined recommendations for all recommended new historic districts, according to both National Register and City of Dallas local landmark criteria.*

Eligibility Recommendations	National Register		Local	
	Resources	% of All Districts	Resources	% of All Districts
<b>Within recommend historic district</b>	<b>326</b>	<b>100%</b>	<b>423</b>	<b>100%</b>
<b>Contributing</b>	263	80.6%	335	79.2%
<b>Noncontributing</b>	63	19.4%	88	20.8%



# 1 Acknowledgements

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- 3 • Mr. Murray Miller, Historic Preservation Officer, City of Dallas
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- 7 • Mr. Jason Harper, Board President, Preservation Dallas
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# I-1 | Property Types and Architectural Styles

## PROPERTY TYPES

The text below sets forth the typology used to classify historic-age resources identified within the survey area for Downtown Dallas and Deep Ellum. Property type groupings facilitate queries of the survey data and comparative analysis of similar buildings. The property-type classifications are organized according to broad types that relate to the function of the resource, such as:

- Buildings
  - Commercial Block
  - Free Standing
- Sites
  - Park
  - Memorial
- Structures
  - Parking Garage

Within each broad property type, subtypes are defined according to the building's form. Each subtype's form is described and illustrated with an example from the Downtown Dallas survey area, and the ranges of construction dates, functions, and architectural styles associated with the subtype within the survey area are identified. This discussion does not provide a comprehensive examination of every kind of property documented for the survey; however, it does list the most common and/or most distinctive kinds of historic-era properties.

## BUILDINGS

### COMMERCIAL BLOCKS

In a commercial block, buildings fill the property fully to the lot line so that each building closely abuts its neighbor, and adjoining buildings frequently share party walls. In some instances within downtown Dallas and Deep Ellum, adjacent buildings have been demolished so that buildings that originally stood within a commercial block now appear freestanding. The commercial block is traditionally an urban building form, often situated near a transportation hub, which increases property value and motivates density. As automobile ownership increased in the mid-to-late twentieth century, parking became more valuable than proximity to transportation hubs, and the commercial block gradually became less common. In the Downtown Dallas survey area, historic commercial blocks date from the mid-nineteenth century through the end of the historic period during the early 1970s.

## One-Part Commercial Block



Figure I-1. The images above are examples of a one-part commercial block structure. The building at 3018 Commerce Street on the left illustrates construction from the late nineteenth to early twentieth centuries. The stylistic influence is not distinct, but decorative masonry is still used, which is typical for the time period. The structure at 2623 Commerce Street on the right illustrates a similar building in size and proportion but with materials and symmetry found later in the mid to late 1900s. Note the positioning of both buildings near the lot line, abutting the adjacent property. Each building features vertical brick piers, large display windows, and an articulated parapet.

### CONSTRUCTION DATE RANGE: 1900–1945

- Property Type: commercial.
- Character-defining features of form:
  - One-story load-bearing masonry construction with a rectangular plan or building footprint.
  - Storefront (often a three-part configuration) with a single- or double-door entrance and large wood- or metal-frame plate-glass windows.
  - Canopy across the front, typically with metal rod or chain supports attached to the wall.
  - Parapet that obscures the slightly pitched roof.
- Other features that may be present:
  - Detailed masonry work in the parapet, cornice, and/or wall surfaces.
  - Vertical brick piers defining storefront bays.
  - Row of transom windows above storefront.
  - Cast-iron pilasters, door thresholds, or engaged columns.
  - Decorative tile flooring and/or inlay in entrance bay.
  - Stylistic influences not always present but could include Craftsman, Spanish Colonial Revival, Streamline Moderne, or Modern stylistic detailing.



## Two-Part Commercial Block



Figure I-2. 2012 Commerce Street is an example of a two-part commercial block. The street-level public zone is defined by the display windows with transoms. The upper-level private zone is articulated by punched openings in a regular rhythm. Source: HHM.

### CONSTRUCTION DATE RANGE: 1900–1945

- Property Type: commercial.
- Character-defining features of form:
  - Two distinct zones (lower and upper) separated by a horizontal architectural element.
  - Multi-story.
  - Storefront (usually a three-part configuration) with a single- or double-door entrance and large wood- or metal-frame plate-glass windows.
  - Canopy with metal rods or chain supports across the front.
  - Multiple window openings on upper floor(s).
  - Parapet with varying levels of ornamentation.
- Other features that may be present:
  - Usually Brick, stone, cast-concrete, or steel-frame construction.
  - Detailed masonry work in the parapet, piers, and wall surfaces.
  - Cast-iron pilasters, engaged columns, or door thresholds.
  - Row of wood-frame transoms above storefront and/or canopy.
  - Hoodmolds and/or lintels above and sills below second-floor windows.
  - Round-, segmental-, or flat-arched openings, especially on second floor.
  - Pressed-metal detailing in cornice or parapet.
  - Stylistic influences may not be present, although some examples of the Prairie and Streamline Moderne styles may be found.

## Two-Part Vertical Block



Figure I-3. The Interstate Forwarding Company Warehouse, now lofts at 3200 Main Street, is an example of a Two-Part Vertical Block. The partial basement is articulated at the base of a building by a thick row of repeating windows. This articulation visually combines with the first floor, creating a defined base for the building, further emphasized by the full-height central entrances on either side of the building and the row of awnings on the right façade. The even spacing between the upper windows emphasizes the verticality of the two-part vertical block building. Source: HHM.

### CONSTRUCTION DATE RANGE: 1850–PRESENT DAY

- Property Type: commercial or industrial.
- Character-defining features of form:
  - Two distinct zones:
    - Lower zone – one or two stories in height functioning as the “base.”
    - Upper zone – made up of the additional stories with an emphasis on the “shaft” and a sense of verticality.
  - Multi-story.
  - Brick, stone, concrete, and/or steel exterior materials.
  - Storefront with a single or double-door entrance and large wood- or metal-frame plate-glass windows.
  - Window openings on upper floors articulate the stories.
- Other features that may be present:
  - Detailed masonry work on ground floor with less ornamentation on upper stories.
  - Vertical emphasis shown by the use of pilasters, engaged columns, piers, or smooth wall surface rising between windows.
  - Cast-iron pilasters, engaged columns, or door thresholds.
  - May exhibit Chicago Style, Art Deco, Streamline Moderne, International, Modern, or New Formalist architectural stylistic influences.



## Three-Part Vertical Block



Figure I-4. The former Dallas National Bank Building, now the Joule Hotel, at 1530 Main Street (left) and the Neiman Marcus Department Store at 1603 Commerce Street (right) are both examples of the three-part vertical block type. The Neiman Marcus building was originally built as a two-part vertical block, but the addition of the top two floors gives the building its three-part vertical block form. Note how the proportion and orientation of the buildings vary; however, each is distinctly broken into three zones. The double-height entry at the Joule denotes the base. The stepped parapet defines the capital. The articulation of the zones on the Neiman Marcus building is more subtle, defined by the change in window size and placement instead of additional architectural features. Source: HHM.

### CONSTRUCTION DATE RANGE: 1900–1970

- Property Type: commercial, governmental, industrial, institutional.
- Character-defining features of form:
  - Identical to two-part vertical block except has a distinct upper zone of generally one to three stories.
    - Three distinct zones:
      - Base – one or two stories in height functioning as the “base.”
      - Shaft – made up of the additional stories with an emphasis on the “shaft” and a sense of verticality.
      - Capital – crowning section typically one to three stores tall terminating at the roof with a cornice or decorative feature.
  - Multi-story curtain wall construction.
  - Brick, stone, cast-concrete, and/or steel exterior materials.
  - Storefront with a single- or double-door entrance and large wood- or metal-frame plate-glass windows.
  - Window openings on upper floors articulate the stories.
  - Vertical emphasis shown by the use of pilasters, engaged columns, piers, or smooth wall surface rising between windows.
  - Stylistic influences may vary



## Stacked Vertical Block



Figure I-5. The Wilson Building at 1623 Main Street is an example of a stacked vertical block. Note how the belt courses and cornices articulate various levels, but emphasis is not placed on one particular level over another as in the Two and Three-Part Vertical Blocks.

### CONSTRUCTION DATE RANGE: 1900–1940

- Property Type: commercial, industrial, institutional.
- Character-defining features of form:
  - Multiple stories, typically five or more.
  - Brick, stone, cast-concrete, and/or steel exterior materials.
  - Viewed as a series of layers, rather than a coherent mass.
  - Stories lack hierarchy and emphasis is placed on the horizontal layer or story.
  - Window openings on upper floors articulate the stories.
  - Decorative elements like belt courses and cornices emphasize the horizontal direction.
  - Stylistic Influence may vary.
  - Each level may vary in detailing.

## Temple Front



Figure I-6. Dallas Scottish Rite Temple at 500 S. Harwood is an example of a temple front building. Note the colonnade, pediment, and cornice that are projected in front of the main mass of the building – decorative details that recall classical styles and the symmetrical design.

### CONSTRUCTION DATE RANGE: 1900–1940

- Property Type: commercial, institutional, governmental, religious.
- Character-defining features of form:
  - Symmetrically composed front façade with colonnaded temple front projected in front of primary wall plane.
  - Columns, pediments, and other physical elements that reflect Classical Greek or Roman architecture.
  - One or more stories with a box like massing.
  - Commonly brick, stone, or concrete masonry. Walls may include detailing such as quoins, string courses, or belt courses. Detailing typically influenced by the Greek Revival, Colonial Revival, or Neoclassical Style.
  - Typically flat roof with masonry parapet. Elaborate stone or cast concrete cornices are often present.
  - Entrance is often set within a middle bay.
  - If present, storefronts typically are recessed behind the colonnaded temple front. Storefront assemblies may be metal or wood. Because temple front buildings often were designed for institutional purposes rather than commerce, many do not include storefronts.
  - Windows typically are located behind or between the columns or pilasters that compose the temple front. Windows may be double-hung or casement and often feature stone lintels and sills and/or decorative surrounds.
  - Temple front buildings typically feature grand double-doors, enhanced by transoms, sidelights, and decorative surrounds.



## Enframed Window Wall



Figure I-7. 2808 Commerce Street is an example of an enframed window wall. The building is single story, and the storefront windows or glazing take up over half of the front façade area. This particular example has Prairie style ornamentation. Note that the windows and doors have been replaced in this example.

### CONSTRUCTION DATE RANGE: 1900–1960

- Property Type: commercial.
- Character-defining features of form:
  - Typically one-story.
  - Large glazed display area.
  - Little or no separation between ground floor and upper floors, if they exist.
- Other features that may be present:
  - A decorative surround framing the glazed display area.
  - Typically exhibit Art Deco, Streamline Moderne, International, Modern, or New Formalism architectural stylistic influences.



## Central Block with Wings



Figure I-8. Examples of the central block with wings include 2218 Bryan Street, formerly Dallas High School, on the left, and 2015 Commerce Street, formerly the Dallas Municipal Building Annex, on the right. Note both buildings have a symmetrical primary façade, exhibiting a central mass that projects out in front of flanking wings. Source: HHM.

### CONSTRUCTION DATE RANGE: 1900–1955

- Property Type: commercial, institutional, educational, governmental.
- Character-defining features of form:
  - Typically two to four stories.
  - Massed with a main central core and projecting wings on one or both sides; central core may be taller than the wings, and/or its front façade may project forward.
  - All three parts may read as single masses or as three related masses.
  - Form can have shared party walls or be free-standing.
  - Commonly brick, stone, or concrete masonry.
  - Roof may be side-gabled, hipped, or flat.
  - Windows may be double-hung, casement, or fixed. Windows often feature stone lintels and sills and/or decorative surrounds.
  - Central entrance with double doors is typical.
  - Stylistic influences may vary; detailing may reflect the Classical Revival, Romanesque Revival, Italianate, Prairie, Spanish Eclectic, or Art Deco style.

## Enframed Block



Figure I-9. The University of North Texas at Dallas College of Law building, formerly the City of Dallas Municipal Building at 2009 Commerce Street, is an example of an enframed block. The central bay is articulated with pilasters and punctured openings, bracketed by narrower end bays on either side that sit proud of the central bays wall plane. Source: Joe Mabel, CC BY-SA 3.0, accessed March 22, 2022, via Wikimedia Commons, [https://commons.wikimedia.org/wiki/File:Dallas\\_-\\_Municipal\\_Building\\_01.jpg](https://commons.wikimedia.org/wiki/File:Dallas_-_Municipal_Building_01.jpg).

### CONSTRUCTION DATE RANGE: 1900–1940

- Property Type: commercial, institutional, educational, governmental.
- Character-defining features of form:
  - One to three stories in height with flat or very low-pitched roof.
  - Masonry construction, often with smooth stucco or plaster finish.
  - Symmetrically arranged façade with three bays.
  - Colonnade across inset middle bay, which often is broader than outer bays.
  - Outer bays present a heavier appearance.
  - Steps leading to main entrance, adding to a sense of grandeur.
- Other features that may be present:
  - Entablature and cornice with classically inspired detailing and ornamentation.
  - Corner bays may contain windows, auxiliary doors, or ornamentation.

## Massed Block



Figure I-10. The Moorland YMCA Building, now the Dallas Black Dance Theatre, at 2700 Ann Williams Way is an example of a massed block from the 1930s designed in the Italian Renaissance style. The front façade is broken into five bays with equal emphasis placed on each bay. Source: HHM.

### CONSTRUCTION DATE RANGE: 1900–PRESENT DAY

- Property Type: commercial, institutional, governmental.
- Character-defining features of form:
  - Characterized by several masses or blocks joined together.
  - Can have symmetrical or asymmetrical massing.
  - Typically three or more stories tall.
  - Stylistic influences vary.



## Vault



Figure I-11. 1511 Commerce Street, formerly the Dallas National Bank Annex, is an example of a vault building. The solid front façade with a tall, narrow central entrance and minimal windows is characteristic of this form. Source: HHM.

### CONSTRUCTION DATE RANGE: 1900–1945

- Property Type: commercial, institutional, educational, governmental.
- Character-defining features of form:
  - Typically two to three stories in height.
  - Square or rectangular in elevation and plan.
  - Main entrance is tall and narrow compared to other openings.
  - Façade is visually weighted to emphasize massiveness and enclosure.
  - Comprised of stone, masonry, or stucco.

## FREESTANDING COMMERCIAL

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Freestanding commercial buildings are typically on the periphery of the downtown core or in a more industrialized area of the city, with proximity to railroad lines or along major roadways. As the name suggests, freestanding buildings do not share walls like their downtown counterparts. While they occupy a majority of the site, a parking lot is typically adjacent to the building. Some freestanding buildings can have support buildings adjacent to the main structure.

### Commercial Box



Figure I-12. 3600 Main Street is an example of a commercial box. The building's mass is independent of other structures. The footprint is rectangular with a flat roof. Overall, the building looks like a box, as the name suggests. Source: HHM.

### CONSTRUCTION DATE RANGE: 1940–PRESENT DAY

- Property Type: commercial, institutional, educational, governmental.
- Character-defining features of form:
  - Independent and freestanding building similar in massing and appearance to the one-part commercial block.
  - One- to two-story steel-frame or cast concrete construction with infill walls.
  - Rectangular plan or building footprint.
  - Flat roof.
  - Storefront with a single- or double-door entrance and large windows.
  - Canopy or wide overhanging eave across the front.
  - Often setback from road to allow parking in front.
  - Building takes up smaller footprint of lot in order to provide parking for customers.
  - Minimalist stylistic details may have influences including Streamline Moderne, Modern, or New Formalism.

## Office



Figure I-13. 3300 Commerce Street is an example of a freestanding office building. Like the commercial box, this building does not share walls and is surrounded by parking. The massing is more complex with the additional of the glass enclosed stair on the right side. Source: HHM.

### CONSTRUCTION DATE RANGE: 1945–PRESENT DAY

- Property Type: commercial, institution, school, government building.
- Character-defining features of form:
  - Generally can fall under the commercial box category; sometimes has a more complex form, such as linear or massed plan.
  - Can range from single to multi-story.
  - Varied scale, based on whether one or multiple offices were housed in building.
  - Small building footprint on the overall lot.
  - Typically surrounded by parking, sometimes on all sides of building.
  - Minimal, if any, stylistic detailing.



## Massed Vertical Block



Figure I-14. Bryan Tower at 2001 Bryan Street is an example of a massed vertical block, also known as a high-rise or tower. This is characterized by the singular, rectangular mass, comprised of many stories, oriented vertically. Source: HHM.

### CONSTRUCTION DATE RANGE: LATE 1950–PRESENT DAY

- Property Type: commercial, office, residential.
- Character-defining features of form:
  - Singular mass oriented vertically.
  - Also known as a high-rise or tower.
  - Curtain wall construction, often with glass as primary exterior material.
  - Façades generally without ornamentation.
  - Entrances sometimes on all sides, which lack emphasis of distinction.
  - Typically International style or no stylistic influence

## Superblock



Figure I-15. One Main Place at 1201 Main Street is an example of a Superblock. The original design included three phases intended to revitalize downtown. Two phases were never constructed, but One Main Place is still recognized as Dallas's first attempt at Superblock development, influencing city planning for the next three decades. The building is listed on the National Register of Historic Places. Source: HHM.

### CONSTRUCTION DATE RANGE: 1960–PRESENT DAY

- Property Type: commercial, office, governmental.
- Character-defining features of form:
  - Occupies entire city block and/or multiple city blocks.
  - Comprised of one or more high rise towers.
  - Incorporates public plazas at street level or sunken below grade.
  - Stylistic influences can include International, Brutalist, or New Formalist.
- Other features that may be present:
  - Skybridges.
  - Integrated parking garages.



## Irregular



Figure I-16. Dallas City Hall at 1400 Young Street is a perfect example of an irregular building. Constructed in 1978, the angular shape cannot be categorized by any other typology. Source: HHM.

### CONSTRUCTION DATE RANGE: 1960–PRESENT DAY

- Property Type: commercial, institution, educational, governmental, recreational, etc.
- Character-defining features of form:
  - Unusual shape that cannot be characterized by other form types.
  - Non-orthogonal faces and edges.
  - Can be symmetrical or asymmetrical.
  - Typically constructed of concrete, steel, and glass, but material can vary.
  - Typical of architectural styles from the post-modern period through contemporary architecture.

## SITES

### Park



Figure I-17. Dealey Plaza located at 400 Main Street is a city park that includes lawns, gardens, sidewalks, and other objects such as memorials. It is one of the earliest public plazas in Downtown Dallas and has set the precedent for outdoor public spaces downtown. Source: HHM.

#### CONSTRUCTION DATE RANGE: 1930–PRESENT DAY

- Property Type: municipal, recreation.
- Character-defining features of form:
  - Differ in size and form, based on use.
  - Includes lawns, trails, gardens, sidewalks, objects, and structures such as play equipment, gazebos, canopies, picnic tables, and benches.



## Memorial



Figure I-18. The JFK Memorial at 646 Main Street is an example of a memorial. Source: HHM.

### CONSTRUCTION DATE RANGE: 1930–PRESENT DAY

- Property Type: municipal, government.
- Character-defining features of form:
  - Size, scale, and materials vary.
  - Plaques and signage with historical context of person or event.

## STRUCTURES

### Parking Garage

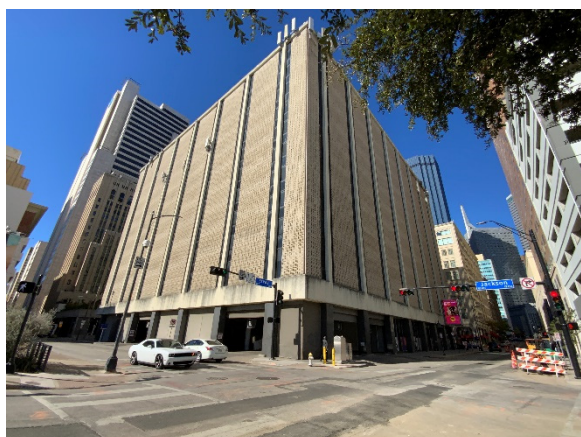


Figure I-19. 1600 Commerce Street is an example of a parking garage. It was constructed to support customer parking for the Neiman Marcus department store. This example is fully enclosed from the exterior. The interior includes driving ramps, a concrete structure, and stairwells located at the corner. Source: HHM.



Figure I-20. The oldest parking garage in Dallas at 711 Elm Street. Built in the Chicago Style, the garage was used for nearby retail. Source: HHM.

### CONSTRUCTION DATE RANGE: 1920–PRESENT DAY

- Character-defining features of form:
  - Differ in size and form, based on location and associated buildings, but rectangular plans are most common.
  - Typically made up of multiple levels.
  - Interior or exterior driving ramps.
  - Stairwells and/or elevators at corners.
  - Either partially or entirely enclosed.
  - Typically steel and/or reinforced concrete construction.

## ARCHITECTURAL STYLES

The architectural style of a building is defined by the overall form, shape, material, and decorative elements of a building. Styles may be applied to any number of different building forms, including: a single-family house, a multi-story commercial building, a warehouse, or even a gas station. Architectural styles can be related to a building's use, but typically styles tend to be related to the building's era of construction and popular regional trends.

A historic resource can have some or all of the character-defining features associated with that particular style classification. Some buildings are purely utilitarian and reflect no style at all. Others eclectically combine several styles. This section sets forth typical character-defining features of the most common architectural styles found within the survey area, which include:

- Revival Styles
  - Classical Revival / Beaux Arts
  - Neoclassical
  - Renaissance Revival
  - Gothic Revival
  - Spanish Colonial Revival / Mission Revival
  - Romanesque Revival
- Italianate / Italian Renaissance
- Prairie / Chicago Style/ Sullivanesque
- Art Deco / Streamline Moderne
- Mid-century Modern
- Contemporary
- International
- Post Modern / New Formalism / Brutalist
- Commercial / No Stylistic Influences Visible

Each of these architectural styles is further defined and illustrated on the following pages.

## REVIVAL STYLES

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The survey area includes several types of revival architectural styles, including Classical Revival, Neoclassical, Renaissance Revival, Gothic Revival, Spanish Colonial Revival, Romanesque Revival, Spanish Revival, and Mission Revival. For brevity, two examples are included below.





Figure I-21. The historic Republic Bank Building at 1309 Main Street (left) is an example of a three-part vertical block, high rise apartment building in the Classical Revival Style. The Deep Ellum commercial building at 2822 Elm Street (right) is a one-part commercial block in the Spanish Revival style. The storefronts have been altered, but the decorative elements along the parapet are characteristic of the style. Source: HHM.

## Classical Revival

### CONSTRUCTION DATE RANGE: 1800–LATE 1930S

- Character-defining features of style:
  - Brick or stone masonry.
  - Stone or wood columns of a Classical Greek or Roman Order.
  - Cornice and frieze of a Classical Greek or Roman Order.
  - Typically, a flat roof.
  - Pedimented entry.
  - Storefront at the ground level constructed of wood, cast iron, or aluminum with sidelights and transoms. Doors are wood, sometimes with transoms and/or sidelights. May lack canopies, especially if a temple front is present.
  - Upper-level windows are typically double-hung wood sashes.
- Other features that may be present:
  - Quoins may be present at the corners of the front façade.
  - Full-width or partial-width colonnade or arcade, supported by columns or pilasters with decorative capitals. Porch roof may be flat or front-gabled with a pediment.
  - Institutional buildings may have flat, side-gabled, front gabled, or hipped roofs.
  - May feature roof cupola.
  - When present, canopies typically may be wood or metal, supported by brackets or columns, or suspended by bars or cables.

## Spanish Colonial Revival

### CONSTRUCTION DATE RANGE: 1800S–1940S

- Character-defining features of style:
  - Brick or stone masonry.
  - Typically, a flat roof with decorative parapet
  - Typically flat or low-sloped roofs, often covered with clay tile parapet.
  - Storefronts with wood or metal sash and often tile detailing at bulkhead.
  - Canopies may be wood or metal, supported by brackets or suspended by bars or cables. Canopy roof form may be flat, shed, or hipped, often with clay tiles.

- o Upper levels windows are usually double-hung or casement windows, with metal or wood sash.
  - o Doors are typically wood, sometimes heavy with small lites. Often feature heavy hardware or carved details.
- Other features that may be present:
  - o Stucco, sometimes with texture or molded decorative wall elements. Tile detailing common.
  - o Stone door surrounds common.
  - o Windows sometimes featuring wrought iron grates or balconies.

Significant character defining features of other Revival styles include:

### **Renaissance Revival**

- Brick or stone masonry
- Rusticated stone base, ashlar masonry above with belt or string courses
- Entrance arcade
- Classical columns
- Decorative, overhanging cornice
- Roman or segmental arch window openings

### **Romanesque Revival**

- Heavy, rusticated stone masonry
- Round arches
- Short, tapered columns
- Dense, figural stone carving

### **Gothic Revival**

- Pointed-arched window and door openings
- Steeply pitched cross-gabled roofs
- Rusticated stone masonry

### **Mission Revival**

- Variation of Spanish Revival
- Stucco exterior finish
- Clay tile roof
- Low-pitched or flat roof
- Mission-shaped molded dormer or roof parapet with terracotta or cast concrete coping

## ITALIANATE



Figure I-22. The historic Hart Furniture Building at 1933 Elm Street is an example of a two-part commercial block designed in the Italianate style. Source: HHM.

### CONSTRUCTION DATE RANGE: 1800–1910S

- Character-defining features of style:
  - Brick, or stone masonry. Stone quoins common at the corners of masonry examples.
  - Entrance may be protected by an awning supported by brackets, or a small portico supported by columns. Commercial examples may lack canopies, but when present, canopies typically are wood supported by brackets or suspended by bars or cables.
  - Doors are wood, sometimes with transoms and / or sidelights. Double doors are often present.
  - Typically, flat roof with bracketed eaves and ornate, molded cornices. Cornices may be wood, stone, or wrought iron.
  - Storefronts can be wood sash or cast iron with sidelights and transoms.
  - Upper-level windows are typically double-hung wood sash. Segmental-arched windows with ornate window surrounds or arched windows.



## PRAIRIE

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Figure I-23. The two-part commercial block building at 2211 Commerce Street is an example of Prairie style commercial architecture. The storefront has been altered. Source: HHM.

### CONSTRUCTION DATE RANGE: 1910–1940

- Character-defining features of style:
  - Brick masonry exterior, sometimes Roman brick.
  - String course for horizontal emphasis and/or stone or tile detailing in a geometric pattern sometimes present.
  - Flat roof with geometric detailing at the cornice.
  - Storefronts of wood or metal sash.
  - Canopy, if present, of wood or metal, supported by brackets or suspended by bars or cables. Canopy roof form typically flat.
  - Upper-level windows are double-hung wood sash, sometimes with multiple glass lites and patterned mullions.
  - Doors are wood with glazing, sometimes with transoms and sidelights.
- Other features that may be present:
  - Art glass at transom window or upper-story windows sometimes present.

## ART DECO



Figure I-24. The Tower Petroleum Building, now Cambria Hotel, 1907 Elm Street is a three-part vertical block tower in the Art Deco style. Source: HHM.

### CONSTRUCTION DATE RANGE: 1920–1940

- Character-defining features of style:
  - Brick masonry, stone masonry, concrete block, stucco, or ceramic tile.
  - Ornamentation features abstracted or geometric detailing in stone, terra cotta, or metal. Stone masonry pilasters often include fluting. Spandrels made of metal, ceramic tile, or glass may be present between windows and pilasters. Projecting signage or marquees may be present on commercial examples.
  - Flat roof typically with multiple levels that often include a zigzag or stepped parapet.
  - Typically, metal storefronts with etched or relief ornamentation.
  - Cantilevered flat awnings or canopies typical, often with a flat or swept roof form constructed in metal.
  - Windows are metal-sash casement, hopper, or jalousie.
  - Entry doors are wood or metal, often recessed with glazing.
- Other features that may be present:
  - Base or street level section emphasized with marble, stone, or pigmented structural glass.
  - Patios or balconies with decorative metal railings may be present.
  - Terrazzo entry vestibules or sidewalks.
  - Glass block sometimes present.
  - Variations include Streamline Moderne and Art Moderne, which typically include a stucco finish and rounded corners, curves, and horizontal banding in the ornamentation.



## MID-CENTURY MODERN

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Figure I-25. The Statler Hilton Hotel at 1914 Commerce Street is one of the best examples of midcentury modern style in the survey area. The materiality and bold shape of the design characterize the period. Source: HHM.

### CONSTRUCTION DATE RANGE: LATE 1940–1960

- Character-defining features of style:
  - Simplified forms, clean lines, horizontal emphasis delineated by materials instead of applied decoration.
  - Flat wall planes without ornament, often glass, stucco, concrete, stone veneer, or brick.
  - Flat or angular, asymmetrical roof.
  - Covered entry porches are often flat-roofed, supported by a cantilever or by slender metal columns – or recessed under the main roof form.
  - Typically, metal-sash windows—often clustered in bands or ribbons, or sometimes meeting at corners—with a casement, jalousie, hopper, or fixed configuration. Taller structures may include a curtain wall of glass and colorful spandrel panels.
  - Primary doors are metal with glazing.



## CONTEMPORARY

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Figure I-26. The Crowne Plaza Hotel at 1015 Elm Street is an example of a Contemporary style building. Source: HHM.

### CONSTRUCTION DATE RANGE: LATE 1950–1970

- Character-defining features of style:
  - Irregular, organic, and/or sprawling forms are typical. Often curving or angular. Structural elements often exposed.
  - Materials vary, can include concrete, stucco, wood, Roman brick, flagstone, glass, or tile.
  - No applied ornament. Bold shapes or colors are common.
  - Glass window walls. Can include Brise soleil, breeze block, or fins over large spans of glass.
  - Roof can be flat, A-frame, angular, vaulted, or irregular.
  - Storefronts are typically plate glass with metal framing.
  - Canopies are usually cantilevered, constructed with either metal or reinforced concrete, and have irregular roof forms.
  - Upper-level windows can vary and include double-hung, casement, or fixed, with metal or wood sash. Fixed window walls are common.
  - Doors are wood or metal, often with glazing.

## INTERNATIONAL

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Figure I-27. The LTV Tower at 1600 Pacific Avenue is a two-part vertical block designed in the International style. Source: HHM.

### CONSTRUCTION DATE RANGE: 1920–PRESENT DAY

- Character-defining features of style:
  - Horizontal “ribbons” of windows without wall fabric between them are common; ribbons of windows also commonly wrap around corners, with no supporting wall structure at the corner.
  - Exterior walls are typically brick or white stucco, always flat and devoid of applied ornament.
  - Porches or canopies are often flat-roofed, supported using cantilevering or thin metal posts known as “*piloti*.”
  - Ground floor is often recessed—sometimes open air or with parking—supported by *piloti*.
  - Roofs are always flat.
  - Doors typically simple, single-door entrances, often tucked under the roof or hidden from view.
  - Overall form of the building is simple, typically a singular box, two-part block, or tower.
  - Sometimes set back from the surrounding streetscape within a plaza.



## POST MODERN



Figure I-28. The Dallas Public library at 1515 Young Street (left) and the First National Bank Building, now The National, at 1401 Elm Street (right) are examples of the different styles of architecture that fall into the Post-Modern category. The large scale, solid concrete, and boxy character of the library building are considered Brutalist, while the two-story arcade on The National is considered a feature of New Formalism. Source: HHM.

### CONSTRUCTION DATE RANGE: LATE 1960–1990

- Character-defining features of style:
  - Symmetrical elevations with classical motifs or applied decoration recalling classical styles that are modified and often exaggerated in size, scale, and use.
  - Colorful paneling or exterior material. Can be muted to bright color range.
  - Irregular forms and massing.
  - Oversized, multiple stories.

Variations from the time period, including New Formalism and Brutalism, can be considered Post Modern while following the character-defining features described below. Distinct styles under the Post-Modern umbrella include:

#### New Formalism

- Imposing scale and simple form.
- Free-standing with strict symmetrical elevation.
- Concrete or stone wall planes devoid of ornamentation.
- Repetitive pattern of columns, colonnades, or pilasters at the base.
- Inlaid terrazzo or mosaics sometimes present.

#### Brutalism

- Imposing scale and simple form.
- Typically, free standing with asymmetrical massing.
- Concrete façade devoid of ornament with punctured openings and minimal glazing.
- Often set on large blocks or consolidated “superblocks” within a hardscaped plaza.



## COMMERCIAL / NO STYLISTIC INFLUENCES VISIBLE

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Figure I-29. 1503 Commerce Street (left) and 3333 Commerce Street (right) are examples of a commercial style building. Source: HHM.

### CONSTRUCTION DATE RANGE: LATE 1800–1930

- Character-defining features of style:
  - Limited applied stylistic ornament but common form and detailing that distinguish them from purely utilitarian vernacular commercial buildings.
  - Usually brick, often with party walls shared with adjacent buildings. Detailed brickwork at the parapet is typical of this style – especially corbelling at the cornice.
  - Large storefront openings in the front brick façade often are supported by steel beams. Typically, wide fixed display windows with wood or metal framing and transom windows above.
  - Generally flat roof, although front-gabled roofs sometimes are concealed behind flat parapets.
  - Entry doors are typically centered on the storefront and configured as an integral unit. Can include glazing, transoms, and/or sidelights.
- Other features that may be present:
  - Canopies are often present with flat-roofs and tie-rods or cable supports.
  - Sometimes storefronts include multiple single-door entries into different shops within the same building.

## I-2 | Evaluation Framework

### EVALUATING SIGNIFICANCE

For the purpose of this project and future survey efforts, HHM prepared 22 historic context statements associated with significant themes in Dallas’s history (see Volume II of this report for the 22 historic context statements). The historic context statements show how extant historic resources reflect and/or are linked to and associated with significant historical themes, events, and individuals of the past. The contexts also provide the framework for evaluating the surveyed properties in downtown and Deep Ellum for local City of Dallas and National Register of Historic Places (NRHP) eligibility.

*See HHM’s survey results, including NRHP and local landmark eligibility recommendations in Chapter 3 Survey Results.*

### NATIONAL REGISTER CRITERIA FOR EVALUATION

To be eligible for the NRHP, a historic property, either on an individual basis or collectively as a historic district, must possess significance under at least **one** of the National Register Criteria.

#### National Register Criteria

The National Register Criteria for Evaluation states that a resource must meet a 50-year age threshold and must derive significance from at least one of the following Criteria to be eligible for the NRHP:

- **Criterion A. Association with Important Historical Events or Trends:** The resource must be associated with events, trends, or patterns that have made a significant contribution to the broad patterns of history.
- **Criterion B. Association with Important Individuals of the Past:** The resource must be associated with the lives of significant persons who made important contributions to the history of a community, city, state, or the nation.
- **Criterion C. Physical Attributes, Design Qualities, Work of a Master:** The resource must embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.
- **Criterion D. Research Potential:** The resource must have yielded, or may be likely to yield, information important in prehistory or history.

#### National Register Criteria Considerations

The National Register Criteria for Evaluation states that certain kinds of resources typically are not considered for inclusion in the NRHP. Examples include churches, synagogues, and other religious properties; resources that have been moved or relocated; birthplaces and graves of famous persons; cemeteries, buildings, and structures that have been reconstructed; resources used to commemorate an event, trend, or individual of the past; and properties that do not meet the recommended 50-year age threshold. However, these properties can be eligible for listing if they meet certain conditions defined in the National Register Criteria for Evaluation as “Criteria Considerations.” Resources that meet any of the Criteria Considerations must *also* meet at least one of the National Register Criteria (A, B, C, or D). The following is a list of normally excluded properties that may, under certain circumstances, be eligible for the NRHP:

- Criteria Consideration A: Religious Properties
- Criteria Consideration B: Moved Properties
- Criteria Consideration C: Birthplaces or Graves
- Criteria Consideration D: Cemeteries
- Criteria Consideration E: Reconstructed Properties
- Criteria Consideration F: Commemorative Properties
- Criteria Consideration G: Properties that Have Achieved Significance Within the Past 50 Years

For more information on the National Register program and listing process visit the National Park Service's website: <https://www.nps.gov/subjects/nationalregister/how-to-list-a-property.htm>.

## CITY OF DALLAS CRITERIA FOR EVALUATION

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To be eligible for local designation, a historic property, either on an individual basis or collectively as a historic district, must possess significance under at least **three** of the City's Criteria for Eligibility.

### City of Dallas Criteria for Eligibility

- **History, heritage, and culture:** Represents the historical development, ethnic heritage or cultural characteristics of the city, state, or county.
- **Historic event:** Location of or association with the site of a significant historic event.
- **Significant persons:** Identification with a person or persons who significantly contributed to the culture and development of the city, state, or county.
- **Architecture:** Embodiment of distinguishing characteristics of an architectural style, landscape design, method of construction, exceptional craftsmanship, architectural innovation, or contains details which represent folk or ethnic art.
- **Architect or master builder:** Represents the work of an architect, designer, or master builder whose individual work has influenced the development of the city, state, or county.
- **Historic context:** Relationship to other distinctive buildings, sites, or areas which are eligible for preservation based on historic, cultural, or architectural characteristics.
- **Unique visual feature:** Unique location of singular physical characteristics representing an established and familiar visual feature of a neighborhood, community, or city that is a source of pride or cultural significance.
- **Archeological:** Archeological or paleontological value in that it has produced or can be expected to produce data affecting theories of historic or prehistoric interest.
- **National and state recognition:** Eligible of or designated as a National Historic Landmark, Recorded Texas Historic Landmark, State Archeological Landmark, American Civil Engineering Landmark, or eligible for inclusion in the National Register of Historic Places.
- **Historic education:** Represents an era of architectural, social, or economic history that allows an understanding of how the place or area was used by past generations.

For more information of the City of Dallas's Landmark Designation procedures visit the Office of Historic Preservation's website: <https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Landmark-Designation.aspx>.

## EVALUATING INTEGRITY

In addition to possessing significance under National Register Criteria and/or City of Dallas Criteria for Eligibility, a property, either individually or as a district, must also retain sufficient integrity and historic character to convey its significance to be considered eligible for designation. The National Register



Criteria recognize seven aspects that define integrity in various combinations. Integrity assessment for both NRHP and local designation relies on the following seven aspects of integrity:

- **Location:** The place where the historic property was constructed or where the historic event occurred.
- **Design:** The combination of elements that create the form, plan, space, structure, and style of a property.
- **Setting:** The physical environment of a historic property.
- **Materials:** The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- **Workmanship:** The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- **Feeling:** The property's expression of the aesthetic or historic sense of a particular period of time.
- **Association:** The direct link between an important historic event or person and a historic property.

### Individual Properties

A resource need not retain all seven aspects of integrity to be eligible for designation; conversely, a resource possessing all seven aspects of integrity is not necessarily eligible for designation. The degree to which an eligible property should retain its integrity depends directly upon the criteria under which the resource possesses significance and is considered eligible for designation. For example, a property eligible under Criterion C (NRHP) or Architecture or Architect of master builder (local) should retain the aspects of integrity linked to physical qualities (design, materials, and workmanship) to a higher degree than one that is eligible for its historical associations. However, a property eligible for its historical associations should remain recognizable to the time or era in which it attained significance and still possess those qualities that convey its significance.

### Properties with a Historic District

Both NR and local historic districts contain contributing and noncontributing resources. Contributing resources are those that add to the district's overall historic character and sense of place. A contributing resource must date to the district's period of significance and retain most of its salient physical features and associative qualities to convey its historic character. Contributing resources must possess a sufficient degree of integrity, though they need not be unaltered; the greater the cumulative impact of the alterations, though, the less likely a historic property will be classified as contributing.

Noncontributing resources detract from the district's historic character and include resources constructed outside the period of significance, as well as drastically altered historic-age resources. Drastically altered historic-age resources are unable to convey their architectural or historic significance. Alterations have compromised the building's historic integrity to such a degree that it no longer visually represents the district's period of significance and therefore detracts from the overall historic character of the district.

### Survey Area Integrity Discussion

Within the survey area of downtown and Deep Ellum, commercial resources make up the majority of resources. Due to the age and nature of these resources, alterations are not uncommon. Among the

common alterations are storefront replacements, exterior wall material replacements, slip-cover additions, and window replacements. In Deep Ellum in particular, the survey also observed fenestration pattern alterations, storefront and window boarding and infill, and second-story rooftop deck additions.

Many times, these alterations and additions occurred during the historic period and therefore might have gained significance in their own right. For example, commercial buildings in Dallas, across Texas, and nationwide commonly underwent alterations over time as property owners attempted to modernize their buildings. A common example of this trend includes the replacement of wood-frame storefronts with aluminum-frame plate-glass windows and doors. During the post-war period, building owners also sometimes applied slip-covers over brick façades as a modernization effort. Owners also often added additional stories to their buildings in expansion efforts. As such, these alterations represent significant trends of the mid-century modernization movement. If these alterations are known to have occurred during the period of significance associated with the property or historic district, the property is still eligible for designation. One example of this trend is the building at 1810 Commerce Street (fig. I-30). Built in 1951 as a parking garage, eight additional stories were added to the building in 1958 to serve as offices. These alterations are significant in their own right and do not render the building ineligible.

When alterations occurred after the close of the period of significance, designation eligibility depends on the cumulative impact of alterations. For example, in Deep Ellum, many of the second-story rooftop deck additions are non-historic age alterations. Alone, this alteration does not render a building ineligible, but if combined with multiple other alterations, the cumulative negative impact of alterations to a building's integrity renders it ineligible. The building at 2713 Elm Street is an example of a recommended contributing building with a non-historic age rooftop deck addition. Other than the low fencing and framing added to the roof of the building, it otherwise retains much of its integrity and has undergone minimal alterations to its façade and therefore is recommended contributing (fig. I-31). The building at 2724 Elm Street serves as an example of a recommended noncontributing building with a non-historic age rooftop deck addition. In addition to the rooftop alterations, its front façade has been drastically altered: door replaced, some openings (window or garage door) infilled, and stucco applied to façade (fig. I-32). The cumulative impact of these alterations renders the building unrecognizable to the district's period of significance, and it is therefore recommended noncontributing.

For this project, in-depth individual building research, including consulting permit and tax record histories, was outside the scope of work. Therefore, HHM's field team used their professional judgment and previous experience assessing similar alterations in other projects to estimate approximate alteration dates. If documentation can be provided, or if research yields additional information proving that alterations occurred during the period of significance, then a noncontributing resource may be changed to a contributing resource.



Figure I-30. Building at 1810 Commerce Street that was built as a parking garage in 1951 but later became an office building with the construction of eight additional floors in 1958. Source: HHM, 2020.





Figure I-31. The one-part commercial block building at 2713 Elm Street in Deep Ellum. Other than the non-historic age rooftop deck addition, the building retains much of its integrity and is therefore recommended contributing to a Deep Ellum historic district. Source: HHM, 2020.



Figure I-32. The one-part commercial block building at 2724 Elm Street in Deep Ellum. The cumulative impacts of the alterations to this building render it unable to convey its architectural and historic significance and association with Deep Ellum, therefore it is recommended noncontributing to a Deep Ellum historic district. Source: HHM, 2020.

## I-3 | Summary of Survey Results

This section presents a summary of the findings of the Survey of Downtown Dallas and Deep Ellum. During December 2020 and January 2021, HHM surveyed and documented **790** resources: **423** in Downtown and **367** in Deep Ellum. Of the **790** resources, **593** are historic-age (built before 1973) and **197** are non-historic age (built in or after 1973).<sup>i</sup> A summary of overall trends in the survey area and eligibility recommendations are discussed in the sections that follow. Additionally, the following Appendices provide more information on the surveyed resources:

- Appendix A: Maps of the survey area, previously designated resources, and eligibility recommendations.
- Appendix B: Inventory of all 790 surveyed resources, listed in address order, showing reconnaissance-level survey data, as well as eligibility recommendations. Note that for resources built after 1972, only the resource's location information and eligibility recommendation were recorded.
- Appendix C: Two-page survey forms with additional architectural and historical information for resources recommended individually eligible for the National Register and/or local City of Dallas landmark designation.<sup>ii</sup>

### HISTORIC AND ARCHITECTURAL CHARACTER

Information on the overall trends among construction dates and property types is presented in the tables that follow. Refer to Volume I, Section 1, Property Types and Architectural Styles for a detailed discussion and descriptions of the various property types and architectural styles found within the survey area.

Table I-3-I. – Decades of construction and percent totals for all 790 resources surveyed.

Decade	No. Resources Constructed	Percent of Total Resources Surveyed
1840-1849	1	<1%
1850-1859	0	0%
1860-1869	0	0%
1870-1879	0	0%
1880-1889	5	<1%
1890-1899	10	1.3%
1900-1909	29	3.7%
1910-1919	63	7.9%
1920-1929	140	17.8%
1930-1939	79	9.9%
1940-1949	110	13.9%
1950-1959	87	11.0%
1960-1969	57	7.0%

<sup>i</sup> Since the survey was completed, one known building has been demolished. The building at 2509 Main Street in Deep Ellum was demolished in 2021. The building is retained in the survey report, with its demolition accounted for in the inventory in Appendix B.

<sup>ii</sup> Resources already designated either individually in the National Register or as a local Dallas landmark do not have survey forms. Only with no prior individual designation are included in Appendix C.



Table I-3-1. – Decades of construction and percent totals for all 790 resources surveyed.

1970-1979	34	4.3%
1980-1989	53	6.7%
1990-1999	19	2.4%
2000-2009	40	5.2%
2010-2019	57	7.2%
2020-Present	6	<1%

Table I-3-2. – Property type counts for the 593 historic-age (1849-1972) resources in the survey area.<sup>1</sup>

Property Type	No. Resources Constructed	Percent of Total Resources Surveyed
Commercial	507	85.3%
Industrial	20	3.4%
Governmental	18	3.0%
Religious	11	1.9%
Commercial/Industrial	11	1.9%
Social	5	0.8%
Transportation	5	0.8%
Residential	4	0.7%
Educational	4	0.7%
Recreational	3	0.5%
Cultural	2	0.4%
Commercial/Residential	2	0.4%
Funerary	1	0.1%
Medical	1	0.1%
Religious/Commercial	1	0.1%

## ELIGIBILITY RECOMMENDATIONS

This section provides a summary of previous designations and eligibility recommendations for both National Register and City of Dallas local historic designations for historic districts and individual resources. Recommendations are based on fieldwork observations and supported by post-fieldwork analysis and some property-specific research. Per communications with the City of Dallas and HHM’s approved Fieldwork Methodology and Research Design, HHM prioritized citywide thematic research for the historic contexts over property-specific research. HHM used the historic contexts prepared for this project (and presented in Volume II) as the framework for applying historic significance to surveyed resources. Because minimal property-specific research was completed, recommendations are subject to change if additional research reveals relevant information that identifies historical significance or impacts the integrity of a resource. Using this framework, HHM evaluated all surveyed resources for eligibility for historic designation – both for listing in the National Register of Historic Places and with the City of Dallas. Professionals exceeding the *Secretary of the Interior’s Professional Qualification Standards* (36 CFR 61) made all evaluations, carefully following both National Register and City of Dallas Eligibility Criteria.

## HISTORIC DISTRICTS

### Existing Historic Districts

During the survey, HHM reassessed the integrity, period of significance, and boundaries of all existing historic districts in the survey area. Within Downtown and Deep Ellum, HHM identified **189** resources that fall within one, or several, of the **10** existing local historic districts (LHDs), National Register of

Historic Places (NRHP) districts, and National Historic Landmark (NHL) historic districts (Table I-3-3 and Map 1, Appendix A).

*Table I-3-3. Existing LHD, NRHP, and NHL historic districts and number of resources documented in the existing boundaries.*

Existing Historic District Name	LHD	No. Resources	NRHP Historic District	No. Resources	NHL Historic District	No. Resources
Continental Gin HD*	x	5	x	6		
Eastside Warehouse HD	x	2				
Harwood Street HD*	x	32				
Stone Street Place HD*	x	2				
West End HD*	x	44	x	49		
Dallas Downtown HD*			x	125		
Dealey Plaza HD*					x	11
Gulf Oil Distribution			x	6		
<b>Total No.</b>		<b>85</b>		<b>186</b>		<b>11</b>
*Indicates district boundaries overlap with another district. See Map 1 in Appendix A for the overlapping boundaries.						

In many instances, resources fall within both a local and federally listed historic district due to overlapping boundaries. While boundaries for several local and federally listed historic districts overlap and are similar, none of the boundaries are identical. In these instances, and where there is a shared historical and architectural association, HHM recommends using the same boundaries to minimize confusion in future cultural resource management. Discussions on the recommended boundary expansions, as well as updated contributing and noncontributing status for existing and proposed historic district boundaries follow.

#### **WEST END-DEALEY PLAZA LHD EXPANSION AND WEST END NRHP HISTORIC DISTRICT EXPANSION**

The local West End Historic District and the federally listed West End (NRHP) and Dealey Plaza (NHL) Historic Districts all have overlapping boundaries (Map 1, Appendix A). Based on shared historical and architectural associations, HHM recommends expanding the local West End Historic District (to be renamed as the **West End-Dealey Plaza LHD Expansion**) to incorporate resources in both the larger NR-listed West End Historic District and in the NHL-listed Dealey Plaza Historic District (Map 2, Appendix A). HHM also recommends expanding the NR-listed West End Historic District (**West End NRHP Expansion**) to incorporate resources in Dealey Plaza (Map 2, Appendix A). These recommended expansions would enlarge both the local and NRHP West End historic districts and make them identical. No boundary changes are recommended for the Dealey Plaza Historic District.

For each district, HHM also reassessed the contributing status of each resource and updated several based on current integrity. Updated resource counts also changed due to demolitions and new construction. Additionally, because the local and NRHP West End Historic District nominations classified resources as “contributing,” “compatible,” and “intrusion,” HHM recommended new contributing or noncontributing classifications for resources previously designated “compatible” or “intrusion.”

The following tables show prior and recommended contributing and noncontributing counts within *existing* and *proposed* LHD and NRHP-listed West End district boundaries.

*Table I-3-4. Existing West End Local Historic District and Proposed West End-Dealey Plaza Local Historic District C and NC classifications within existing and proposed boundaries.*

Prior C	Prior NC*	Prior Total	Rec. C in existing boundaries	Rec. NC in existing boundaries	Current total in existing boundaries	Rec. C in expanded boundaries	Rec. NC in expanded boundaries	Rec. total in expanded boundaries
36 (73%)	13 (27%)	49	36 (82%)	8 (18%)	44	42 (82%)	9 (12%)	51
*The term "Noncontributing" was not used in the local nomination for the West End Historic District. Instead, resources were identified as "Contributing," "Compatible," and "Intrusion." HHM is counting resources previously classified as "Compatible" and "Intrusion" as noncontributing.								

*Table I-3-5. Existing West End National Register Historic District and Proposed West End Expansion C and NC classifications within existing and proposed boundaries.*

Prior C	Prior NC*	Prior Total	Rec. C in existing boundaries	Rec. NC in existing boundaries	Current total in existing boundaries	Rec. C in expanded boundaries	Rec. NC in expanded boundaries	Rec. total in expanded boundaries
43 (73%)	14 (27%)	57	40 (81%)	9 (19%)	49	42 (82%)	9 (18%)	51
* The term "Noncontributing" was not used in the NRHP nomination for the West End Historic District. Instead, resources were identified as "Contributing," "Compatible," and "Intrusion." HHM is counting resources labeled as "Compatible" and "Intrusion" as "Noncontributing."								

## HARWOOD STREET-DOWNTOWN LHD UPDATE AND DALLAS DOWNTOWN NRHP HISTORIC DISTRICT EXPANSION<sup>2</sup>

The boundaries for the NRHP-listed Dallas Downtown Historic District<sup>3</sup> nearly encompass the boundaries of the local Harwood Street Historic District (Map 1, Appendix A). Based on shared historical and architectural associations, HHM recommends revising the local Harwood Street Local Historic District (**Harwood Street-Downtown LHD Update**) to incorporate resources in the larger NRHP-listed Dallas Downtown Historic District, while cutting out the two blocks at the northeast corner of the local Harwood Street Historic District (Map 3, Appendix A). This would eliminate a noncontributing building and a vacant lot previously occupied by a contributing building.

HHM also identified a grouping of resources east of the current local and NR district boundaries along Commerce and Jackson Streets that is recommended as a potential expansion to both districts (**Harwood Street-Downtown LHD Update** and **Dallas Downtown NRHP Expansion**). These recommended boundary modifications to both districts would make them identical.

For each district, HHM also reassessed the contributing status of each resource and updated several based on current integrity. Resource counts also changed due to demolitions and new construction. Additionally, because the local Harwood Street Historic District nomination classified resources as "contributing," "compatible," and "noncontributing," HHM recommended new contributing and noncontributing classifications for resources previously designated "compatible."

The following tables show prior and recommended contributing and noncontributing counts within the *existing* and *proposed* Harwood Street-Dallas Downtown LHD Update and the NRHP-listed Dallas Downtown Expansion district boundaries.



Table I-3-6. Existing Local Harwood Street Historic District and Proposed Harwood Street-Dallas Downtown Expansion C and NC classifications within existing and proposed boundaries.

Prior C	Prior NC*	Prior Total Resources	Rec. C in existing boundaries	Rec. NC in existing boundaries	Current total in existing boundaries	Rec. C in modified boundaries	Rec. NC in modified boundaries	Rec total in modified boundaries
28 (74%)	10 (26%)	38	38	26 (81%)	6 (19%)	113 (78%)	31 (22%)	144
* The term "Compatible" was used in the local nomination for the Harwood Historic District. HHM is counting resources previously classified as "Compatible" as noncontributing.								

Table I-3-7. Existing NRHP-listed Dallas Downtown Historic District and Proposed Dallas-Downtown Expansion C and NC classifications within existing and proposed boundaries.

Prior C	Prior NC	Prior Total Resources	Rec. C in existing boundaries	Rec. NC in existing boundaries	Current total in existing boundaries	Rec. C in expanded boundaries	Rec. NC in expanded boundaries	Rec total in expanded boundaries
78 (64%)	44 (36%)	122	94 (76%)	29 (24%)	123	113 (78%)	31 (22%)	144

## Proposed New Historic District

### Deep Ellum Historic District (LHD and NRHP)

HHM identified one potential new historic district, located in Deep Ellum, that is recommended eligible as both a local and a National Register historic district. The boundaries would encompass the following existing historic districts: Continental Gin Company Historic District (National Register and local), Eastside Warehouse Historic District (local), and the Gulf Oil Distribution Facility Historic District (National Register) (Maps 4-6, Appendix A).<sup>4</sup> A breakdown of contributing and noncontributing resources is presented in the following table.<sup>iii</sup>

Table I-3-8. Proposed Local and NRHP Deep Ellum Historic District Resource Counts.

Recommended Contributing	Recommended Noncontributing	Total Resources
242 (80%)	61 (20%)	303

## INDIVIDUAL RESOURCES

HHM identified **72** resources previously designated as local landmarks, individually listed in the National Register or both, in the survey area (Maps 7-8, Appendix A). No changes are recommended to these existing individual designations. Because NRHP and City of Dallas evaluation criteria are similar (see Volume I, Section 2, Evaluation Framework), most resources (**37** in the survey area) with one designation (**24** local landmarks and **13** listed in the NRHP) are recommended eligible for the other designation. In addition to those resources with at least one designation, HHM also identified **68** resources without any prior individual historic designation that are recommended eligible for both National Register and local landmark designation.<sup>iv</sup> Survey forms in Appendix C provide additional information on architectural and

<sup>iii</sup> Note that a National Register nomination for the Deep Ellum Historic District is currently underway. The proposed boundaries for the district are slightly larger than the boundaries in this report due to the inclusion of additional resources located outside of the survey area for this project.

<sup>iv</sup> One building, 1445 Ross Avenue, was recommended eligible for the NRHP and local landmark designation once it reaches the 50-year eligibility threshold. Built in 1984, Fountain Place will be eligible in 2034.

historical significance for resources recommended individually eligible. The following table provides resource counts on individual eligibility recommendations.

*Table I-3-9. Individual eligibility recommendations, according to both National Register and City of Dallas Local Landmark Criteria.*

Eligibility Recommendations	National Register		Local		Both Designations	
	Resources	% of Total	Resources	% of Total	Resources	% of Total
Maintain prior individual designation(s)	15	1.9%	31	3.9%	26	3.3%
Recommend new individual designation(s)	24	3.0%	13	1.6%	68	8.6%
<b>TOTAL</b>	<b>39</b>	<b>4.9%</b>	<b>44</b>	<b>5.5%</b>	<b>94</b>	<b>11.9%</b>

## NOTES

<sup>1</sup> Per HHM's approved Research Design and Fieldwork Methodology, HHM only documented location information and eligibility recommendations for resources younger than 50 years old.

<sup>2</sup> The Dallas Downtown Historic District also encompasses the local Stone Street Place Historic District. Because HHM recommends an expanded Harwood-Dallas Downtown Historic District that would incorporate resources in the Stone Street Place boundaries, no changes are recommended to the Stone Street Place historic district.

<sup>3</sup> Includes the boundary increase and amendment for 1600 Pacific Avenue.

<sup>4</sup> Because these districts fall within the proposed Deep Ellum historic district, whose boundaries would encompass them, no changes are recommended to their boundaries.

## I-4 | Future Recommendations

### **CULTURAL RESOURCES DATA MANAGEMENT**

#### **1. INTEGRATE EXISTING SURVEY DATA INTO THE NEW GIS SYSTEM**

As part of this project, the City of Dallas and HHM worked together to create a new GIS system to allow City employees to review and update survey data. Prior cultural resource survey data should be integrated into that system to help facilitate all future recommendations.

### **PUBLIC OUTREACH**

#### **2. SHARE SURVEY DATA**

The new GIS cultural management tool should provide a user-friendly interface for property owners to find recommendations for designations. In addition, copies of this report should be provided online and in local public libraries.

#### **3. ENCOURAGE OWNER-INITIATED DESIGNATION**

The City of Dallas should proactively contact owners of properties eligible for historic designation—either individually or as part of a district—to share information about the designation process and answer questions. Educational materials should direct the public to the Thematic Historic Context Statements in Volume II and explain how the statements can be used to research and identify properties associated with significant themes.

### **NOMINATE A NEW HISTORIC DISTRICT**

#### **4. NOMINATE A DEEP ELLUM NRHP HISTORIC DISTRICT**

The recommended first priority is the completion of a National Register nomination for the recommended Deep Ellum historic district, using funding from the Certified Local Government (CLG) grant program and/or private funding. A formal Determination of Eligibility for the district is currently underway, sponsored by Preservation Dallas. Completion of the National Register nomination as soon as possible—ideally in Fiscal Year 2022—will facilitate reuse of the survey data herein, eliminating the need for a new survey.

#### **5. EVALUATE SUPPORT AND POTENTIALLY DESIGNATE A DEEP ELLUM LOCAL HISTORIC DISTRICT**

Based on public input gathered during the National Register nomination process for Deep Ellum, the City should evaluate support for designating Deep Ellum as a local historic district. The City should host public meetings and online forums to help gauge input. If a sufficient number of property owners in the district support the effort, the NRHP nomination should be directly transferred to a local historic district application to minimize redundancy of work. If possible, the same boundaries should be used for the NRHP historic district and the local historic district to minimize confusion in future cultural resource management efforts.



## **UPDATE AND REFINE EXISTING HISTORIC DISTRICTS**

### **6. EXPAND THE DOWNTOWN DALLAS NRHP HISTORIC DISTRICT**

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As noted in the Survey Results discussion in Section 3, the boundaries of the Downtown Dallas NRHP historic district should be expanded slightly. The district inventory also should be updated to reflect updated contributing/noncontributing recommendations.

### **7. EVALUATE SUPPORT AND POTENTIALLY DESIGNATE AN EXPANDED HARWOOD/DOWNTOWN LOCAL HISTORIC DISTRICT**

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The City should evaluate support for creating an expanded local historic district with boundaries that match the expanded boundaries recommended for the Downtown Dallas NRHP Historic District. The City should host public meetings and online forums to help gauge input. If a sufficient number of owners support the effort, the Downtown Dallas NRHP nomination should be directly transferred to a local historic district application to minimize redundancy of work.

### **8. EVALUATE SUPPORT AND POTENTIALLY DESIGNATE AN EXPANDED WEST END/DEALEY PLAZA LOCAL HISTORIC DISTRICT**

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The City should evaluate support for expanding the West End local historic district to match the overlapping boundaries with (a) the West End National Register Historic District and (b) the Dealey Plaza NHL District (as shown in maps in Appendix A). The City should host public meetings and online forums to help gauge input. If a sufficient number of owners support the effort, the Downtown Dallas NRHP nomination should be directly transferred to a local historic district application to minimize redundancy of work.

## **CONTINUE SURVEY EFFORTS CITYWIDE**

### **9. DEVELOP A CITYWIDE SURVEY PLAN**

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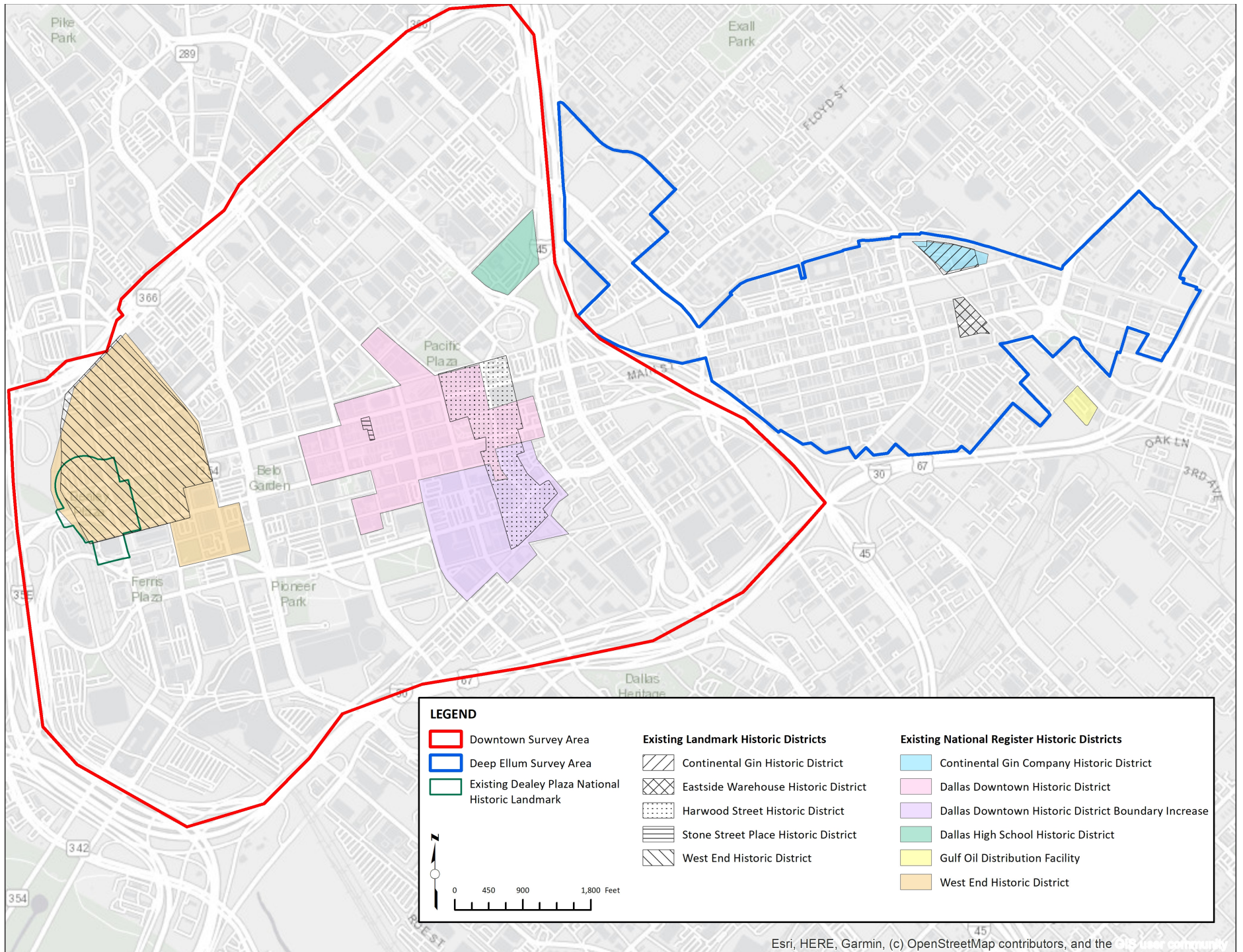
Using CLG funding, the City should develop a citywide survey plan to identify areas for future historic survey and evaluation, providing a phasing plan and multi-year budget allocation estimates for implementing each phase. The plan should use analysis of historic maps, historic aerial photos, and GIS data to target areas with the highest concentrations of extant historic resources so that the field survey is completed as economically as possible.

### **10. EXECUTE THE SURVEY PLAN**

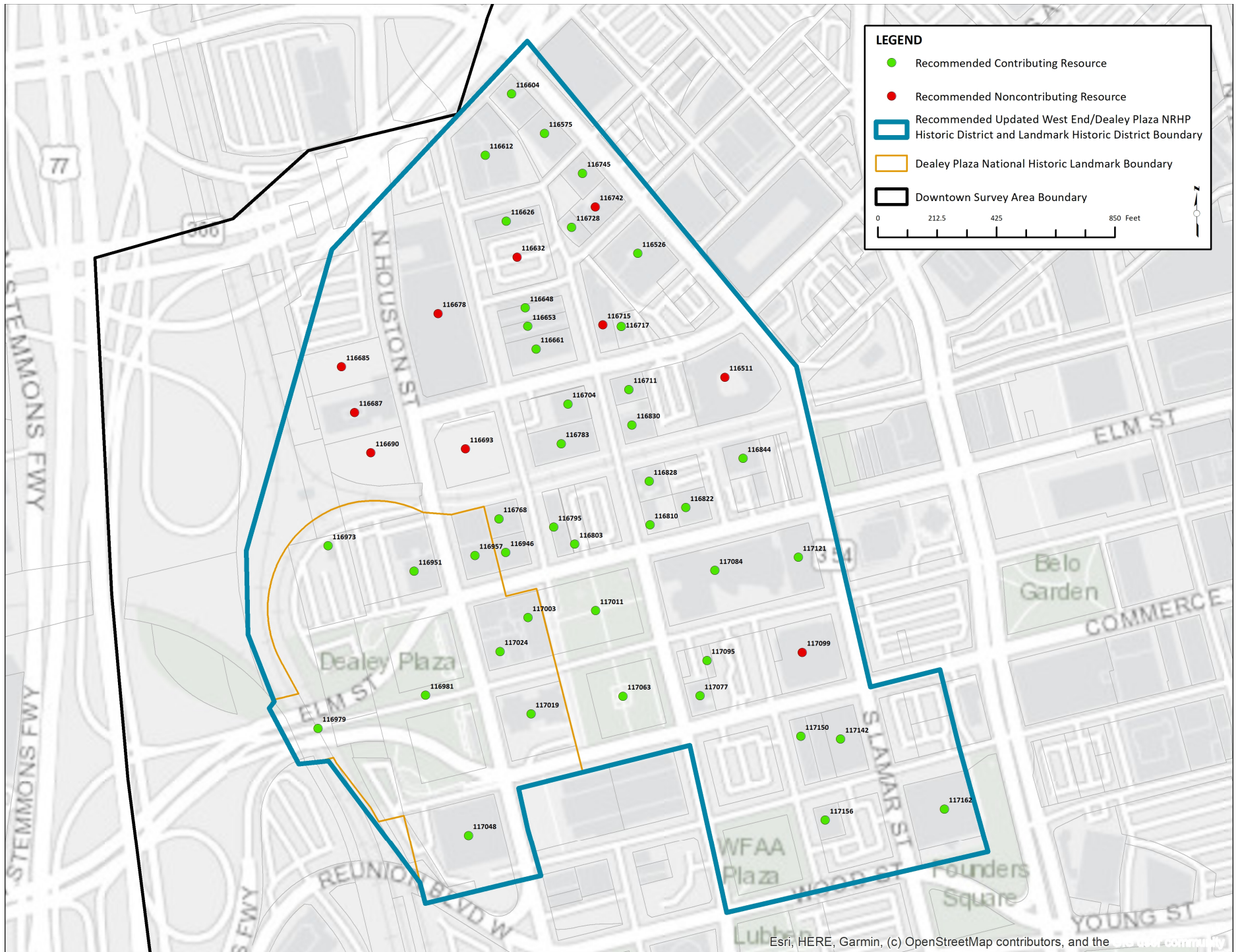
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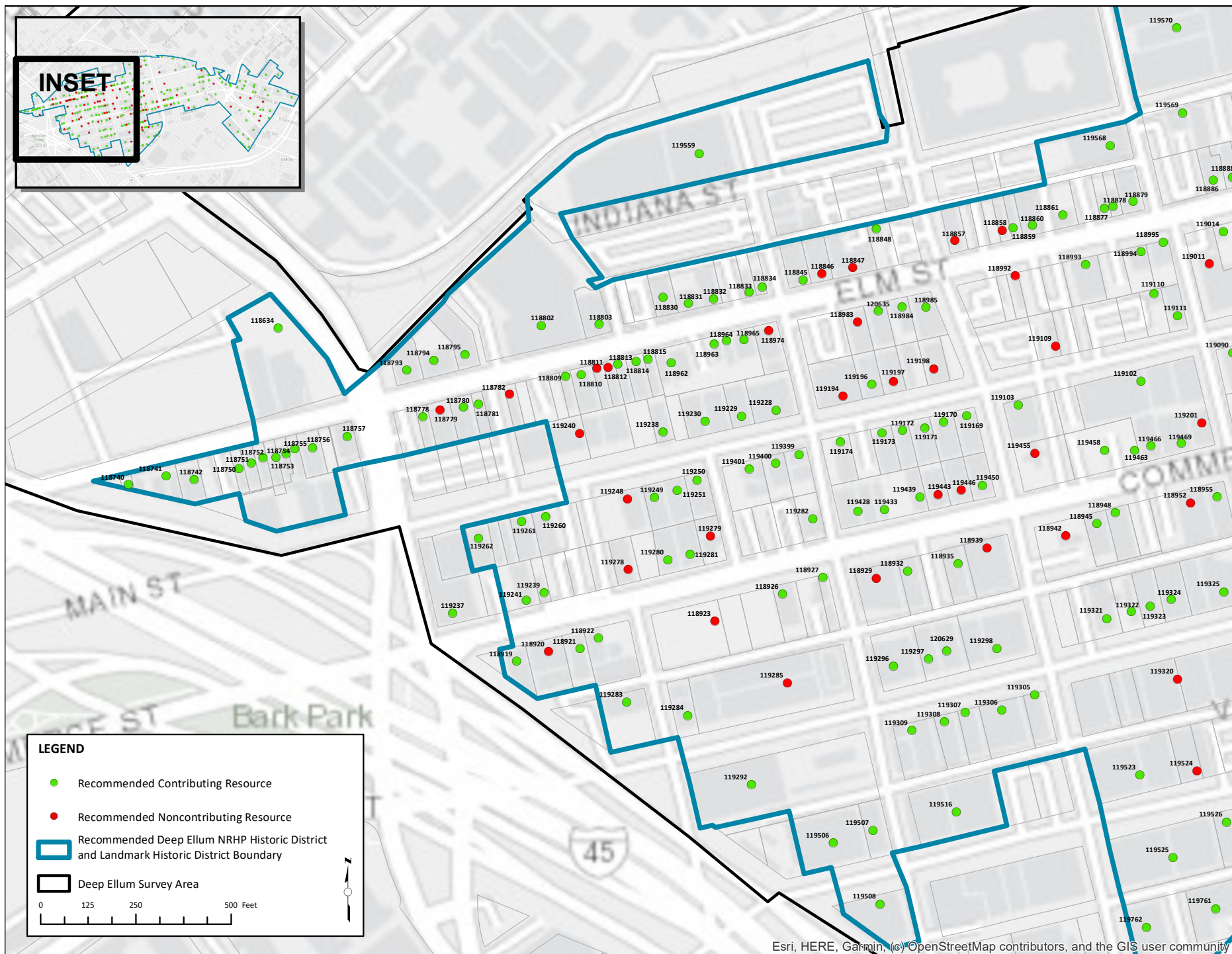
Upon completion of the survey plan, the City should apply for CLG grants on an annual basis to execute the survey plan.

## APPENDIX A – SURVEY MAPS





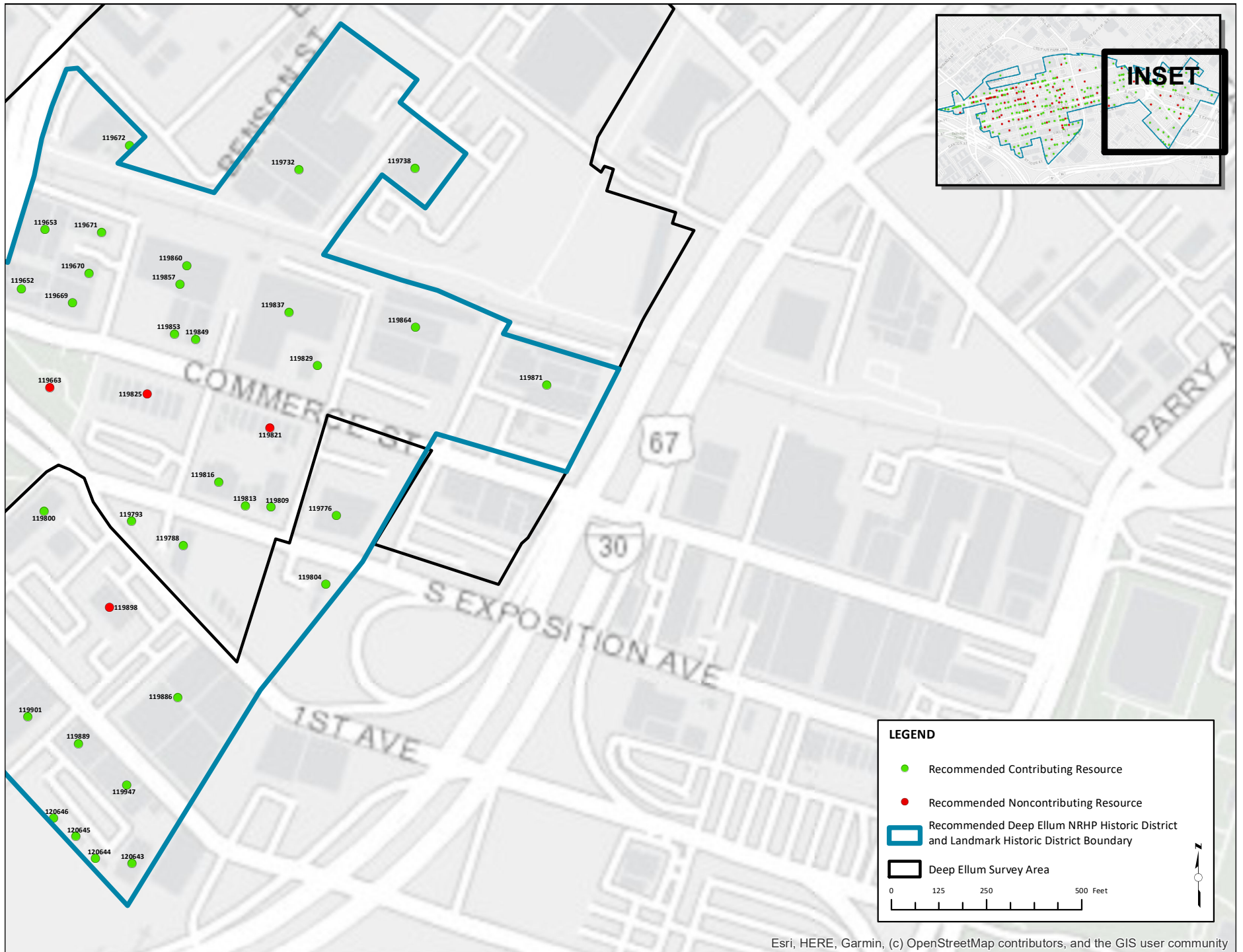


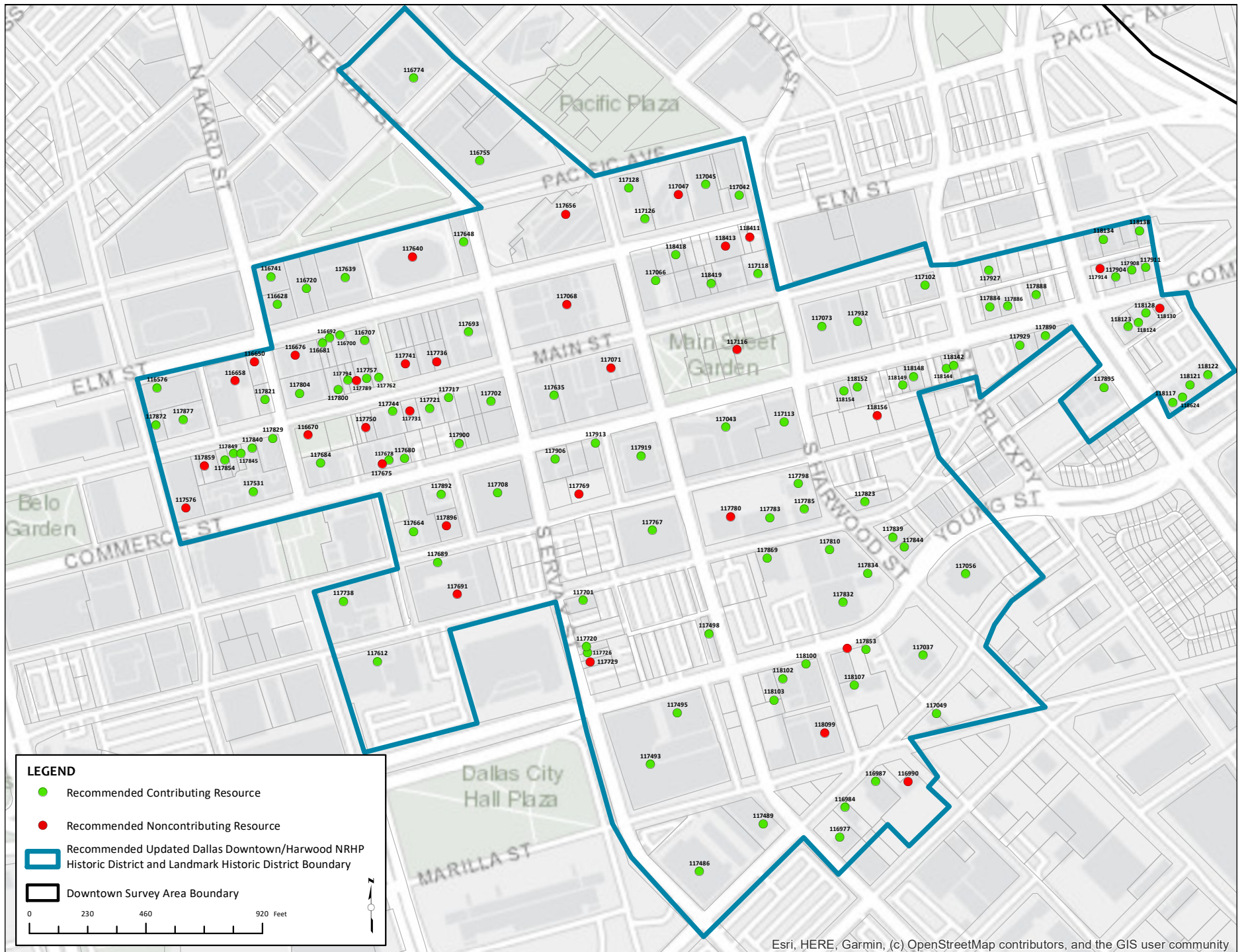




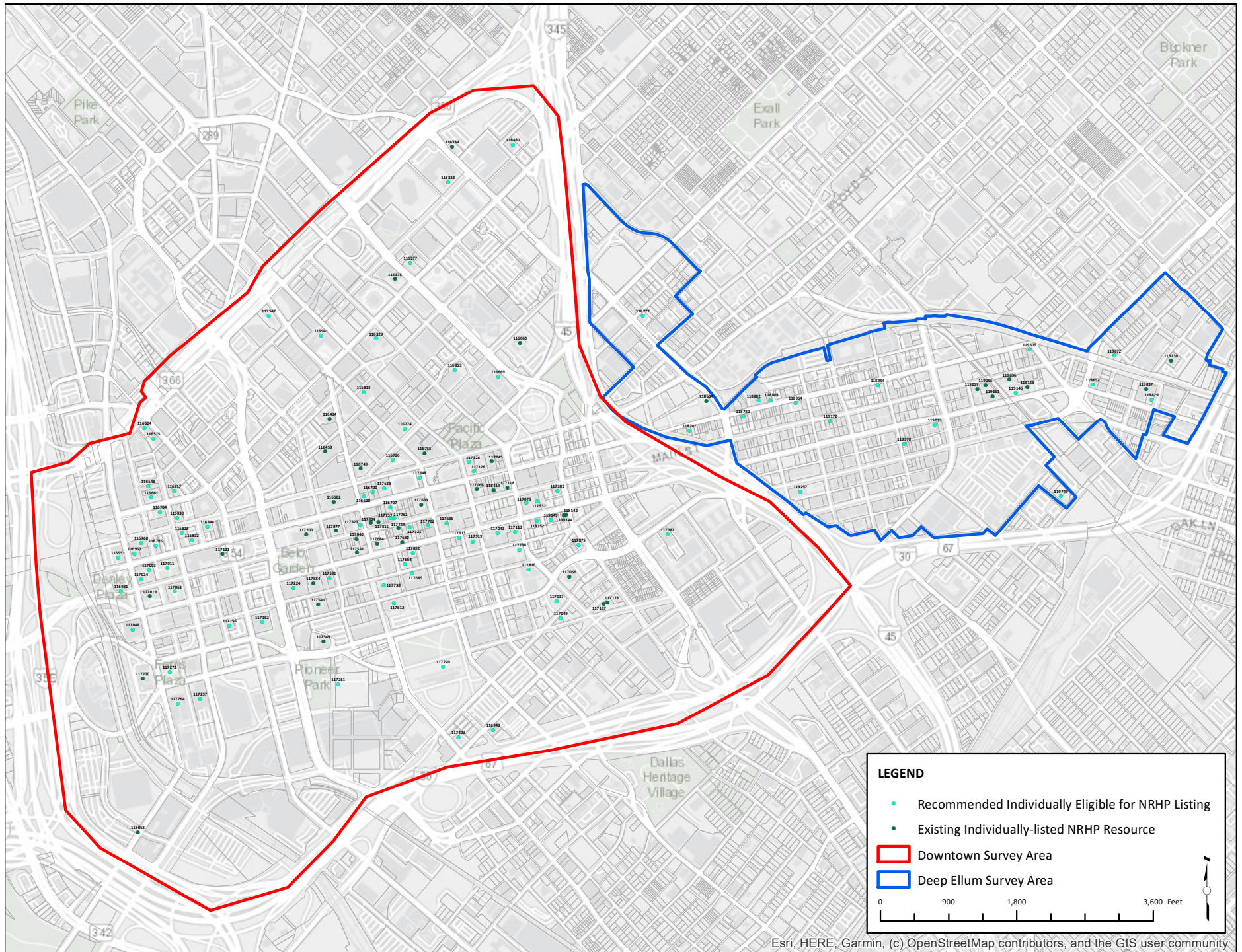






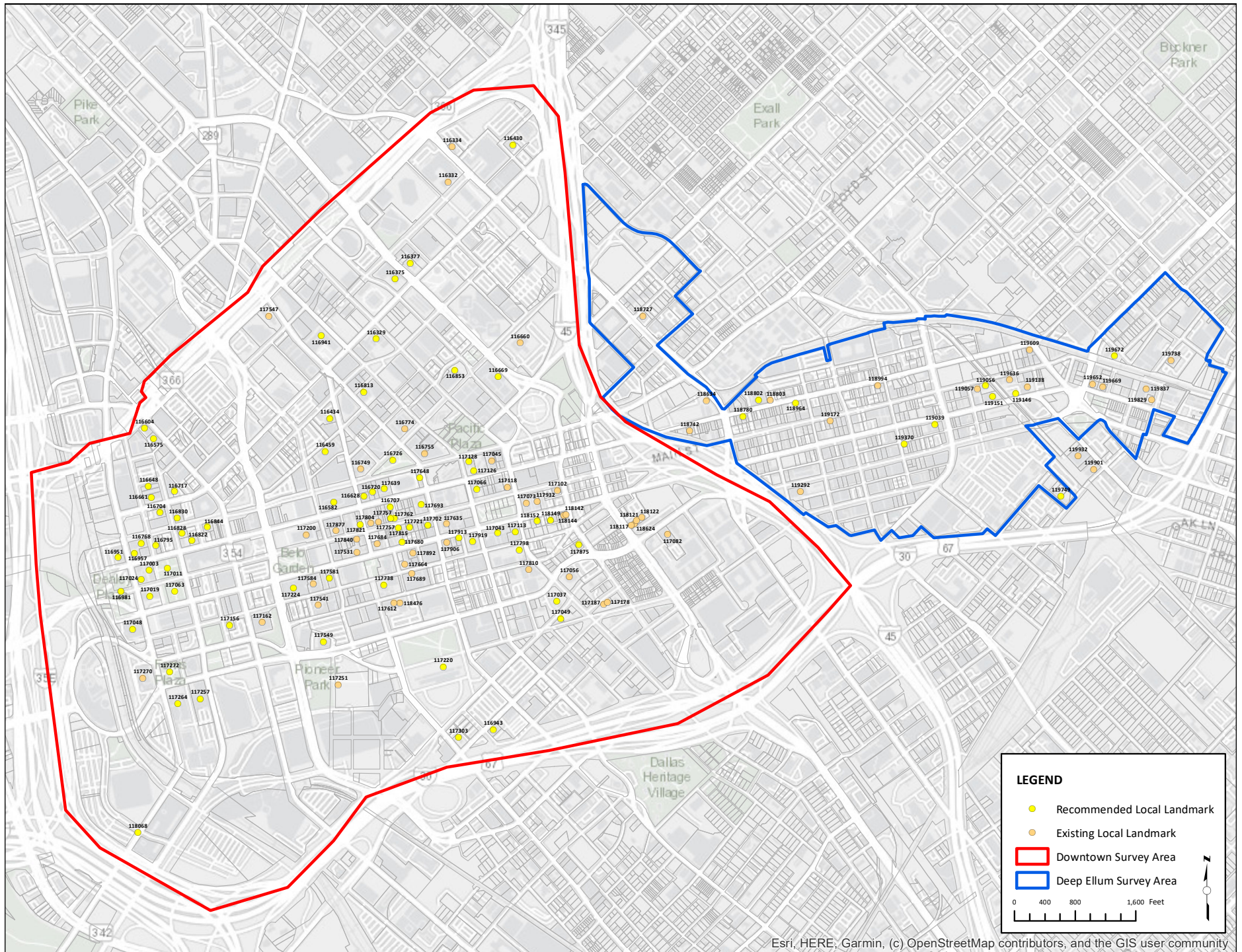






Appendix A | Survey Maps  
I-53









Appendix A | Survey Maps  
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## APPENDIX B – INVENTORY






Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	119800	333 1ST AVE	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29013e+11		Manufacturing building - Two-part commercial block	DCAD					
	119898	417 1ST AVE	Commercial	1949	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29028e+11		Auto service - Box	DCAD					
	119896	502 1ST AVE		2006			Not eligible	Not eligible	Not historic age
	000813000602B0000			DCAD 2021					
	119901	429 S 2ND AVE	Commercial	1929	Chicago Style	Local landmark	Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29052e+11		Manufacturing building - Two-part commercial block	Local nomination		Former Dr. Pepper Dallas Bottling Plant			
	119889	501 S 2ND AVE A	Commercial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Repair shop - One-part commercial block	NR nomination		Gulf Oil Distribution Facility			
	119947	501 S 2ND AVE B	Commercial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Warehouse - One-part commercial block	NR nomination		Gulf Oil Distribution Facility			
	120643	501 S 2ND AVE C	Industrial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Warehouse - Two-part commercial block	NR nomination		Gulf Oil Distribution Facility			

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.






\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.



Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	120644	501 S 2ND AVE D	Industrial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Shop building - Rectangular	NR nomination		Gulf Oil Distribution Facility			
	120645	501 S 2ND AVE E	Industrial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Boiler - Rectangular	NR nomination		Gulf Oil Distribution Facility			
	120646	501 S 2ND AVE F	Industrial	1921	Commercial	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29037e+11		Pump house - Rectangular	NR nomination		Gulf Oil Distribution Facility			
	119886	502 S 2ND AVE	Commercial	1960	Mid-century Modern		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29031e+11		Warehouse, Office - Two-part commercial block	DCAD					
	119932	409-413 S 2ND AVE	Commercial	1925	Commercial	Local landmark	Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	0000012904900000, 0000012904600000		Warehouse - One-part commercial block	Local nomination, DCAD		Former Dr. Pepper Dallas Bottling Plant			
	116741	208 N AKARD ST	Commercial	1956	No stylistic influences visible	Contributing to NR district (listed with 1505 Elm St)	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00885e+11		Parking garage - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			






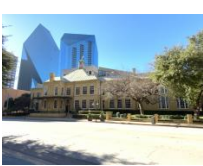
\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.

\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.

Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	116752	318 N AKARD ST	Commercial	1960	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	000233000001A0000		Parking garage - Two-part vertical block	DCAD 2021					
	116749	318 N AKARD ST	Commercial	1952	Mid-century Modern	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	000233000001A0000		Offices - Massed vertical block	DCAD 2021		Fidelity Union Life Complex; Fidelity Union Life Insurance Building			
	116765	400 N AKARD ST	Commercial	1921	Commercial		Not eligible	Not eligible	Lacks integrity
	1.04992e+11		Store - Two-part commercial block	DCAD 2021					
	116459	411 N AKARD ST	Commercial	1965	New Formalism	Individually listed on NR	Maintain previous individual listing	Local landmark	Possesses integrity and significance
	CONDO00C0134CONDO		Offices - Two-part vertical block	DCAD 2021		Mayflower Building			
	117571	500 N AKARD ST		1982			Not eligible	Not eligible	Not historic age
	2.350000001e+13			DCAD 2021					

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.







\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.

Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	116453	505 N AKARD ST	Commercial	1966	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.04923e+11		Parking garage - Two-part vertical block	DCAD 2021					
	116434	511 N AKARD ST	Religious, Commercial	1958	Mid-century Modern, International	Individually listed on NR	Maintain previous individual listing	Local landmark	Possesses integrity and significance
	CONDO00C0997C ONDO		Offices - Two-part vertical block	DCAD 2021		511 Akard Building			
	117539	1717 N AKARD ST	Commercial	1961	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.12297e+11		Hotel - High Rise	DCAD 2021					
	117561	1818 N AKARD ST		2006			Not eligible	Not eligible	Not historic age
	000519000A0010000		Parking garage	DCAD 2021					
	117537	1900 N AKARD ST		2006			Not eligible	Not eligible	Not historic age
	1.07845e+11		Office - High Rise	DCAD 2021					
	117547	1901 N AKARD ST	Commercial	1888	Italianate	Local landmark, RTHL	Individually eligible	Maintain previous individual designation	Possesses integrity and significance
	1.12331e+11		School - Irregular	Embedded stone		Cumberland Hill School; Old Cumberland Hill School			

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.








\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.



Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	117643	208 S AKARD ST		1982			Not eligible	Not eligible	Not historic age
	1.010860001e+11		Office	DCAD 2021					
	117591	211 S AKARD ST	Commercial	1982			Not eligible	Not eligible	Not historic age
	1.00741e+11		Office	DCAD 2021					
	117605	301 S AKARD ST		1981			Not eligible	Not eligible	Not historic age
	1.00762e+11			DCAD 2021					
	117738	308 S AKARD ST	Commercial	1929	Art Deco	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01131e+11		Office - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117638	308 S AKARD ST		2020			Not eligible	Not eligible	Not historic age
	1.01086e+11		Plaza/Mall						
	117619	311 S AKARD ST	Commercial	1948	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.00747e+11		Offices - Two-part vertical block	DCAD 2021					

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.

\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.

Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	117612	400 S AKARD ST	Governmental	1920	Neoclassical, Mid-Century Modern	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01136e+11		Federal Reserve Bank - Temple front, Two-part vertical block	DCAD 2021		Federal Reserve Bank; Dallas Downtown Historic District			
	117517	519 S AKARD ST		1977			Not eligible	Not eligible	Not historic age
	1.00846e+11		Park	DCAD 2021; City of Dallas					
	117244	633 S AKARD ST	Governmental	1957	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.07653e+11		Convention center - Irregular	DCAD 2021					
	117300	811 S AKARD ST	Commercial	1946	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.07674e+11		Office - One-part commercial block	DCAD 2021					
	117303	816 S AKARD ST	Governmental	1953	Ranch Style		Individually eligible	Local landmark	Possesses integrity and significance
	1.01212e+11		Fire station - Two-part commercial block	Dallas Morning News, Nov. 12, 1952					
	117288	1202 S AKARD ST	Governmental	1970	Contemporary		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.07671e+11		Theater/Convention center - Irregular	DCAD 2021					
	116430	2700 ANN WILLIAMS WAY	Social	1930	Italian Renaissance	RTHL	Individually eligible	Local landmark	Possesses integrity and significance
	1.13674e+11		YMCA - Massed block	DCAD 2021 and Corner Stone					

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.







\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.

Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	117627	1601 BRYAN ST	Commercial	1981	Modern		Not eligible	Not eligible	Not historic age
	1.05067e+11		Office - Two-part vertical block	DCAD 2021					
	117615	1917 BRYAN ST		1979			Not eligible	Not eligible	Not historic age
	1.0522e+11		Parking garage	DCAD 2021					
	116937	1999 BRYAN ST		1982			Not eligible	Not eligible	Not historic age
	1.05232e+11			DCAD 2021					
	116853	2001 BRYAN ST	Commercial	1972	International		Individually eligible	Local landmark	Possesses integrity and significance
	1.05316e+11		Office - Massed vertical block	DCAD 2021					
	117026	2101 BRYAN ST		1982			Not eligible	Not eligible	Not historic age
	1.05486e+11			DCAD 2021					
	118367	2214 BRYAN ST		2021			Not eligible	Not eligible	Not historic age
	1.055560001e+11								

\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.







\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.



Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	116660	2218 BRYAN ST	Educational	1904	Classical Revival	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	1.05556e+11		High school - Central block with wings	<a href="https://perkinswill.com/project/old-dallas-high-school/">https://perkinswill.com/project/old-dallas-high-school/</a>		Crozier Tech High School; Dallas High School Historic District			
	116665	2323 BRYAN ST		1982			Not eligible	Not eligible	Not historic age
	000316000007A0000			DCAD 2021					
	117632	509 BULLINGTON ST		1982			Not eligible	Not eligible	Not historic age
	1.04998e+11		Park	City of Dallas acquired park					
	116943	1508 CADIZ ST	Religious	1910	Neoclassical		Individually eligible	Local landmark	Possesses integrity and significance
	1.01374e+11		Church - Enframed Block	DCAD 2021					
	116996	1822 CADIZ ST		1985			Not eligible	Not eligible	Not historic age
	000113000904A0000			DCAD 2021					
	116990	1823 CADIZ ST	Commercial	1945	Modern commercial	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.021e+11		Warehouse - One-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			








\* For resources younger than 50 years old, only location information and eligibility recommendations were recorded; other fields were left blank.

\*\* DCAD dates should be considered estimates. HHM reviewed DCAD dates in the field and updated when the surveyor determined the date was inaccurate.

Image	HHM ID/ CAD PIDN	Address	Original Use / Type – Form*	Est. Year Built / Source**	Stylistic Influence(s)	Prior Designation(s)/ Name	NRHP Recommendations	Local Recommendations	Recommendation Justification
	117178	2018 CADIZ ST A	Commercial	1914	Commercial	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	1.02703e+11		Warehouse - Two-part commercial block	NR nomination		Harlan Building			
	117187	2018 CADIZ ST B	Commercial	1926	Commercial	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Lacks integrity and/or significance for individual eligibility
	1.02703e+11		Store - Two-part commercial block	NR nomination		Harlan Building			
	117183	2021 CADIZ ST	Commercial	1950	No stylistic influences visible		Not eligible	Not eligible	Lacks significance
	1.02661e+11		Warehouse - Rectangular	DCAD 2021					
	118713	600 CANTEGRAL ST	Residential	2000	Contemporary		Not eligible	Not eligible	Not historic age
	1.07515e+11		Single-family house - Rectangular	DCAD 2021					
	118714	606 CANTEGRAL ST	Commercial	1965	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.07503e+11		Warehouse - Box	DCAD 2021					
	117049	1908 CANTON ST	Commercial	1920	Venetian Gothic	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.02262e+11	1907 Marilla St in DCAD	Store - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			

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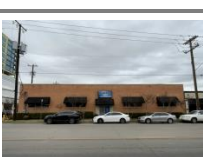


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	117486	1701 CANTON ST	Commercial	1953	Mid-century Modern	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01848e+11		Office, Garage, Shop - Massed block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116984	1808 CANTON ST	Commercial, Industrial	1935	No stylistic influences visible	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02082e+11		Warehouse, Office - One-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116987	1820 CANTON ST	Commercial	1930	Spanish Colonial Revival	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02088e+11		Warehouse, Office - One-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117069	2110 CANTON ST		2015			Not eligible	Not eligible	Not historic age
	000142000A0100000			DCAD 2021					
	117078	2210 CANTON ST		1999			Not eligible	Not eligible	Not historic age
	000153000701A0000			DCAD 2021					
	117082	2220 CANTON ST	Industrial	1925	Chicago Style	Local landmark	Individually eligible	Maintain previous individual designation	Possesses integrity and significance
	CONDO00C2370C ONDO		Manufacturing building - Two-part vertical block	DCAD 2021		Olive and Myers Building			
	117085	2410 CANTON ST		1999			Not eligible	Not eligible	Not historic age
	000164004002A0000			DCAD 2021					

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	117090	2425 CANTON ST		2016			Not eligible	Not eligible	Not historic age
	00016300410180000			DCAD 2021					
	119292	2700 CANTON ST	Commercial	1914	Chicago Style	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.03915e+11		Manufacturing building - Box	DCAD 2021		Adam Hats Building			
	119284	2701 CANTON ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03903e+11		Store - Two-part commercial block	DCAD 2021					
	119285	2713 CANTON ST	Commercial	1929	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	000186000410A0000		Manufacturing building, Warehouse, Store - One-part commercial block	DCAD 2021					
	119296	2805 CANTON ST	Commercial	1954	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03954e+11		Store - One-part commercial block	DCAD 2021					
	119297	2809 CANTON ST	Commercial	1937	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03957e+11		Store - One-part commercial block	DCAD 2021					
	119308	2810 CANTON ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03978e+11		Store - One-part commercial block	DCAD 2021					

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	120629	2811 CANTON ST	Commercial	1937	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03957e+11		Store - One-part commercial block	DCAD 2021					
	119307	2814 CANTON ST	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03975e+11		Store - One-part commercial block	DCAD 2021					
	119306	2824 CANTON ST	Commercial	1936	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03972e+11		Warehouse - One-part commercial block	DCAD 2021					
	119305	2824 CANTON ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03966e+11		Store - Two-part commercial block	DCAD 2021					
	119298	2825 CANTON ST	Commercial	1966	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0396e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119320	2900 CANTON ST	Commercial	2019	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000197001601A0000		Mid-rise apartment building - Three-part vertical block	DCAD 2021					
	119321	2909 CANTON ST	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04083e+11		Store - One-part commercial block	DCAD 2021					

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	119322	2913 CANTON ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04086e+11		Store - One-part commercial block	DCAD 2021					
	119323	2917 CANTON ST	Commercial	1940	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04089e+11		Store - One-part commercial block	DCAD 2021					
	119324	2919 CANTON ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04092e+11		Store - One-part commercial block	DCAD 2021					
	119325	2921 CANTON ST	Commercial	1950	Mid-century Modern		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04098e+11		Machine shop - One-part commercial block	DCAD 2021					
	119369	3001 CANTON ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04212e+11		Store - Two-part commercial block	DCAD					
	119340	3002 CANTON ST	Commercial	1938	Spanish Colonial Revival		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04257e+11		Store - One-part commercial block	DCAD 2021					
	119341	3004 CANTON ST	Commercial	1938	Spanish Colonial Revival		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.042570002e+11		Store - One-part commercial block	DCAD 2021					

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	119368	3005 CANTON ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04218e+11		Store - One-part commercial block	DCAD 2021					
	119367	3007 CANTON ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04215e+11		Store - One-part commercial block	DCAD 2021					
	119342	3008 CANTON ST	Commercial	1962	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04254e+11		Store - One-part commercial block	DCAD 2021					
	119366	3009 CANTON ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04221e+11		Store - One-part commercial block	DCAD 2021					
	119343	3012 CANTON ST	Commercial	1940	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04251e+11		Store - One-part commercial block	DCAD 2021					
	119365	3013 CANTON ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04224e+11		Store - One-part commercial block	DCAD 2021					
	119344	3020 CANTON ST	Commercial	1944	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04248e+11		Store - One-part commercial block	DCAD 2021					








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	119345	3030 CANTON ST	Commercial	1944	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04247e+11		Auto service - One-part commercial block	DCAD 2021					
	119362	3035 CANTON ST	Commercial	1947	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.04185e+11		Store - One-part commercial block	DCAD 2021					
	119384	3111 CANTON ST	Commercial	2012	Commercial		Not eligible	Not eligible	Not historic age
	1.29475e+11		Store - One-part commercial block	DCAD 2021					
	119390	3209 CANTON ST	Commercial	1946	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.29505e+11		Store - One-part commercial block	DCAD 2021					
	120638	3215 CANTON ST	Commercial	1935	Art Deco		Not eligible	Not eligible	Lacks integrity
	1.29508e+11		Manufacturing building - One-part commercial block	DCAD 2021					
	119391	3215 CANTON ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29508e+11		Warehouse - One-part commercial block	DCAD 2021					
	119650	3713 CANTON ST	Commercial	1941	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28371e+11		Auto Service - One-part commercial block	DCAD 2021					

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	119653	3720 CANTON ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000820000101A0000		Warehouse, Store - Two-part commercial block	DCAD 2021					
	118115	2205,2215,2225 CANTON ST		2001			Not eligible	Not eligible	Not historic age
	CONDO00C2072CONDO			DCAD 2021					
	117895	315 S CESAR CHAVEZ BLVD	Commercial	1912	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.029070002e+11		Book depository - Two-part commercial block	Sanborn map (1921, v. 1, sheet 16)					
	118122	400 S CESAR CHAVEZ BLVD A	Industrial	1903	Commercial	Local landmark	Within district (Dallas Downtown Expansion-Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.032310001e+11		Manufacturing building - Two-part vertical block	Local nomination		Olive and Myers Manufacturing Buildings			
	118121	400 S CESAR CHAVEZ BLVD B	Commercial	1920	Commercial	Local landmark	Within district (Dallas Downtown Expansion-Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.032310001e+11		Manufacturing building - Two-part commercial block	Local nomination		Olive and Myers Manufacturing Buildings			
	118624	400 S CESAR CHAVEZ BLVD C	Industrial	1921	Commercial	Local landmark	Within district (Dallas Downtown Expansion-Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.032310001e+11		Manufacturing building - Two-part commercial block	Local nomination		Olive and Myers Manufacturing Buildings			
	118117	400 S CESAR CHAVEZ BLVD D	Industrial	1920	Commercial	Local landmark	Within district (Dallas Downtown Expansion-Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.032310001e+11		Manufacturing building - One-part commercial block	Local nomination		Olive and Myers Manufacturing Buildings			

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	117115	1110 S CESAR CHAVEZ BLVD		2014			Not eligible	Not eligible	Not historic age
	000156000401A0000			DCAD 2021					
	119753	1611 CHESTNUT ST	Commercial	2018	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	000203000A01C0000		Warehouse	DCAD 2021					
	117103	2216 CITY MARKET LN		2007			Not eligible	Not eligible	Not historic age
	000152000A0200000			DCAD 2021					
	117044	600 COMMERCE ST	Governmental	1965	Bauhaus		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.00105e+11		Courthouse - Three-part vertical block	DCAD 2021					
	117077	701 COMMERCE ST	Commercial	1914	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00243e+11		Office - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	117142	804 COMMERCE ST	Commercial	1965	Streamline Moderne	Intrusive in NR district	Update previous district listing (Contributing)	Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and contributes to district
	1.00321e+11		Bus station - Two-part commercial block	DCAD 2021		West End Historic District			
	117219	1000 COMMERCE ST		2000			Not eligible	Not eligible	Not historic age
	000063000A0010000		Restaurant	DCAD 2021					







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	117224	1100 COMMERCE ST	Governmental	1970	International		Individually eligible	Local landmark	Possesses integrity and significance
	1.00501e+11		Office - High Rise	DCAD 2021					
	117581	1222 COMMERCE ST	Commercial, Residential	1966	Mid-century Modern		Individually eligible	Local landmark	Possesses integrity and significance
	1.00735e+11		Offices, Apartments - Three-part vertical block	DCAD 2021					
	117576	1301 COMMERCE ST	Commercial	1956	No stylistic influences visible	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	000070000A01A0000		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117840	1315 COMMERCE ST	Commercial	1955	Moderne	Local landmark; Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000070000A01A0400		Hotel - Two-part vertical block	DCAD 2021		Adolphus Historic District/Hotel Adolphus; Dallas Downtown Historic District			
	117531	1321 COMMERCE ST	Commercial	1912	Beaux Arts	Local landmark; Individually listed on NR; Contributing to NR district; RTHL	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000070000A01A0400		Hotel - Three-part vertical block	DCAD 2021		Adolphus Historic District/Hotel Adolphus; Dallas Downtown Historic District			
	117684	1401 COMMERCE ST	Commercial	1923	Renaissance Revival	Local landmark; Individually listed on NR; Contributing to NR district; RTHL	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01044e+11		Office - Three-part vertical block	DCAD 2021		Magnolia Building; Dallas Downtown Historic District			

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	117675	1501 COMMERCE ST		2012		Post-dates NR district designation (previous building noncontributing)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	000077000004A00 00		- Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			
	117678	1503 COMMERCE ST	Commercial	1910	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000077000004A00 00		Store - Two-part commercial block	In field estimate		Dallas Downtown Historic District			
	117664	1506 COMMERCE ST	Commercial	1931	Art Deco	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01104e+11		Office - Two-part vertical block	Plaque		Dallas Power and Light Building; Dallas Downtown Historic District			
	117680	1511 COMMERCE ST	Commercial	1933	Art Deco	Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000077000004A00 00		Bank - Vault	NR nomination		Dallas National Bank Building; Dallas Downtown Historic District			
	117892	1512 COMMERCE ST	Commercial	1903	Art Deco	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01098e+11		Store, Warehouse - Two-part vertical block	Local nomination		Dallas Power and Light Building; Dallas Downtown Historic District			
	117900	1525 COMMERCE ST	Commercial	1928	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01071e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			

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	117708	1600 COMMERCE ST	Commercial	1969	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01101e+11		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117702	1603 COMMERCE ST	Commercial	1915	Italian Renaissance	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01008e+11		Department store - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117906	1700 COMMERCE ST	Commercial	1926	Classical Revival	Local landmark; Contributing to NR district	Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01704e+11		Offices - Three-part vertical block	DCAD 2021		Allen Building; Dallas Downtown Historic District			
	117913	1712 COMMERCE ST	Commercial	1956	Mid-century Modern	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.016980001e+11		Offices - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117919	1810 COMMERCE ST	Commercial	1951	Stripped Classicism	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01701e+11		Parking Garage, Offices - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117043	1914 COMMERCE ST	Commercial	1956	International, Miesian	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01695e+11		Hotel - Y-plan, Vertical block	DCAD 2021		Dallas Downtown Historic District			
	117113	1954 COMMERCE ST	Governmental	1958	Mid-century Modern	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.01692e+11		Library - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			







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	118154	2008 COMMERCE ST	Commercial	1925	Commercial	Compatible to local district; Contributing to NR district	Maintain previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.02514e+11		Store - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			
	117073	2009 COMMERCE ST	Governmental	1914	Beaux Arts	Local landmark; Contributing to local and NR districts; SAL; RTHL	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	1.02481e+11		City Hall - Enframed block	NR nomination		Municipal Building; Harwood Historic District; Dallas Downtown Historic District			
	118152	2012 COMMERCE ST	Commercial	1912	Beaux Arts	Compatible to local district; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Update previous district designation (Contributing)	Possesses integrity and significance
	1.02514e+11		Auto Sales - Two-part commercial block	Newspaper research		Harwood Historic District; Dallas Downtown Historic District			
	117932	2015 COMMERCE ST	Governmental	1956	Stripped Classicism	Local landmark; Contributing to local and NR districts (listed with 2009 Commerce)	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	1.02487e+11		Municipal building - Enframed block	Newspaper research		Municipal Building; Harwood Historic District; Dallas Downtown Historic District			
	118149	2024 COMMERCE ST	Commercial	1910	Sullivan-esque	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.02544e+11		Store - Two-part commercial block	NR nomination		Dallas Downtown Historic District			

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	118148	2026 COMMERCE ST	Commercial	1915	Classical Revival	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02547e+11		Store - Two-part commercial block	NR nomination		Dallas Downtown Historic District			
	118144	2036 COMMERCE ST	Medical	1904	Commercial	Local landmark; Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.02559e+11		Medical clinic - Two-part commercial block	NR nomination		Bluitt Sanitarium-Aspley Building; Bluitt Sanitarium; Dallas Downtown Historic District			
	118142	2038 COMMERCE ST	Commercial	1902	Commercial	Local landmark; Individually listed in NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.02562e+11		Store - Two-part commercial block	NR nomination		Bluitt Sanitarium-Aspley Building; Purvin-Hexter Building; Dallas Downtown Historic District			
	117884	2105 COMMERCE ST	Commercial	1930	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02871e+11		Store - Two-part commercial block	DCAD 2021					
	117886	2109 COMMERCE ST	Commercial	1915	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02868e+11		Store - Two-part commercial block	DCAD 2021					
	117929	2112 COMMERCE ST	Commercial	1920	Commercial		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02901e+11		Store - Two-part commercial block	DCAD 2021					

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	117890	2116 COMMERCE ST	Commercial	1920	Classical Revival		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02898e+11		Store - Two-part commercial block	DCAD 2021					
	117888	2117 COMMERCE ST	Commercial	1940	Commercial		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02862e+11		Store - Two-part commercial block	DCAD 2021					
	117914	2201 COMMERCE ST	Commercial	1962	Modern commercial		Within district (Dallas Downtown Expansion-Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.03187e+11		Store - One-part commercial block	DCAD 2021					
	118123	2204 COMMERCE ST	Commercial	1926	Commercial		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03204e+11		Store - Two-part commercial block	DCAD 2021					
	117904	2207 COMMERCE ST	Commercial	1910	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.031740099e+11		Store - Two-part commercial block	DCAD 2021					
	118128	2210 COMMERCE ST	Commercial	1925	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03201e+11		Store - Two-part commercial block	DCAD 2021					
	118124	2210 COMMERCE ST	Commercial	1925	Commercial		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03201e+11		Store - Two-part commercial block	DCAD 2021					







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	117908	2211 COMMERCE ST	Commercial	1920	Prairie		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03168e+11		Store - Two-part commercial block	DCAD 2021					
	117911	2215 COMMERCE ST	Commercial	1925	Sullivan-esque		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03159e+11		Store - Two-part commercial block	DCAD 2021					
	118130	2216 COMMERCE ST	Commercial	1930	Commercial		Within district (Dallas Downtown Expansion-Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.03198e+11		Store - Two-part commercial block	DCAD 2021					
	118919	2612 COMMERCE ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03528e+11		Auto service and store - One-part commercial block	DCAD 2021					
	119241	2615 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03786e+11		Store - One-part commercial block	DCAD 2021					
	118920	2616 COMMERCE ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03867e+11		Store - One-part commercial block	DCAD 2021					
	119239	2623 COMMERCE ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03822e+11		Store - One-part commercial block	DCAD 2021					

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	118922	2630 COMMERCE ST	Commercial	1953	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03861e+11		Store - One-part commercial block	DCAD 2021					
	119278	2633 COMMERCE ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	000183000A0010000		Store - One-part commercial block	In field estimate					
	119280	2645 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000183000A0010000		Store - One-part commercial block	DCAD 2021					
	119281	2651 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.037800001e+11		Store - One-part commercial block	DCAD 2021					
	119279	2653 COMMERCE ST	Commercial	1924	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03843e+11		Store - One-part commercial block	DCAD 2021					
	118923	2700 COMMERCE ST		2021			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.039e+11								

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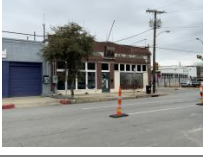

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	119282	2713 COMMERCE ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03855e+11		Auto Service - Two-part commercial block	In field estimate					
	118926	2724 COMMERCE ST	Commercial	1928	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03891e+11		Store - One-part commercial block	DCAD 2021					
	118927	2730 COMMERCE ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03885e+11		Store - One-part commercial block	DCAD 2021					
	118929	2800 COMMERCE ST	Commercial	1954	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03951e+11		Store - One-part commercial block	DCAD 2021					
	119428	2801 COMMERCE ST	Commercial	1924	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10872e+11		Store - One-part commercial block	Building inscription					
	118932	2808 COMMERCE ST	Commercial	1927	Prairie		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03948e+11		Store - One-part commercial block	DCAD 2021					
	119433	2809 COMMERCE ST	Commercial	1921	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10872e+11		Store - One-part commercial block	DCAD 2021					








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	119439	2813 COMMERCE ST	Commercial	1921	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10872e+11		Auto service - One-part commercial block	DCAD 2021					
	119443	2815 COMMERCE ST	Commercial	1920	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.10881e+11		Store - One-part commercial block	DCAD 2021					
	118935	2816 COMMERCE ST	Commercial	1946	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03942e+11		Store - One-part commercial block	DCAD 2021					
	119446	2819 COMMERCE ST	Commercial	1920	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.10884e+11		Store - One-part commercial block	DCAD 2021					
	118939	2820 COMMERCE ST	Commercial	1943	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03939e+11		Store - One-part commercial block	DCAD 2021					
	119450	2825 COMMERCE ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10887e+11		Store - One-part commercial block	DCAD 2021					
	119455	2901 COMMERCE ST	Commercial	1948	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04053e+11		Gas station - Box with canopy	DCAD 2021					

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	118942	2904 COMMERCE ST	Commercial	1957	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04077e+11		Gas station - Box with Canopy	DCAD 2021					
	118945	2910 COMMERCE ST	Commercial	1952	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04065e+11		Store - One-part commercial block	DCAD 2021					
	118948	2914 COMMERCE ST	Commercial	1945	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04062e+11		Store - One-part commercial block	DCAD 2021					
	119463	2919 COMMERCE ST	Commercial	1951	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04026e+11		Auto service - One-part commercial block	DCAD 2021					
	119458	2919 COMMERCE ST	Commercial	1951	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04026e+11		Auto service - One-part commercial block	DCAD 2021					
	119466	2921 COMMERCE ST	Commercial	1924	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0403e+11		Store - One-part commercial block	DCAD 2021					
	119469	2923 COMMERCE ST	Commercial, Residential	1940	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0403e+11		Store - Two-part commercial block	In field estimate					

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	119201	2933 COMMERCE ST	Commercial	1924	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.0403e+11		Auto service - Two-part commercial block	DCAD 2021					
	118952	2940 COMMERCE ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04056e+11		Manufacturing building - Two-part commercial block	DCAD 2021					
	118955	2952 COMMERCE ST	Commercial	1950	Art Deco		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04056e+11		Store - One-part commercial block	DCAD 2021					
	118958	3000 COMMERCE ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04206e+11		Store - Two-part commercial block	DCAD 2021					
	119195	3003 COMMERCE ST	Commercial	1969	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04167e+11		Store - One-part commercial block	DCAD 2021					
	118961	3004 COMMERCE ST	Commercial	1941	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04203e+11		Store - One-part commercial block	DCAD 2021					
	119207	3005 COMMERCE ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.0417e+11		Store - One-part commercial block	DCAD 2021					



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	119018	3008 COMMERCE ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.042e+11		Store - One-part commercial block	DCAD 2021					
	119210	3009 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04173e+11		Store - One-part commercial block	DCAD 2021					
	119025	3012 COMMERCE ST	Commercial	1946	Art Deco		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04197e+11		Store - Vault	DCAD 2021					
	119031	3014 COMMERCE ST	Commercial	1946	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04194e+11		Store - One-part commercial block	DCAD 2021					
	119222	3017 COMMERCE ST	Commercial	1957	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04159e+11		Store - One-part commercial block	DCAD 2021					
	119028	3018 COMMERCE ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04191e+11		Store - One-part commercial block	In field estimate					
	119043	3022 COMMERCE ST	Commercial	1940	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	CONDO00C1151C ONDO		Store - One-part commercial block	DCAD 2021					

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	119039	3026 COMMERCE ST	Commercial	1940	Chicago Style		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	CONDO00C1151C ONDO		Manufacturing building - Two-part commercial block	DCAD 2021					
	119046	3034 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.04182e+11		Store - One-part commercial block	DCAD 2021					
	119007	3100 COMMERCE ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29463e+11		Store - One-part commercial block	DCAD 2021					
	119168	3101 COMMERCE ST		1986			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.29436e+11			DCAD 2021					
	119010	3106 COMMERCE ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29466e+11		Fabrication shop - One-part commercial block	DCAD 2021					
	119004	3116 COMMERCE ST	Commercial	1954	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29469e+11		Office - One-part commercial block	Newspaper research					
	118980	3116 COMMERCE ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29469e+11		Fabrication shop - One-part commercial block	DCAD 2021					

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	119166	3117 COMMERCE ST	Commercial, Industrial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29442e+11		Warehouse - Two-part commercial block	DCAD 2021					
	119165	3117 COMMERCE ST	Commercial, Industrial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29442e+11		Fabrication shop - One-part commercial block	DCAD 2021					
	119163	3117 COMMERCE ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29442e+11		Store - One-part commercial block	DCAD 2021					
	118977	3200 COMMERCE ST	Commercial	1955	Mid-century Modern		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29484e+11		Store - One-part commercial block	DCAD 2021					
	119158	3201 COMMERCE ST	Commercial	1948	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29448e+11		Warehouse - One-part commercial block	DCAD 2021					
	119115	3208 COMMERCE ST	Transportation	1881	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.2949e+11		Railroad tiles - Linear						



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	119151	3221 COMMERCE ST	Commercial, Industrial	1923	Chicago Style	Individually listed on NR; Contributing to local district	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Local landmark, Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.2946e+11		Warehouse - One-part vertical block	Local nomination		Chevrolet Motor Company Building; Eastside Warehouse District			
	119120	3300 COMMERCE ST	Commercial	1964	International Style		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29055e+11		Bank - Box	DCAD 2021					
	119146	3333 COMMERCE ST	Commercial	1919	Commercial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	8.280001002e+13		Store - One-part commercial block	DCAD 2021					
	119121	3400 COMMERCE ST	Commercial	1957	Streamline Moderne		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29007e+11		Gas station - Oblong Box with Canopy	DCAD 2021					
	119138	3401 COMMERCE ST	Commercial	1921	Chicago Style	Local landmark; Individually listed on NR	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	8.280001002e+13		Manufacturing building - Two-part commercial block	Local nomination		Dallas Tent and Awning/Murray Building			
	119133	3435 COMMERCE ST		2019			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	8.280001001e+13			DCAD 2021					
	119135	3500 COMMERCE ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28365e+11		Store - Two-part commercial block	DCAD 2021					

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	119649	3506 COMMERCE ST	Commercial	1952	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28368e+11		Restaurant - One-part commercial block	DCAD 2021					
	119652	3600 COMMERCE ST	Commercial	1924	Mission Revival	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.28338e+11		Auto dealership - Two-part commercial block	Local nomination		La France Building			
	119669	3612 COMMERCE ST	Commercial	1926	Mission Revival		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28335e+11		Store - One-part commercial block	DCAD 2021					
	119825	3709 COMMERCE ST		2006			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000818000403D0000			DCAD 2021					
	119857	3710 COMMERCE ST	Commercial	1950	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28317e+11		Manufacturing building - Box	DCAD 2021					
	119853	3712 COMMERCE ST	Commercial	1928	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28314e+11		Store - One-part commercial block	DCAD 2021					
	119849	3712 COMMERCE ST	Commercial	1928	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28314e+11		Warehouse, Office - One-part commercial block	DCAD 2021					

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	119837	3800 COMMERCE ST A	Commercial	1928	Chicago Style	Local landmark; Individually listed on NR	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	000817000301A0200		Manufacturing building - Two-part commercial block	DCAD 2021		John E. Mitchell Company Plant			
	119860	3800 COMMERCE ST B	Commercial	1957	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000817000301A0000		Warehouse - Box	DCAD 2021					
	119821	3815 COMMERCE ST		2003			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000816000504A0000			DCAD 2021					
	119829	3816 COMMERCE ST	Governmental	1920	Classical Revival	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	8.170003001e+13		Power station - One-part vertical block	Local nomination		Dallas Power & Light East Substation			
	119882	4003 COMMERCE ST	Commercial	1980	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	1.27408e+11		Store - One-part commercial block	DCAD 2021					
	119874	4003 COMMERCE ST	Commercial	1947	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.27408e+11		Warehouse - Rectangular	DCAD 2021					
	119871	4008 COMMERCE ST	Industrial	1925	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.27375e+11		Manufacturing building, Warehouse - Irregular	In field estimate					








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	118921	2622, 2624 COMMERCE ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03864e+11		Store - Two-part commercial block	DCAD 2021					
	119472	3023 & 3025 COMMERCE ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.294e+11		Auto service - One-part commercial block	DCAD 2021					
	119167	3105 & 3107 COMMERCE ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29439e+11		Store - One-part commercial block	DCAD 2021					
	116632	607 CORBIN ST		2020			Not eligible	Not eligible	Not historic age
	000027006505A000		Park	Satellite images					
	117214	1818 CORSICANA ST A		2007			Not eligible	Not eligible	Not historic age
	000114001001A000			DCAD 2021					
	117211	1818 CORSICANA ST B		2007			Not eligible	Not eligible	Not historic age
	000114001001A000			DCAD 2021					
	117206	1818 CORSICANA ST C		2007			Not eligible	Not eligible	Not historic age
	000114001001A000			DCAD 2021					








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	119560	210 N CROWDUS ST	Commercial	1930	Commercial		Not eligible	Not eligible	Lacks integrity
	1.11046e+11		Warehouse, Office - One-part commercial block	In field estimate					
	119559	301 N CROWDUS ST	Commercial	1954	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000485000E08B0000		Warehouse, Office - Two-part commercial block	DCAD 2021					
	119396	3131 DAWSON ST	Governmental	1983	Contemporary		Not eligible	Not eligible	Not historic age
	1.042455e+11		Government complex - Multiple buildings	DCAD 2021					
	117072	2117 DIVERSEY ST		2011			Not eligible	Not eligible	Not historic age
	000141000A0250000			DCAD 2021					
	119670	3809 EAST SIDE AVE	Commercial	1921	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28332e+11		Store - One-part commercial block	DCAD 2021					
	119671	3815 EAST SIDE AVE	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28326e+11		Store - One-part commercial block	DCAD 2021					
	119725	3905 EAST SIDE AVE	Commercial	1974	Commercial		Not eligible	Not eligible	Not historic age
	1.2874e+11		Warehouse - Box	DCAD 2021					

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	119722	3933 EAST SIDE AVE	Commercial	1945	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.2871e+11		Warehouse - Box	DCAD 2021					
	119723	3990 EAST SIDE AVE	Commercial	1985	Contemporary		Not eligible	Not eligible	Not historic age
	1.28971e+11		Office - Two-part commercial block	DCAD 2021					
	119717	4000 EAST SIDE AVE	Commercial	1931	Contemporary		Not eligible	Not eligible	Lacks integrity
	1.28413e+11		Laundry building - Irregular	DCAD 2021					
	119711	4001 EAST SIDE AVE	Commercial	1945	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28689e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119716	4010 EAST SIDE AVE	Commercial	1963	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28422e+11		Warehouse - One-part commercial block	DCAD 2021					
	119710	4023 EAST SIDE AVE	Commercial	1980	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	1.28686e+11		Warehouse - Box	In field estimate					
	116951	411 ELM ST	Governmental	1901	Romanesque Revival	Contributing to local, NR, and NHL districts; RTHL	Individually eligible, Maintain previous district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	000010001301A0000		Office - Three-part vertical block	NR nomination		West End Historic District (local and NRHP); Dealey Plaza Historic District			

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	117003	500 ELM ST	Governmental	1922	Gothic Revival, Art Deco, International	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00099e+11		Office - Enframed Block	NR nomination		West End Historic District (local and NRHP); Dealey Plaza Historic District			
	116946	501 ELM ST	Commercial	1902	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00096e+11		Manufacturing building - Three-part vertical block	NR nomination		West End Historic District (local and NRHP)			
	116795	601 ELM ST	Commercial	1905	Commercial	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00159e+11		Warehouse - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116803	605 ELM ST	Commercial	1930	Commercial	Intrusion in local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00156e+11		Store - One-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			
	117011	606 ELM ST	Cultural	1936	Vernacular	Contributing to local and NR districts; RTHL	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	000031000401A0000		Single-family house - Cabin	RTHL marker		West End Historic District (local and NRHP)			
	116810	701 ELM ST	Commercial	1965	Mid-century Modern	Compatible to local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00219e+11		Offices - Three-part vertical block	Dallas Morning News, Jan. 26, 1964		West End Historic District (local and NRHP)			






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	116822	711 ELM ST	Commercial	1925	Chicago Style	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00225e+11		Parking garage - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116539	901 ELM ST		2005			Not eligible	Not eligible	Not historic age
	1.00378e+11			Plaque in park					
	116535	907 ELM ST	Commercial	1970	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.00375e+11		Restaurant - One- part commercial block	DCAD 2021					
	116532	909 ELM ST	Commercial	1947	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.00387e+11		Store - One-part commercial block	DCAD 2021					








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	116520	911 ELM ST	Commercial	1915	Classical Revival		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.00384e+11		Store - Two-part commercial block	In field estimate					
	116514	1015 ELM ST	Commercial	1969	Contemporary		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.0036e+11		Hotel - Massed vertical block	DCAD 2021					
	116504	1025 ELM ST	Commercial	1923	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.00363e+11		Hotel - Two-part vertical block	DCAD 2021					
	116573	1201 ELM ST	Commercial	1974	Minimal Modernism		Not eligible	Not eligible	Not historic age
	1.00445e+11		Office - Massed vertical block	DCAD 2021					
	116569	1201 ELM ST		1991			Not eligible	Not eligible	Not historic age
	1.004450001e+11			DCAD date for adjacent building					

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	116576	1302 ELM ST	Commercial	1969	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00648e+11		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	116582	1401 ELM ST	Commercial	1965	New Formalism	Individually listed on NR	Maintain previous individual listing	Local landmark	Possesses integrity and significance
	1.00441e+11		Office - Massed vertical block	DCAD 2021		First National Bank Tower			
	116650	1414 ELM ST	Commercial	1946	Art Deco	Noncontributing to NR district	Maintain previous district listing (- Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	000114206901A0000		Department store - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	116676	1502 ELM ST		1998		Noncontributing to NR district	Maintain previous district listing (- Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	000076000A0010000			DCAD 2021		Dallas Downtown Historic District			
	116628	1505 ELM ST	Commercial	1957	Mid-century Modern	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	CONDO00C1816C ONDO		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	116681	1512 ELM ST	Commercial	1915	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000076000A0030000		Store - Two-part commercial block	In field estimate		Dallas Downtown Historic District			
	116692	1514 ELM ST	Commercial	1925	Classical Revival	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000076000A0030000		Hotel - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			

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	116700	1516 ELM ST	Commercial	1913	Chicago Style, Prairie	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000076000A003000		Department store - Two-part vertical block	Sanborn map (1921, v. 1, sheet 8)		Dallas Downtown Historic District			
	116707	1520 ELM ST	Commercial	1913	Classical Revival	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000076000A002000		Store - Two-part commercial block	Sign on building		Stone Street Place; Dallas Downtown Historic District			
	117640	1601 ELM ST		1981		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	CONDO00C7197C ONDO		Office - High Rise	DCAD 2021		Dallas Downtown Historic District			
	117656	1702 ELM ST		1983		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.1071275e+11		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117066	1900 ELM ST	Commercial	1928	Renaissance Revival	Individually listed on NR; Contributing to local and NR districts	Maintain previous individual and district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.01935e+11		Department store - Stacked Vertical Block	DCAD 2021		Titche-Goettinger Department Store; Harwood Historic District; Dallas Downtown Historic District			








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	117126	1907 ELM ST	Commercial	1931	Art Deco, Zig-zag Moderne	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
			Offices - Three-part vertical block	NR nomination		Harwood Historic District; Dallas Downtown Historic District			
	118413	1920 ELM ST		1990		Noncontributing to local and NR districts	Maintain previous district listing (Noncontributing)	Maintain previous district designation (Noncontributing)	Not historic age
	CONDO00C7714C ONDB		Parking garage	In field estimate		Harwood Historic District; Dallas Downtown Historic District			
	118411	1922 ELM ST		2000		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.01947e+11			In field estimate		Dallas Downtown Historic District			
	117045	1925 ELM ST	Commercial	1921	Renaissance Revival	Local landmark; Individually listed on NR; Contributing to local and NR districts; RTHL	Maintain previous individual and district listings (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	1.01566e+11		Theater - Three-part vertical block	National Register Nomination; THC Atlas		Majestic Theatre; Harwood Historic District; Dallas Downtown Historic District			
	118418	1928 ELM ST	Commercial	1902	Romanesque Revival	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.019620001e+11		Store - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			

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	117042	1933 ELM ST	Commercial	1888	Italianate	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.01533e+11		Store - Two-part commercial block	NR nomination		Harwood Historic District; Dallas Downtown Historic District			
	117131	2000 ELM ST		1982		Noncontributing to local district	Not eligible	Update previous district boundaries to remove	Not historic age
	1.250000001e+13			DCAD 2021		Harwood Historic District			
	117101	2202 ELM ST	Commercial	1930	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.02824e+11		Store - One-part commercial block	DCAD 2021					
	118740	2518 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.034295e+11		Store - One-part commercial block	DCAD 2021					
	118640	2525 ELM ST	Residential	2019	Contemporary		Not eligible	Not eligible	Not historic age
	000280000A0030000		High-rise apartment building - High Rise	DCAD 2021					
	118741	2526 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03432e+11		Store - Two-part commercial block	DCAD 2021					
	118742	2528 ELM ST	Commercial	1892	Commercial	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.03441e+11		Hotel - Two-part commercial block	Local nomination		City Hotel			

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	118750	2538 ELM ST	Commercial	1945	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03453e+11		Store - One-part commercial block	DCAD 2021					
	118751	2540 ELM ST	Commercial	1910	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03459e+11		Store - Two-part commercial block	In field estimate					
	118752	2542 ELM ST	Commercial	1945	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03456e+11		Store - One-part commercial block	DCAD 2021					
	118753	2544 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03462e+11		Store - Two-part commercial block	DCAD 2021					
	118754	2546 ELM ST	Commercial	1910	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.034140001e+11		Store - Two-part commercial block	DCAD 2021					
	118755	2548 ELM ST	Commercial	1913	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03414e+11		Store - Two-part commercial block	DCAD 2021					
	118756	2550 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03468e+11		Store - Two-part commercial block	In field estimate					

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	118634	2551 ELM ST	Social	1916	Italianate	Local landmark; Individually listed on NR	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	000280000A0020100		Meeting hall - Three-part vertical block	Local nomination		Knights of Pythias, Grand Lodge of the Colored Knights of Pythias, Texas			
	118757	2556 ELM ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03678e+11		Store - Two-part commercial block	DCAD 2021					
	118793	2605 ELM ST	Commercial	1952	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.06384e+11		Store - One-part commercial block	DCAD 2021					
	118778	2608 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03675e+11		Store - One-part commercial block	In field estimate (2003 per DCAD)					
	118794	2609 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.06396e+11		Store - One-part commercial block	DCAD 2021					
	118779	2610 ELM ST	Commercial	1968	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03669e+11		Store - Two-part commercial block	DCAD 2021					
	118780	2614 ELM ST	Commercial	1924	Commercial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.03711e+11		Store - One-part commercial block	DCAD 2021					



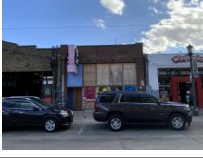




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	118795	2615 ELM ST	Commercial	1924	Classical Revival		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.06393e+11		Warehouse - Two-part commercial block	DCAD 2021					
	118781	2618 ELM ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03756e+11		Store - One-part commercial block	DCAD 2021					
	118782	2624 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03657e+11		Store - One-part commercial block	DCAD 2021					
	118802	2625 ELM ST	Commercial	1924	Commercial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.0639e+11		Store, Warehouse - Two-part commercial block	DCAD					
	118809	2634 ELM ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03714e+11		Store - Two-part commercial block	DCAD 2021					
	118810	2638 ELM ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03699e+11		Store - One-part commercial block	DCAD 2021					
	118803	2639 ELM ST	Commercial	1926	Commercial	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	000286000001A0000		Warehouse - Two-part commercial block	Local nomination		Park Brothers Storage Building			

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	118811	2640 ELM ST	Commercial	1921	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03708e+11		Store - One-part commercial block	DCAD 2021					
	118812	2642 ELM ST	Commercial	1993	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.03741e+11		Store - One-part commercial block	DCAD 2021					
	118813	2644 ELM ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03687e+11		Store - One-part commercial block	DCAD 2021					
	118814	2646 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03747e+11		Store - One-part commercial block	DCAD 2021					
	118815	2650 ELM ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to districtPossesses integrity and contributes to district
	1.03744e+11		Store - One-part commercial block	DCAD 2021					
	118964	2704 ELM ST	Commercial	1905	Commercial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.10893e+11		Store - One-part commercial block	In field estimate					
	118963	2704 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10893e+11		Store - One-part commercial block	DCAD 2021					

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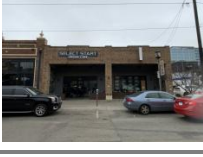

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	118962	2704 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10893e+11		Store - One-part commercial block	DCAD 2021					
	118830	2707 ELM ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11031e+11		Store - One-part commercial block	DCAD 2021					
	118832	2713 ELM ST	Commercial	1909	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11013e+11		Store - One-part commercial block	DCAD 2021					
	118831	2713 ELM ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11013e+11		Store - One-part commercial block	DCAD 2021					
	118965	2720 ELM ST	Commercial	1910	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10893e+11		Store - One-part commercial block	In field estimate					
	118833	2721 ELM ST	Commercial	1895	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11007e+11		Store - One-part commercial block	In field estimate					
	118834	2723 ELM ST	Commercial	1895	Richardsonian Romanesque		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11004e+11		Store - One-part commercial block	In field estimate					

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	118974	2724 ELM ST	Commercial	1930	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.1089e+11		Store - One-part commercial block	DCAD 2021					
	118845	2801 ELM ST	Commercial	1906	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11043e+11		Store - Two-part commercial block	DCAD 2021					
	118846	2807 ELM ST	Commercial	1918	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.11061e+11		Store - One-part commercial block	DCAD 2021					
	118847	2811 ELM ST	Commercial	1908	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.11058e+11		Store - One-part commercial block	DCAD 2021					
	118983	2812 ELM ST	Commercial	1930	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	000481000B12A0000		Auto service - One-part commercial block	DCAD 2021					
	118848	2817 ELM ST	Commercial	1958	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11055e+11		Auto service - Box	DCAD 2021					
	118984	2822 ELM ST	Commercial	1926	Spanish Colonial Revival		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000481000B12A0000		Store - One-part commercial block	DCAD					


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	118985	2826 ELM ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000481000B12A0000		Store - One-part commercial block	DCAD 2021					
	118857	2901 ELM ST	Commercial	1939	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.11133e+11		Store - One-part commercial block	DCAD 2021					
	118858	2911 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.11145e+11		Auto service - One-part commercial block	In field estimate					
	118992	2912 ELM ST	Commercial	1982	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.10974e+11		Store - One-part commercial block	DCAD 2021					
	118859	2913 ELM ST	Commercial	1955	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11148e+11		Store - One-part commercial block	DCAD 2021					
	118861	2917 ELM ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11151e+11		Store - One-part commercial block	In field estimate					
	118860	2917 ELM ST	Commercial	1956	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11151e+11		Store - One-part commercial block	DCAD 2021					








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	118993	2920 ELM ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10962e+11		Store - One-part commercial block	DCAD 2021					
	118877	2929 ELM ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11163e+11		Store - One-part commercial block	DCAD 2021					
	118878	2931 ELM ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11166e+11		Store - One-part commercial block	DCAD 2021					
	118994	2934 ELM ST	Commercial	1911	Commercial	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.10956e+11		Hotel - Two-part commercial block	Local nomination		Boyd Hotel			
	118879	2935 ELM ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11169e+11		Store - Two-part commercial block	DCAD 2021					
	118995	2944 ELM ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10953e+11		Store - One-part commercial block	DCAD 2021					
	119011	3000 ELM ST	Commercial	1980	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.29361e+11		Store - One-part commercial block	DCAD 2021					

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	119014	3008 ELM ST	Commercial	1911	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29355e+11		Store - Two-part commercial block	Dallas Morning News, June 13, 1911, p. 16					
	118886	3009 ELM ST	Commercial	1961	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11175e+11		Store - One-part commercial block	DCAD 2021					
	118888	3013 ELM ST	Commercial	1951	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11178e+11		Store - One-part commercial block	DCAD 2021					
	118889	3015 ELM ST	Commercial	1944	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.11181e+11		Store - One-part commercial block	DCAD 2021					
	119016	3026 ELM ST	Commercial	1910	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.293495e+11		Store - Two-part commercial block	In field estimate					
	119017	3036 ELM ST	Commercial	1960	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29349e+11		Warehouse - One-part commercial block	DCAD 2021					
	119592	3301 ELM ST	Commercial	1914	Chicago Style	Contributing to local and NR districts	Maintain previous district listing, Within district (Deep Ellum- Contributing)	Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.330000001e+13		Warehouse - Irregular	Local nomination		Continental Gin Company Historic District (local and NR)			

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	120641	3309 ELM ST	Industrial	1914	No stylistic influences visible	Contributing to local and NR districts	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.330000001e+13		Water tower - Tower	Local nomination		Continental Gin Company Historic District (local and NR)			
	119591	3309 ELM ST	Industrial	1888	Commercial	Contributing to local and NR districts	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.330000001e+13		Warehouse - Linear	Local nomination		Continental Gin Company Historic District (local and NR)			
	119593	3311 ELM ST	Commercial	1914	Chicago Style	Contributing to local and NR districts	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.330000001e+13		Warehouse - Rectangular	Local nomination		Continental Gin Company Historic District (local and NR)			
	119594	3333 ELM ST	Commercial	1914	Classical Revival	Contributing to NR district	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000833000A0010000		Warehouse - Rectangular	DCAD 2021		Continental Gin Company Historic District			
	119608	3410 ELM ST	Commercial	1945	Modern commercial		Within district (Deep Ellum-Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29124e+11		Store - One-part commercial block	DCAD 2021					
	119609	3414 ELM ST	Social	1911	Italianate	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.29131e+11		Lodge/Meeting hall - Two-part commercial block	DCAD 2021		Sons of Hermann Home			







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	117648	211 N ERVAY ST	Commercial	1958	Mid-century Modern	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.00849e+11		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	116774	400 N ERVAY ST	Governmental	1930	Renaissance Revival	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	CONDO00C1271C ONDO		Post office, Courthouse - Central block with wings	DCAD 2021		U.S. Post Office; Dallas Downtown Historic District			
	116842	505 N ERVAY ST		2019			Not eligible	Not eligible	Not historic age
	000236000010A0000			DCAD 2021					
	116813	606 N ERVAY ST	Religious	1890	Gothic Revival	RTHL	Individually eligible	Local landmark	Possesses integrity and significance
	1.05127e+11		Church - Cruciform	DCAD 2021		First Baptist Church			
	117701	400 S ERVAY ST	Commercial	1920	Sullivaneseque	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01818e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			








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	117720	416 S ERVAY ST	Commercial	1934	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01788e+11		Store - One-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117726	418 S ERVAY ST	Commercial	1948	Modern commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01815e+11		Store - One-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117729	420 S ERVAY ST	Commercial	1958	No stylistic influences visible	Noncontributing to NR district	Maintain previous district listing (- Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.01791e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117493	500 S ERVAY ST A	Commercial	1911	Mid-century Modern	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01842e+11		Warehouse - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117495	500 S ERVAY ST B	Commercial	1960	No stylistic influences visible	Noncontributing to NR district (listed with Butler Building - 500 S. Ervay)	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01842e+11		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116949	901 S ERVAY ST	Commercial	1922	Commercial		Not eligible	Not eligible	Lacks integrity
	1.01371e+11		Warehouse, Store - Two-part commercial block	DCAD 2021					

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	116963	904 S ERVAY ST	Commercial	1920	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.01872e+11		Auto Service and Store - Two-part commercial block	Sanborn map (1921, v. 1, sheet 61)					
	116960	912 S ERVAY ST		1977			Not eligible	Not eligible	Not historic age
	1.01902e+11			DCAD 2021					
	116956	1000 S ERVAY ST	Industrial	1966	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	000105001101A0000		Printer - Irregular	DCAD 2021					
	119642	110 EXPOSITION AVE	Commercial	1958	Mid-century Modern		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28356e+11		Store - One-part commercial block	DCAD 2021					
	119793	345 EXPOSITION AVE	Commercial	1952	Streamline Moderne		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28227e+11		Office - Two-part commercial block	DCAD 2021					
	119788	401 EXPOSITION AVE	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28233e+11		Store - One-part commercial block	DCAD 2021					
	119816	404 EXPOSITION AVE	Commercial	1958	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28284e+11		Store - One-part commercial block	DCAD 2021					

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	119813	408 EXPOSITION AVE	Commercial	1966	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28281e+11		Restaurant - Linear	DCAD 2021					
	119809	412 EXPOSITION AVE	Commercial	1946	Streamline Moderne		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28278e+11		Store - One-part commercial block	DCAD 2021					
	119785	451 EXPOSITION AVE		2016			Not eligible	Not eligible	Not historic age
	000813000602G0000			DCAD 2021					
	119776	500 EXPOSITION AVE	Commercial	1933	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28266e+11		Office, Store - Two-part commercial block	DCAD 2021					
	119804	507 EXPOSITION AVE	Commercial	1897	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28221e+11		Store - One-part commercial block	DCAD					
	119666	EXPOSITION AVE	Recreational	1990			Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.2901e+11		Park	In field estimate					








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	119663	EXPOSITION AVE	Recreational	1986	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000001283410000 00, 000001283440000 00, 000001283470000 00, 000001283500000 00		Park	Marker					
	116370	2021 FLORA ST		2001			Not eligible	Not eligible	Not historic age
	000527000A01A00 00		Auditorium	DCAD 2021					
	116380	2350 FLORA ST		2020			Not eligible	Not eligible	Not historic age
	5.300000001e+13		Apartments	In field estimate					
	116336	2400 FLORA ST		2009			Not eligible	Not eligible	Not historic age
	000322000A00100 00		Theater	DCAD 2021					
	116335	2400 FLORA ST	Commercial	2012			Not eligible	Not eligible	Not historic age
	000322000A00100 00		Theater	DCAD 2021					








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	116337	2403 FLORA ST		2009			Not eligible	Not eligible	Not historic age
	000534000A01A0000		Opera house	DCAD 2021					
	116332	2501 FLORA ST	Educational	1922	Classical Revival and Georgian	Local landmark	Individually eligible	Maintain previous individual designation	Possesses integrity and significance
	000302000A0010000		School - Central block with wings	Dallas Landmark Website		Booker T Washington (Arts Magnet) High School			
	118712	2707 FLORENCE ST	Residential	2016	Contemporary		Not eligible	Not eligible	Not historic age
	1.07512e+11		Single-family house - Irregular	DCAD 2021					
	118711	2711 FLORENCE ST	Residential	2003	Contemporary		Not eligible	Not eligible	Not historic age
	00032500020020000, 00032500020030000, 00032500020040000		Triplex - Irregular	DCAD 2021					
	118614	1700 FREEMAN ST		2016			Not eligible	Not eligible	Not historic age
				DCAD 2021					
	118672	505 N GOOD LATIMER EXPY	Commercial	1924	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	000279000A0010000		Store - One-part commercial block	DCAD 2021					
	118726	606 N GOOD LATIMER EXPY	Commercial	1955	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05925e+11		Warehouse - Massed block	DCAD 2021					

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	118680	615 N GOOD LATIMER EXPY	Commercial	1949	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.07464e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	118727	624 N GOOD LATIMER EXPY	Religious	1919	Neoclassical	Local landmark	Individually eligible	Maintain previous individual designation	Possesses integrity and significance
	1.05937e+11		Church - Temple front	Local nomination		St. James A.M.E. Church			
	117136	458 S GOOD LATIMER EXPY		2010			Not eligible	Not eligible	Not historic age
	1.03543e+11		Community garden	In field estimate					
	117132	500 S GOOD LATIMER EXPY	Industrial	1939	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.03549e+11		Warehouse - One-part commercial block	DCAD 2021					
	117123	510 S GOOD LATIMER EXPY	Industrial	1963	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.03555e+11		Warehouse - Two-part commercial block	DCAD 2021					
	117144	717 S GOOD LATIMER EXPY	Commercial	1950	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.03381e+11		Warehouse - One-part commercial block	DCAD 2021					
	117140	720 S GOOD LATIMER EXPY	Commercial	1966	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.03561e+11		Auto service - One-part commercial block	DCAD 2021					

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	117147	835 S GOOD LATIMER EXPY		2015			Not eligible	Not eligible	Not historic age
	000157000301A00 00			DCAD 2021					
	116509	200 N GRIFFIN ST	Commercial	1962	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.00366e+11		Parking garage - Three-part commercial block	DCAD 2021					
	116413	500 N GRIFFIN ST	Commercial	1920	Spanish Colonial Revival		Not eligible	Not eligible	Lacks integrity
	1.04689e+11		Store - One-part commercial block	In field estimate					
	116400	660 N GRIFFIN ST		1980			Not eligible	Not eligible	Not historic age
	1.04645e+11		Fire station	DCAD 2021					
	116425	704 N GRIFFIN ST	Commercial	1950	Streamline Moderne		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	2.270000001e+13		Office - One-part commercial block	DCAD 2021					
	116392	706 N GRIFFIN ST		2006			Not eligible	Not eligible	Not historic age
	000228000A00300 00		Drive-in bank	DCAD 2021					






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	116395	1708 N GRIFFIN ST	Commercial	1920	Commercial		Not eligible	Not eligible	Lacks integrity
	1.04653e+11		Store - Two-part commercial block	In field estimate					
	116559	1801 N GRIFFIN ST		1997			Not eligible	Not eligible	Not historic age
	000215001201A0000		Aquarium	DCAD 2021					
	116754	1909 N GRIFFIN ST	Commercial	1946	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	2.140013001e+13		Store - Two-part commercial block	DCAD 2021					
	117235	525 S GRIFFIN ST	Governmental	1972	International		Not eligible	Not eligible	Not historic age
	1.00439e+11		Office - High Rise	DCAD 2021					
	119049	210 N HALL ST	Residential	2019	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.29283e+11		Mid-rise apartment building - Two-part vertical block	DCAD 2021					
	119579	301 N HALL ST	Commercial	1967	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29322e+11		Warehouse, Store - One-part commercial block	DCAD 2021					







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	119580	309 N HALL ST	Commercial	1962	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29319e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119581	315 N HALL ST	Commercial	1972	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29313e+11		Warehouse - Box	DCAD 2021					
	119189	111 S HALL ST	Commercial	1992	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.29385e+11		Restaurant - Box	DCAD 2021					
	119383	222 S HALL ST	Commercial	1948	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.29472e+11		Store - One-part commercial block	DCAD 2021					
	119550	333 S HALL ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.042690002e+11		Store - One-part commercial block	DCAD 2021					
	119549	335 S HALL ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04269e+11		Store - One-part commercial block	DCAD 2021					
	119754	400 S HALL ST	Residential	2018	Contemporary		Not eligible	Not eligible	Not historic age
	000203000A01B0000		Mid-rise apartment building - Courtyard plan	DCAD 2021					

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	119761	441 S HALL ST	Commercial	1969	Mid-century Modern		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04155e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119757	514 S HALL ST	Commercial	1974	Commercial		Not eligible	Not eligible	Not historic age
	1.04296e+11		Warehouse - Box	DCAD 2021					
	119760	528 S HALL ST	Commercial	1973	Commercial		Not eligible	Not eligible	Not historic age
	1.04302e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	117041	401 N HARWOOD ST		2010			Not eligible	Not eligible	Not historic age
	1.10836e+11			City of Dallas acquired park					
	116939	609 N HARWOOD ST		1979			Not eligible	Not eligible	Not historic age
	1.05202e+11		Parking garage - Two-part vertical block	DCAD 2021					
	116849	704 N HARWOOD ST	Commercial	1972	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05269e+11		Parking garage - One-part vertical block	DCAD 2021					

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	116854	717 N HARWOOD ST		1980			Not eligible	Not eligible	Not historic age
	1.05178e+11		Office	Plaque					
	116372	1811 N HARWOOD ST		1985			Not eligible	Not eligible	Not historic age
	1.12369e+11		Auditorium	DCAD 2021					
	117798	301 S HARWOOD ST	Commercial	1924	Art Deco	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	CONDO00C0307C ONDO		Office - Two-part vertical block	NR nomination		Harwood Historic District; Dallas Downtown Historic District			
	117785	301 S HARWOOD ST	Commercial	1930	Sullivan-esque	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	CONDO00C0307C ONDO		Office - Three-part vertical block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			
	117823	312 S HARWOOD ST	Commercial	1937	Moderne	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.02613e+11		Store - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			







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	117810	407 S HARWOOD ST A	Religious	1913	Neoclassical	Local landmark; Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	000109000001A0000		Church - Temple front	NR nomination		First Presbyterian Church; Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117839	408 S HARWOOD ST	Commercial	1930	Commercial	Noncontributing to local district; Contributing to NR district	Maintain previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.025710099e+11		Store - One-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117844	412 S HARWOOD ST	Commercial	1924	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.02607e+11		Office - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117834	417 S HARWOOD ST	Religious	1948	English Colonial	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	000109000001A0000		Chapel - Irregular	Plaque		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			





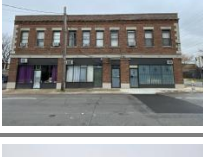


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	117056	500 S HARWOOD ST	Social	1907	Neoclassical	Local landmark; Individually listed on NR; Contributing to local and NR districts; RTHL	Maintain previous individual and district listings (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	1.02641e+11		Scottish Rite Cathedral - Temple front	DCAD 2021		Scottish Rite Temple; Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117037	507 S HARWOOD ST	Social	1941	Art Deco	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.02233e+11		Masonic temple - Vault	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117022	600 S HARWOOD ST	Commercial	1899	Renaissance Revival		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	000130000A0010000		Bank - Two-part commercial block	Dallas News 2014 article					
	117016	608 S HARWOOD ST	Commercial	1947	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.02649e+11		Store - One-part commercial block	DCAD 2021					
	117009	614 S HARWOOD ST	Commercial	1920	Commercial		Not eligible	Not eligible	Lacks integrity
	1.300028021e+13		Store - Two-part commercial block	DCAD 2021					
	117006	915 S HARWOOD ST		2017			Not eligible	Not eligible	Not historic age
	000120000A01A0000			DCAD 2021					

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	117172	920 S HARWOOD ST A		2015			Not eligible	Not eligible	Not historic age
	000132002601A00 00			DCAD 2021					
	117174	920 S HARWOOD ST B		2010			Not eligible	Not eligible	Not historic age
	000132002601A00 00			DCAD 2021					
	117191	1011 S HARWOOD ST		2019			Not eligible	Not eligible	Not historic age
	1.02334e+11			DCAD 2021					
	117194	1103 S HARWOOD ST	Commercial	1925	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.02352e+11		Warehouse - Rectangular	DCAD 2021					
	119705	201 S HASKELL AVE	Commercial	1914	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28419e+11		Store - Two-part commercial block	DCAD 2021					
	119741	305 S HASKELL AVE	Commercial	1968	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.2841e+11		Warehouse - Box	DCAD 2021					
	119742	403 S HASKELL AVE	Commercial	1953	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	8.250000001e+13		Warehouse, Store - Two-part commercial block	DCAD 2021					

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	119704	113 HASKELL AVE	Commercial	1930	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	00000128683000000, 0000012868000000, 0000128677000000		Store - One-part commercial block	DCAD 2021					
	118667	404 HAWKINS ST	Commercial	1929	Commercial		Not eligible	Not eligible	Lacks integrity
	1.06168e+11		Store - Two-part commercial block	DCAD 2021					
	119283	215 HENRY ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03879e+11		Store - One-part commercial block	Building inscription					
	119749	3200 HICKORY ST	Industrial	1928	Industrial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	00000129684000000, 0000129683000000, 0000129682000000, 0000129680000000		Grain warehouse and tanks - Cylindrical	Sanborn map (1950, v. 1, sheet 100)					
	116690	333 N HOUSTON ST		2018		Post-dates local and NR district designations (previously vacant)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000009002601A000		Parking garage	DCAD 2021		West End Historic District (local and NRHP)			
	116687	401 N HOUSTON ST		2006		Post-dates local and NR district designations (previously vacant)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000008004305B0100		Office	DCAD 2021		West End Historic District (local and NRHP)			








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	116685	401 N HOUSTON ST		2017		Post-dates local and NR district designations (previously vacant)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000008004305B000		Office	DCAD 2021		West End Historic District (local and NRHP)			
	117019	100 S HOUSTON ST	Governmental	1891	Romanesque Revival	Individually listed on NR; Contributing to local, NR, and NHL districts	Maintain previous individual and district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00102e+11		Courthouse - Massed block	NR nomination		Dallas Co. Courthouse; West End Historic District (local and NRHP); Dealey Plaza Historic District			
	117048	207 S HOUSTON ST	Governmental	1936	Art Deco	Contributing to NHL district	Individually eligible, Maintain previous NHL listing, Within district (West End Expansion-Contributing)	Local landmark, Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and significance
	1.00057e+11		Post office - Enframed block	Plaque		Dealey Plaza Historic District			
	117298	302 S HOUSTON ST	Commercial	1925	Italianate		Not eligible	Not eligible	Lacks integrity
	1.00117e+11		Hotel - Three-part vertical block	DCAD 2021					
	117295	306 S HOUSTON ST	Commercial	1955	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.00114e+11		Store - One-part commercial block	DCAD 2021					
	117290	310 S HOUSTON ST		2016			Not eligible	Not eligible	Not historic age
	000024002205B000		Hotel	DCAD 2021					








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	118080	400 S HOUSTON ST	Transportation	1916	Italianate		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
			Railroad control building - Rectangular	Comparable buildings					
	117270	411 S HOUSTON ST	Commercial	1914	Beaux Arts	Local landmark; Individually listed on NR; RTHL	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	1.00067e+11		Train station - Enframed Block	DCAD 2021		Union Station Terminal; Dallas Union Terminal			
	117272	412 S HOUSTON ST	Recreational	1924			Individually eligible	Local landmark	Possesses integrity and significance
	1.00126e+11		Park - One square block	Plaque					
	118068	HOUSTON ST	Transportation	1911		Individually listed on NR	Maintain previous individual listing	Local landmark	Possesses integrity and significance
			Bridge - Reinforced concrete arched	NR nomination		Houston Street Viaduct			
	116973	HOUSTON ST	Transportation	1916	Italianate	Contributing to local, NR, and NHL districts	Maintain previous district listings (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00009e+11		Railroad control building - Rectangular	NR nomination		West End Historic District (local and NRHP); Dealey Plaza Historic District			
	120632	2810 INDIANA BLVD	Commercial	1940	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.11046e+11		Auto Service - Rectangular	In field estimate					
	119561	2901 INDIANA BLVD	Residential	2007	Contemporary		Not eligible	Not eligible	Not historic age
	000489000G01A0000		Mid-rise apartment building - Three-part vertical block	DCAD 2021					

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	119569	3004 INDIANA BLVD	Commercial	1945	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.11184e+11		Warehouse, Store - Two-part commercial block	DCAD 2021					
	119578	3027 INDIANA ST	Commercial	2004	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000844000K04A0000		Office - One-part commercial block	DCAD 2021					
	117304	512 JACKSON ST		1980			Not eligible	Not eligible	Not historic age
	1.00111e+11		Parking garage	DCAD 2021					
	117308	600 JACKSON ST	Commercial	1955	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.001843e+11		Store - Two-part commercial block	DCAD 2021					
	117156	800 JACKSON ST	Commercial	1913	Chicago Style, Prairie	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and significance
	1.0033e+11		Manufacturing building - Three-part vertical block	Sanborn map (1921, v. 1, sheet 48)		West End Historic District			
	117150	801 JACKSON ST	Commercial	1920	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and contributes to district
	1.00324e+11		Office - Two-part commercial block	DCAD 2021		West End Historic District			
	117162	900 JACKSON ST	Commercial	1914	Chicago Style, Renaissance Revival	Local landmark; Contributing to NR district; RTHL	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and significance
	1.0042e+11		Warehouse - Two-part vertical block	Plaque		Higginbotham-Bailey Building; West End Historic District			

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	117541	1122 JACKSON ST	Commercial	1925	Chicago Style, Spanish Colonial Revival	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	CONDO00C6893C ONDO		Warehouse - Three-part vertical block	DCAD 2021		Santa Fe II Freight Terminal & Warehouse; Santa Fe Terminal Buildings No.1 and No. 2			
	117584	1201 JACKSON ST	Commercial	1925	Classical Revival, Art Deco	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	1.00534e+11		Offices - Three-part vertical block	Local nomination		Santa Fe Building #1; Santa Fe Terminal Buildings No.1 and No. 2			
	117560	1212 JACKSON ST		1983			Not eligible	Not eligible	Not historic age
	1.0057e+11			DCAD 2021					
	117566	1300 JACKSON ST	Commercial	1910	Classical Revival		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	CONDO00C6131C ONDO		Store - Two-part commercial block	In field estimate					
	117689	1500 JACKSON ST A	Commercial	1916	Classical Revival	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.01122e+11		Terminal building - Three-part vertical block	Local nomination		Interurban Building; Dallas Downtown Historic District			
	117691	1500 JACKSON ST B	Commercial	1967	No stylistic influences visible	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks significance
	1.01122e+11		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			







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	117896	1517 JACKSON ST		2004		Post-dates NR district designation (previously vacant)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.0111e+11		Parking garage - One-part commercial block	DCAD 2021		Dallas Downtown Historic District			
	117769	1709 JACKSON ST		2016		Post-dates NR district designation (previously vacant)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.017101e+11			DCAD 2021		Dallas Downtown Historic District			
	117767	1810 JACKSON ST	Commercial	1971	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01713e+11		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117780	1900 JACKSON ST	Commercial	1979		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	CONDO00C0307C ONDO		Office - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	118156	2031 JACKSON ST		2017		Post-dates local and NR district designations (previously vacant)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	CONDO00C3380C ONDO			DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	116502	460 N LAMAR ST		2013			Not eligible	Not eligible	Not historic age
	000217000B00100 00		Store	DCAD 2021					








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	116490	460 N LAMAR ST	Commercial	1931	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	000217000B0010000		Store - One-part commercial block	DCAD 2021					
	116544	1800 N LAMAR ST		2001			Not eligible	Not eligible	Not historic age
	2.110009001e+13		Office	DCAD 2021					
	116526	1801 N LAMAR ST	Commercial, Industrial	1923	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.04347e+11		Office - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116742	1907 N LAMAR ST		1996		Post-dates local and NR district designations (previous buildings intrusive and contributing)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	2.050003001e+13		Hotel	DCAD 2021		West End Historic District (local and NRHP)			
	116745	1911 N LAMAR ST	Commercial	1938	Commercial	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.04332e+11		Office - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116575	2001 N LAMAR ST	Commercial, Industrial	1923	Chicago Style	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	000204000004A0000		Office - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			

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	116604	2019 N LAMAR ST	Commercial, Industrial	1908	Chicago Style	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.04308e+11		Office - Two-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			
	116567	2020 N LAMAR ST		1985			Not eligible	Not eligible	Not historic age
	1.04371e+11		Parking garage	DCAD 2021					
	118094	555 S LAMAR ST		2014			Not eligible	Not eligible	Not historic age
	000045005701A000			DCAD 2021					
	118088	555 S LAMAR ST	Commercial	1934			Not eligible	Not eligible	Lacks integrity
	000045005701A000		Statue	DCAD 2021					
	117239	555 S LAMAR ST		2010			Not eligible	Not eligible	Not historic age
	000045005701A000		Hotel	DCAD 2021					
	117274	804 S LAMAR ST		1980			Not eligible	Not eligible	Not historic age
	1.0778251e+11			DCAD 2021					
	118091	944 S LAMAR ST	Commercial	1944	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.09417e+11		Warehouse - One-part commercial block	DCAD 2021					

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	116547	1875 LAWS ST	Commercial	1970	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.043980001e+11		Office - Irregular	DCAD 2021					
	117507	717 LEONARD ST		1985			Not eligible	Not eligible	Not historic age
	1.073530001e+11		Parking garage	DCAD 2021					
	117038	2007 LIVE OAK ST		1997			Not eligible	Not eligible	Not historic age
	1.0534e+11			DCAD 2021					
	117036	2020 LIVE OAK ST	Commercial	1950	Mid-century Modern		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.053915e+11		Offices - Two-part vertical block	DCAD 2021					
	117030	2110 LIVE OAK ST		1995			Not eligible	Not eligible	Not historic age
	2.550000001e+13			DCAD 2021					
	116669	2117 LIVE OAK ST	Commercial	1958	International Style		Individually eligible	Local landmark	Possesses integrity and significance
	1.0549e+11		Hotel, Offices - Massed vertical block	DCAD 2021					





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	117502	2300 LIVE OAK ST		1975			Not eligible	Not eligible	Not historic age
	1.05592e+11		Park	City of Dallas acquired park					
	118683	2502 LIVE OAK ST	Residential	1998	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	CONDO00C4352C ONDO		Mid-rise apartment building - Two-part vertical block	DCAD 2021					
	118687	2600 LIVE OAK ST	Recreational	2002	Contemporary		Not eligible	Not eligible	Not historic age
	000270000M01A0000		Cultural center - Irregular	DCAD 2021					
	118686	2627 LIVE OAK ST	Residential	2014	Contemporary		Not eligible	Not eligible	Not historic age
	000276000A01A0000		Mid-rise apartment building - Two-part vertical block	DCAD 2021					
	118693	2700 LIVE OAK ST	Commercial	1928	Commercial		Not eligible	Not eligible	Lacks integrity
	1.07488e+11		Bottling works - One-part commercial block	DCAD 2021					
	118694	2708 LIVE OAK ST	Commercial	1928	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.07485e+11		Store - One-part commercial block	DCAD 2021					
	120634	2710 LIVE OAK ST	Commercial	1928	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.07485e+11		Store - One-part commercial block	DCAD 2021					







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	118695	2720 LIVE OAK ST	Commercial	2018	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	3.240002001e+13		Gas station - Box with detached canopy	DCAD 2021					
	118692	2727 LIVE OAK ST	Commercial, Residential	2018	Contemporary		Not eligible	Not eligible	Not historic age
	000289000A0010000		Mid-rise apartment building - Two-part vertical block	DCAD 2021					
	116981	400 MAIN ST	Recreational	1935	Art Deco, Classical Revival	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00051e+11		Park - Triangular	City of Dallas		West End Historic District (local and NRHP); Dealey Plaza Historic District			
	117024	500 MAIN ST	Governmental	1915	Renaissance Revival	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00099e+11		Office - Three-part vertical block	NR nomination		West End Historic District (local and NRHP); Dealey Plaza Historic District			
	117063	646 MAIN ST	Cultural	1970	Mid-century Modern	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00168e+11		Memorial - Square	Plaque		West End Historic District (local and NRHP); Dealey Plaza Historic District			

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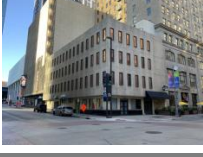

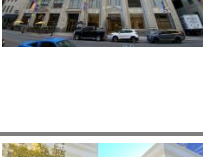
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	117121	705 MAIN ST	Commercial	1924	Chicago Style	Individually listed on NR; Contributing to local and NR districts	Maintain previous individual and district listings (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	000040001701A000		Office - Two-part vertical block	DCAD 2021		Sanger Brothers Complex; West End Historic District (local and NRHP)			
	117084	705 MAIN ST	Educational	1964	Mid-century Modern	Intrusion in local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	000040001701A000		School - Irregular	DCAD 2021		West End Historic District (local and NRHP)			
	117095	706 MAIN ST	Commercial	1920	Commercial	Compatible in local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00237e+11		Store - Two-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			
	117099	800 MAIN ST		1983		Post-dates NR district designation (previous buildings compatible, contributing, intrusive)	Update previous district listing (Noncontributing)	Within district (West End Expansion and Dealey Plaza - Noncontributing)	Not historic age
	4.80033001e+12		Parking garage	DCAD 2021		West End Historic District			
	117122	901 MAIN ST		1983	Mid-century Modern		Not eligible	Not eligible	Not historic age
	1.0039e+11		Office - High Rise	DCAD 2021					
	117196	1014 MAIN ST		2009			Not eligible	Not eligible	Not historic age
	000062000A001000		Park	City of Dallas acquired park					

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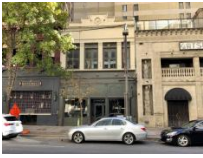




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	117215	1200 MAIN ST	Commercial	1972	International		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	CONDO00C4620C ONDO		Offices - Two-part vertical block	Dallas Public Library website					
	117200	1201 MAIN ST	Commercial	1968	International	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	CONDO00C5372C ONDO		Offices - High Rise	DCAD 2021		One Main Place			
	117208	1217 MAIN ST	Commercial	1958	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.0066e+11		Store - Two-part commercial block	DCAD 2021					
	117872	1301 MAIN ST	Commercial	1965	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00651e+11		Office - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			
	117877	1309 MAIN ST	Residential	1925	Classical Revival	Local landmark; Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.00656e+11		High-rise apartment building - Three-part vertical block	DCAD 2021		Republic National Bank (Davis) Building; 1926 Republic National Bank; Dallas Downtown Historic District			
	117859	1400 MAIN ST		1990	No stylistic influences visible	Contributing to NR district	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	000070000A01A0500		Store - Enframed window wall	DCAD 2021		Dallas Downtown Historic District			








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	117854	1400 MAIN ST	Commercial	1900	Italianate	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00696e+11		Store - Vault	NR nomination		Dallas Downtown Historic District			
	117849	1402 MAIN ST	Commercial	1900	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000070000A01A0100		Store - Two-part commercial block	NR nomination		Dallas Downtown Historic District			
	117845	1404 MAIN ST	Commercial	1900	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00714e+11		Store - Two-part commercial block	NR nomination		Dallas Downtown Historic District			
	116658	1407 MAIN ST		2006		Post-dates NR district designation (previously vacant)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	000114206902A0000			DCAD 2021		Dallas Downtown Historic District			
	117829	1412 MAIN ST	Commercial	1955	Mid-century Modern	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000070000A0020000		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117821	1415 MAIN ST	Commercial	1927	Art Deco	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000114206908A0000		Offices - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District			







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	116670	1500 MAIN ST		1992		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.01041e+11			City of Dallas acquired park		Dallas Downtown Historic District			
	117804	1509 MAIN ST	Commercial	1913	Gothic Revival, Art Deco	Local landmark; Individually listed on NR; Contributing to NR district; RTHL	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000076000A0010100		Store, Office - Three-part vertical block, Two-part vertical block	DCAD 2021		Kirby Building; Busch Building; Dallas Downtown Historic District			
	117800	1515 MAIN ST	Commercial	1946	Mid-century Modern	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00954e+11		Store - Enframed window wall	DCAD 2021		Dallas Downtown Historic District			
	117794	1517 MAIN ST	Commercial	1930	Moderne	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.00912e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			
	117789	1519 MAIN ST	Commercial	1928	No stylistic influences visible	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.00945e+11		Store - Vault	DCAD 2021		Dallas Downtown Historic District			
	117750	1520 MAIN ST	Commercial	1914	Commercial	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.01026e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			
	117757	1521 MAIN ST	Commercial	1967	Neo-Expressionism	Noncontributing to NR district	Individually eligible, Update previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.00936e+11		Store - One-part commercial block	Dallas Morning News, July 9, 1967, p. 17.		Dallas Downtown Historic District			

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	117762	1525 MAIN ST	Commercial	1892	Italianate	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000076000A002000		Store - Two-part commercial block	NR nomination		Stone Street Place; Dallas Downtown Historic District			
	117744	1530 MAIN ST	Commercial	1927	Gothic Revival	Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000077000004A0100		Hotel - Three-part vertical block	DCAD 2021		Dallas National Bank; Dallas Downtown Historic District			
	117731	1600 MAIN ST	Commercial	2013	Commercial	Post-dates NR district designation (previous building noncontributing)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	000077000004A0200		Store - Enframed window wall	DCAD 2021		Dallas Downtown Historic District			
	117741	1601 MAIN ST		2007		Post-dates NR district designation (previous building noncontributing)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.00975e+11		Park			Dallas Downtown Historic District			
	117721	1604 MAIN ST	Commercial	1914	Art Deco	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	000077000004A0300		Offices - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117717	1608 MAIN ST	Commercial	1915	Commercial	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000077000004A0400		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District			

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	117736	1615 MAIN ST	Commercial	2015	Commercial	Post-dates NR district designation (previous building contributing)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.00996e+11		Store - Three-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117693	1623 MAIN ST	Residential	1908	Chicago Style, French Renaissance	Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.00978e+11		Department store, Offices - Stacked Vertical Block	NR nomination		Wilson Building; Dallas Downtown Historic District			
	117635	1704 MAIN ST	Commercial	1942	Art Deco	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.016891e+11		Office - Three-part vertical block	DCAD 2021		Mercantile National Bank Bldg; Dallas Downtown Historic District			
	117068	1717 MAIN ST		1985		Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.01578e+11			DCAD 2021		Dallas Downtown Historic District			
	117071	1808 MAIN ST		2007		Post-dates NR district designation (previous building contributing)	Update previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Not historic age
	1.016891001e+11			DCAD 2021		Dallas Downtown Historic District			








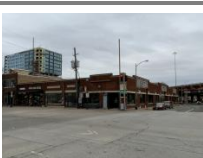
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	117116	1906 MAIN ST		2010		Post-dates local and NR district designations (previous buildings contributing and noncontributing)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	1.01992e+11			DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			
	118419	1915 MAIN ST	Commercial	1954	Renaissance Revival (base), Streamline Moderne (upper levels)	Individually listed on NR (listed with 1900 Elm St addition); Contributing to local and NR districts (listed as 1900 Elm St)	Maintain previous individual and district listings (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.01959e+11		Department store - Two-part vertical block	DCAD 2021		Titche-Goettinger Department Store; Harwood Historic District; Dallas Downtown Historic District			
	117118	1933 MAIN ST	Commercial	1925	Beaux Arts, Sullivanesque	Local landmark; Individually listed on NR; Contributing to local and NR districts	Maintain previous individual and district listings (Contributing)	Maintain previous individual and district designations (Contributing)	Possesses integrity and significance
	1.01944e+11		Hotel - Three-part vertical block, U-shaped with air shaft	DCAD 2021		Plaza Hotel; Hilton Hotel; Harwood Historic District; Dallas Downtown Historic District			
	117102	2030 MAIN ST	Recreational	1913	Sullivan-esque	Local landmark; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.02493e+11	Historic name noted by masonic symbol on building.	Fraternal lodge - Three-part vertical block	DCAD 2021		Western Union Telegraph Company Building; Dallas Downtown Historic District			

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	117927	2106 MAIN ST	Commercial	1958	Mid-century Modern		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.0288e+11		Office - Two-part commercial block	DCAD 2021					
	117925	2107 MAIN ST	Commercial	1960	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.0282e+11		Store - One-part commercial block	DCAD 2021					
	117920	2121 MAIN ST	Commercial	1930	Classical Revival		Not eligible	Not eligible	Lacks integrity
	1.02817e+11		Store - Two-part commercial block	DCAD 2021					
	118134	2200 MAIN ST	Commercial	1930	Chicago Style		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.03145e+11		Store - Two-part vertical block	DCAD 2021					
	118132	2201 MAIN ST	Commercial	1959	Contemporary		Not eligible	Not eligible	Lacks integrity
	1.03126e+11		Office - Massed vertical block	DCAD 2021					
	118138	2214 MAIN ST	Commercial	1930	Commercial		Within district (Dallas Downtown Expansion-Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.031444e+11		Store - Two-part commercial block	DCAD 2021					
	119271	2509 MAIN ST	Commercial	1913	Commercial		Not eligible	Not eligible	Lacks integrity
	1.03414e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119237	2600 MAIN ST	Commercial	1924	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000183000A0020000		Store - One-part commercial block	DCAD 2021					

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	119262	2612 MAIN ST	Commercial	1924	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03816e+11		Store - Two-part commercial block	DCAD 2021					
	119260	2616 MAIN ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000183000A0030000		Store - One-part commercial block	DCAD 2021					
	119261	2622 MAIN ST	Commercial	1913	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	00000103825000000, 0000103798000000, 0000103783000000		Store - Two-part commercial block	DCAD 2021					
	119248	2642 MAIN ST	Commercial	1940	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.03759e+11		Store - One-part commercial block	DCAD 2021					
	119240	2647 MAIN ST	Commercial	1967	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	000182000A0010000		Warehouse - Box	DCAD 2021					
	119251	2650 MAIN ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0378e+11		Store - One-part commercial block	DCAD 2021					
	119249	2650 MAIN ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0378e+11		Store - One-part commercial block	DCAD 2021					

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	119250	2656 MAIN ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0384e+11		Store - One-part commercial block	DCAD 2021					
	119238	2701 MAIN ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000480000204A0000		Store - One-part commercial block	DCAD 2021					
	119230	2701 MAIN ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000480000204A0000		Store - One-part commercial block	DCAD 2021					
	119401	2702 MAIN ST	Commercial	1971	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03837e+11		Store - One-part commercial block	DCAD 2021					
	119229	2707 MAIN ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10908e+11		Store - One-part commercial block	DCAD 2021					
	119400	2708 MAIN ST	Commercial	1921	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03831e+11		Store - One-part commercial block	DCAD 2021					
	119399	2712 MAIN ST	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03828e+11		Store - One-part commercial block	DCAD 2021					


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	119228	2715 MAIN ST	Commercial	1935	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10905e+11		Store - One-part commercial block	DCAD 2021					
	119174	2800 MAIN ST	Commercial	1966	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10866e+11		Store - One-part commercial block	DCAD 2021					
	119194	2803 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.1095e+11		Store - One-part commercial block	DCAD 2021					
	119196	2809 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10947e+11		Store - One-part commercial block	DCAD 2021					
	119173	2810 MAIN ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10869e+11		Store - One-part commercial block	DCAD 2021					
	119172	2814 MAIN ST	Commercial	1913	Commercial	Local landmark	Individually eligible, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.10863e+11		Store - Two-part commercial block	DCAD 2021		Palace Blacksmith Shop			
	119197	2815 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.10944e+11		Store - One-part commercial block	DCAD 2021					




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	119171	2816 MAIN ST	Commercial	1922	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.1086e+11		Store - One-part commercial block	DCAD 2021					
	119170	2820 MAIN ST	Commercial	1926	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10857e+11		Store - One-part commercial block	DCAD 2021					
	120635	2823 MAIN ST	Commercial	1920	Spanish Colonial Revival		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	000481000B12A0000		Auto Service - One-part commercial block	DCAD 2021					
	119198	2823 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	000481000B12A0000		Store - One-part commercial block	DCAD 2021					
	119169	2824 MAIN ST	Commercial	1921	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10854e+11		Store - One-part commercial block	DCAD 2021					
	119103	2900 MAIN ST	Commercial	1940	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04047e+11		Store - One-part commercial block	DCAD 2021					
	119109	2911 MAIN ST	Commercial	1940	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.10998e+11		Store - One-part commercial block	DCAD 2021					

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	119102	2924 MAIN ST	Commercial	1924	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0403e+11		Warehouse, Store - Two-part commercial block	DCAD 2021					
	119110	2933 MAIN ST	Commercial	1934	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.10983e+11		Auto Service - One-part commercial block	DCAD 2021					
	119111	2939 MAIN ST	Commercial	1936	Streamline Moderne		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.1098e+11		Store - One-part commercial block	DCAD 2021					
	119090	3000 MAIN ST	Commercial	1955	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04164e+11		Store - One-part commercial block	DCAD 2021					
	119091	3004 MAIN ST	Residential	2008	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.04161e+11		Garage - Not visible	DCAD 2021					
	119092	3010 MAIN ST	Commercial	1940	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04158e+11		Office - One-part commercial block	DCAD 2021					
	119081	3011 MAIN ST	Commercial	1920	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29325e+11		Auto service - One-part commercial block	In field estimate					

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	119080	3013 MAIN ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29331e+11		Store - One-part commercial block	DCAD 2021					
	119093	3014 MAIN ST	Commercial	1949	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29379e+11		Store - One-part commercial block	DCAD 2021					
	119079	3015 MAIN ST	Commercial	1955	Modern commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.2937e+11		Store - One-part commercial block	DCAD 2021					
	119078	3025 MAIN ST	Commercial	1961	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.2934e+11		Store - One-part commercial block	DCAD 2021					
	119075	3033 MAIN ST	Commercial	1947	No stylistic influences visible		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.29334e+11		Store - One-part commercial block	DCAD 2021					
	119065	3100 MAIN ST	Commercial	1925	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29424e+11		Laundry - One-part commercial block	In field estimate					
	119064	3104 MAIN ST	Commercial	1945	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29427e+11		Boiler room - Box	DCAD 2021					

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	119063	3112 MAIN ST	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.2943e+11		Store - One-part commercial block	DCAD 2021					
	119066	3116 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29433e+11		Store - Two-part commercial block	Dallas Morning News, Feb. 2, 1930					
	119050	3131 MAIN ST	Residential	2016	Contemporary		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	000847000001A0100		High-rise apartment building - High Rise	DCAD 2021					
	119057	3200 MAIN ST	Commercial	1913	Chicago Style	Local landmark; Individually listed on NR; RTHL	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.29448e+11		Customs warehouse - Two-part vertical block	Local nomination		Interstate Forwarding; Interstate Forwarding Company Warehouse			
	119056	3210 MAIN ST	Commercial	1912	Chicago Style	Individually listed on NR; Contributing to local district	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Local landmark, Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.29451e+11		Warehouse - Two-part commercial block	Local nomination		Lincoln Paint and Color Company Building; Eastside Warehouse District			
	119636	3300 MAIN ST	Commercial	1921	Chicago Style	Local landmark; Individually listed on NR	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	8.280001002e+13		Offices - Two-part commercial block	Local nomination		Texas Farm and Ranch Building			








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	119617	3400 MAIN ST	Commercial	1925	Prairie		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.280001002e+13		Gas station - Box with Canopy	In field estimate					
	119624	3401 MAIN ST	Commercial	1915	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29112e+11		Store - One-part commercial block	DCAD 2021					
	119616	3404 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.2907e+11		Store - One-part commercial block	DCAD 2021					
	119625	3407 MAIN ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29121e+11		Store - One-part commercial block	DCAD 2021					
	119626	3409 MAIN ST	Commercial	1944	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29127e+11		Store - One-part commercial block	DCAD 2021					
	119627	3417 MAIN ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29133e+11		Store - One-part commercial block	In field estimate					
	119615	3418 MAIN ST	Commercial	1920	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	00000129076000100, 0000129076000000		Auto service - One-part commercial block	In field estimate					

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	119641	3600 MAIN ST	Commercial	1938	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.28354e+11		Gas station - Box	DCAD 2021					
	119640	3601 MAIN ST	Commercial	1930	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29139e+11		Warehouse - One-part commercial block	DCAD 2021					
	119672	3800 MAIN ST	Industrial	1947	Industrial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	000827001602A0000		Silo, Warehouse, Shop - Cylindrical	Sanborn map (1950, v. 1, sheet 101)					
	119683	3904 MAIN ST	Commercial	1958	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28695e+11		Warehouse - One-part commercial block	DCAD 2021					
	119684	3912 MAIN ST	Commercial	1946	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28698e+11		Store - One-part commercial block	DCAD 2021					
	119685	3922 MAIN ST	Commercial	1950	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28701e+11		Store - One-part commercial block	DCAD 2021					
	119686	3930 MAIN ST	Commercial	1998	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	000082700608A0000		Store - Linear	DCAD 2021					

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	119695	4008 MAIN ST	Residential	1905	Folk Victorian		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28656e+11		Single-family house - Modified L-plan	DCAD 2021					
	119696	4020 MAIN ST	Commercial	1963	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.28668e+11		Auto service - Rectangular	DCAD 2021					
	119697	4024 MAIN ST	Commercial	1946	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.28671e+11		Auto service - Rectangular	DCAD 2021					
	117489	1722 MARILLA ST	Commercial	1947	Modern commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.01851e+11		Office - Irregular	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116828	208 N MARKET ST	Commercial	1900	Chicago Style	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00216e+11		Warehouse - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116783	301 N MARKET ST	Commercial	1924	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.0015e+11		Office - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			







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	116830	302 N MARKET ST	Commercial	1910	Commercial	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00207e+11		Warehouse - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116704	311 N MARKET ST	Commercial	1904	Commercial	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00147e+11		Warehouse, Office - Two-part commercial block	Dallas Morning News, Nov. 24, 1904		West End Historic District (local and NRHP)			
	116661	1701 N MARKET ST	Commercial, Industrial	1909	Commercial	Contributing to local and NR districts; RTHL	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00144e+11		Warehouse - Two-part vertical block	RTHL marker		West End Historic District (local and NRHP)			
	116653	1709 N MARKET ST	Commercial, Industrial	1912	Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00138e+11		Office - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116648	1713 N MARKET ST	Commercial	1912	Commercial	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00141e+11		Warehouse, Office - Two-part commercial block	NR nomination		West End Historic District (local and NRHP)			
	116728	1802 N MARKET ST	Commercial	1916	Italianate, Chicago Style	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	2.050003002e+13		Office - Two-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			







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	116626	1815 N MARKET ST	Commercial	1908	Commercial	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00132e+11		Office - Two-part commercial block	NR nomination		West End Historic District (local and NRHP)			
	118076	501 MEMORIAL DR		1989			Not eligible	Not eligible	Not historic age
	4.160002002e+13			DCAD 2021					
	116612	603 MUNGER AVE	Commercial, Industrial	1902	Commercial	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.04323e+11		Office - Two-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	118703	910 N CENTRAL EXPY	Commercial	1982	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	2.830000001e+13		Office - Massed plan	DCAD 2021					
	117032	443 OLIVE ST		1997			Not eligible	Not eligible	Not historic age
	1.05373e+11			DCAD 2021					
	116852	708 OLIVE ST	Commercial	1947	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05454e+11		Store - One-part commercial block	DCAD 2021					

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	116851	720 OLIVE ST		2000			Not eligible	Not eligible	Not historic age
	2.520000001e+13			DCAD 2021					
	117514	1918 OLIVE ST		2011			Not eligible	Not eligible	Not historic age
	CONDO00C4777C ONDO		Office - High Rise	DCAD 2021					
	116844	804 PACIFIC AVE	Commercial	1904	Commercial	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00291e+11		Warehouse - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP)			
	116473	1201 PACIFIC AVE	Commercial	1974	Mid-century Modern		Not eligible	Not eligible	Not historic age
	1.04717e+11		Parking garage - Two-part vertical block	DCAD 2021					
	116609	1307 PACIFIC AVE	Commercial	1972	International		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.04974e+11		Offices - Two-part vertical block	DCAD 2021					
	116464	1401 PACIFIC AVE	Commercial	1965	New Formalism		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.04977e+11		Department store - Massed block	DCAD 2021					

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	116720	1510 PACIFIC AVE	Commercial	1967	Brutalist	Noncontributing to NR district	Individually eligible, Update previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	7.50120017e+12		Parking garage - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District			
	117639	1600 PACIFIC AVE	Commercial	1964	International	Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	CONDO00C5455C ONDO		Office - Two-part vertical block	DCAD 2021		Dallas Downtown Historic District (amendment for building)			
	116726	1627 PACIFIC AVE	Recreational	1973			Individually eligible	Local landmark	Possesses integrity and significance
	1.1072e+11		Park	Park website					
	117128	1900 PACIFIC AVE	Commercial	1952	Mid-century Modern	Noncontributing to local district; Contributing to NR district	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Update previous district designation (Contributing)	Possesses integrity and significance
	CONDO00C7714C ONDA		Office - Two-part vertical block	NR nomination		Harwood Historic District; Dallas Downtown Historic District			
	117047	1910 PACIFIC AVE		1982		Noncontributing to local and NR districts	Maintain previous district listing (Noncontributing)	Maintain previous district designation (Noncontributing)	Not historic age
	1.01542e+11		Office - Two-part vertical block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District			
	118660	2441 PACIFIC AVE	Commercial	1910	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.06117e+11		Warehouse - Linear	In field estimate					






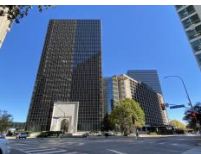
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	118646	2501 PACIFIC AVE	Commercial	1947	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.06132e+11		Store - One-part commercial block	DCAD 2021					
	118647	2509 PACIFIC AVE	Commercial	1947	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.06156e+11		Store - Two-part commercial block	DCAD 2021					
	118648	2515 PACIFIC AVE	Commercial	1947	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.06135e+11		Store - One-part commercial block	DCAD 2021					
	118643	2550 PACIFIC AVE	Commercial	2017	Contemporary		Not eligible	Not eligible	Not historic age
	000280000A0020000		Office - High Rise	DCAD 2021					
	118107	508 PARK AVE	Commercial	1930	Sullivan-esque	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.02241e+11		Office - Two-part commercial block	DCAD 2021		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	118099	515 PARK AVE	Commercial	1920	No stylistic influences visible	Noncontributing to NR district	Maintain previous district listing (Noncontributing)	Within district (Harwood/Downtown Expansion - Noncontributing)	Lacks integrity
	1.02046e+11		Distribution center - Massed block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116492	1109 PATTERSON AVE	Commercial	1966	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.04555e+11		TV station - Massed block	DCAD 2021					



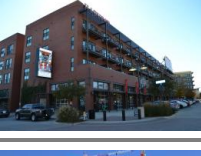
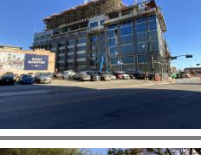


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	116834	1606 PATTERSON AVE	Educational	1964	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05052e+11		Parochial school, Parking garage - Three-part vertical block	DCAD 2021					
	116368	1800 N PEARL EXPY	Commercial	1989	Deconstructivist		Not eligible	Not eligible	Not historic age
	0005310A000010000		Theater - Irregular	DCAD 2021					
	117875	309 S PEARL EXPY	Social	1924	Classical Revival		Individually eligible	Local landmark	Possesses integrity and significance
	1.02622e+11		Lodge - Two-part commercial block	DCAD 2021					
	117180	601 S PEARL EXPY		2000			Not eligible	Not eligible	Not historic age
	1.02706e+11			DCAD 2021					
	117161	1014 S PEARL EXPY		2014			Not eligible	Not eligible	Not historic age
	000145001403A0000			DCAD 2021					
	116662	600 N PEARL ST		1979			Not eligible	Not eligible	Not historic age
	CONDO00C5715CONDO		Office	DCAD 2021					

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	117519	1900 N PEARL ST		2016			Not eligible	Not eligible	Not historic age
	000533000A0010000		Office - High Rise	DCAD 2021					
	117167	1010 S PEARL ST	Commercial	1945	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.03042e+11		Office - Irregular	DCAD 2021					
	117170	1011 S PEARL ST		2015			Not eligible	Not eligible	Not historic age
	000133002501A0000			DCAD 2021					
	117881	300 PEARL ST		2021			Not eligible	Not eligible	Not historic age
	1.029070001e+11								
	117499	538 PEARL ST		2000			Not eligible	Not eligible	Not historic age
	2.59e+13		Park	In field estimate					
	116940	723 PEARL ST	Commercial	1954	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.05457e+11		Auto service - One-part commercial block	DCAD 2021					

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	116369	901 PEARL ST		2018			Not eligible	Not eligible	Not historic age
	CONDO000C0260C ONDO		Apartment	DCAD 2021					
	116377	1722 PEARL ST	Religious	1898	Gothic Revival		Individually eligible	Local landmark	Possesses integrity and significance
	1.12636e+11		Church - Cruciform	Corner Stone					
	116376	1726 PEARL ST		1995			Not eligible	Not eligible	Not historic age
	1.126360001e+11		Parking garage - Two-part commercial block	DCAD 2021					
	116378	2251 PEARL ST		1986			Not eligible	Not eligible	Not historic age
	1.126360003e+11			DCAD 2021					
	117228	200 POYDRAS ST		1989			Not eligible	Not eligible	Not historic age
	6.40000001e+12		Park	City of Dallas acquired park					
	116957	211 N RECORD ST	Commercial	1903	Italianate, Sullivanesque	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	000021001401A0000		Warehouse - Enframed Block	DCAD 2021		West End Historic District (local and NRHP); Dealey Plaza Historic District			




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	116768	211 N RECORD ST	Commercial, Industrial	1903	Richardsonian Romanesque	Contributing to local, NR, and NHL districts	Individually eligible, Maintain previous district listings (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	000021001401A0000		Warehouse - Three-part vertical block	DCAD 2021		West End Historic District (local and NRHP); Dealey Plaza Historic District			
	116678	1777 N RECORD ST		2016		Post-dates local and NR district designations (previous building contributing)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000018006401A0000		Mid-rise apartment building	DCAD 2021		West End Historic District (local and NRHP)			
	117281	304 S RECORD ST	Commercial	1925	Classical Revival		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.001805e+11		Store - Two-part commercial block	DCAD 2021					
	117313	306 S RECORD ST	Commercial	1925	Commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.001805e+11		Store - Two-part commercial block	DCAD 2021					
	117247	400 S RECORD ST		1984			Not eligible	Not eligible	Not historic age
	3.50038001e+12		Office - High Rise	DCAD 2021					
	118066	300 REUNION BLVD	Commercial	1978			Not eligible	Not eligible	Not historic age
	1.08921e+11		Observation tower - Tower	DCAD 2021					





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	116693	515 ROSS AVE		2018		Post-dates local and NR district designations (previous building contributing)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000020002701A0000		Museum	DCAD 2021		West End Historic District (local and NRHP)			
	116715	701 ROSS AVE	Commercial	1925	Commercial	Compatible in local and NR districts	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Lacks integrity
	1.00192e+11		Store - One-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			
	116711	704 ROSS AVE	Commercial	1930	Commercial	Compatible in local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	1.00204e+11		Store - One-part commercial block	In field estimate		West End Historic District (local and NRHP)			
	116717	705 ROSS AVE	Governmental	1908	Italianate	Contributing to local and NR districts	Individually eligible, Maintain previous district listing (Contributing)	Local landmark, Maintain previous district designation (Contributing)	Possesses integrity and significance
	1.00195e+11		Jail - Two-part commercial block	DCAD 2021		West End Historic District (local and NRHP)			
	116511	800 ROSS AVE		2007		Post-dates local and NR district designations (previously vacant)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	000208000A0010000		Mid-rise apartment building	DCAD 2021		West End Historic District (local and NRHP)			

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	116421	1001 ROSS AVE		2003			Not eligible	Not eligible	Not historic age
	2.120010001e+13		Mid-rise apartment building	DCAD 2021					
	116477	1010 ROSS AVE		2012			Not eligible	Not eligible	Not historic age
	1.04506e+11		Gas station	DCAD 2021					
	116410	1200 ROSS AVE		1985			Not eligible	Not eligible	Not historic age
	1.04677e+11		Parking garage	DCAD 2021					
	116407	1445 ROSS AVE	Commercial	1984	Postmodern		Individually eligible upon 50 year mark	Local landmark upon 50 year mark	Possesses integrity and significance
	000515000A01B0000		Office - High Rise	DCAD 2021					

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	116403	1447 ROSS AVE	Residential	2017			Not eligible	Not eligible	Not historic age
	000515000A01B0100		High-rise apartment building	DCAD 2021					
	117574	1516 ROSS AVE	Commercial	1940	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	ID0000010478500000		Bank - Massed block	DCAD					
	116808	1806 ROSS AVE		1980			Not eligible	Not eligible	Not historic age
	1.05118e+11			DCAD 2021					
	116941	1807 ROSS AVE	Commercial	1964	Mid-century Modern		Individually eligible	Local landmark	Possesses integrity and significance
	000519000A0020000		Office - Massed vertical block	DCAD 2021					
	116329	1928 ROSS AVE	Religious	1921	Gothic Revival		Individually eligible	Local landmark	Possesses integrity and significance
	000242000A01A0000		Church - Cruciform (Main Sanctuary), H-Plan (with educational building)	Dallas Morning News, May 7, 1921					
	116374	2000 ROSS AVE		2001			Not eligible	Not eligible	Not historic age
	CONDO00C6249CONDO		Parking garage	DCAD 2021					







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	116371	2001 ROSS AVE		1982	Postmodern		Not eligible	Not eligible	Not historic age
	1.126e+11		Office	DCAD 2021					
	116643	2100 ROSS AVE		1982			Not eligible	Not eligible	Not historic age
	1.05412e+11			DCAD 2021					
	116375	2101 ROSS AVE	Residential	1890	Neoclassical	Individually listed on NR; RTHL	Maintain previous individual listing	Local landmark	Possesses integrity and significance
	000529000A00100 00		Single-family house - Center passage	RTHL marker		Alfred Horatio Belo House			
	116635	2200 ROSS AVE		1985	Postmodern		Not eligible	Not eligible	Not historic age
	2.560000001e+13			DCAD 2021					







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	116379	2323 ROSS AVE		2013			Not eligible	Not eligible	Not historic age
	5.300000001e+13		Office	DCAD 2021					
	116524	2400 ROSS AVE		1982			Not eligible	Not eligible	Not historic age
	0002610A000010000			DCAD 2021					
	116507	2611 ROSS AVE		2008			Not eligible	Not eligible	Not historic age
	000306000001A0000			DCAD 2021					
	116458	2809 ROSS AVE	Commercial	1968	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	000566000A03A0000		Warehouse - Irregular	DCAD 2021					
	116333	1722 ROUTH ST		2007			Not eligible	Not eligible	Not historic age
	000305000A01A0000		Office	DCAD 2021					
	116334	1816 ROUTH ST	Religious	1910	Collegiate Gothic Revival, Romanesque Revival	Local landmark; Individually listed on NR	Maintain previous individual listing	Maintain previous individual designation	Possesses integrity and significance
	1.07068e+11		Church - Irregular	Plaque		St. Paul United Methodist Church; St. Paul Methodist Episcopal Church			

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	117586	1707 SAN JACINTO ST		2005			Not eligible	Not eligible	Not historic age
	1.05124e+11		Church	DCAD 2021					
	116778	1707 SAN JACINTO ST		2013			Not eligible	Not eligible	Not historic age
	1.05139e+11			Church website					
	116668	1925 SAN JACINTO ST	Commercial	1927	Post Modern		Not eligible	Not eligible	Lacks integrity
	000242000A01B00 00		Office - One-part commercial block	DCAD 2021					
	116521	2603 SAN JACINTO ST	Commercial	1951	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.06027e+11		Auto service - Linear	DCAD 2021					
	117195	1900 ST LOUIS ST	Commercial	1969	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity
	1.02361e+11		Warehouse - Box	DCAD 2021					
	119763	2821 ST LOUIS ST	Commercial	1937	Commercial		Not eligible	Not eligible	Lacks integrity
	000193001108A00 00		Store - One-part commercial block	DCAD 2021					

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	119762	2903 ST LOUIS ST	Commercial	1958	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04152e+11		Warehouse - Box	DCAD 2021					
	116755	325 N ST PAUL ST	Commercial	1954	Mid-century Modern	Local landmark; Individually listed on NR; Contributing to NR district	Maintain previous individual and district listings (Contributing)	Maintain previous individual designation Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and significance
	1.107400004e+11		Offices - Two-part vertical block	DCAD 2021		Republic Bank Tower; Republic National Bank; Dallas Downtown Historic District			
	117034	350 N ST PAUL ST	Commercial	1979	Modern		Not eligible	Not eligible	Not historic age
	CONDO00C5371C ONDB		Office	DCAD 2021					
	117602	400 N ST PAUL ST	Commercial	1958	Colonial Revival		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05217e+11		Offices - Three-part vertical block	DCAD 2021					
	117594	502 N ST PAUL ST		2017			Not eligible	Not eligible	Not historic age
	2.430002002e+13		Parking garage	DCAD 2021					
	117597	506 N ST PAUL ST		1980			Not eligible	Not eligible	Not historic age
	1.05198e+11		Park	City of Dallas acquired park					








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	116672	608 N ST PAUL ST		2011			Not eligible	Not eligible	Not historic age
	2.430001001e+13			DCAD 2021					
	116373	750 N ST PAUL ST		1982			Not eligible	Not eligible	Not historic age
	1.05172e+11		Office	DCAD 2021					
	118103	500 S ST PAUL ST	Commercial	1945	Modern commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02043e+11		Shipping dock wall	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	116977	806 S ST PAUL ST	Industrial	1966	Modern commercial	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02112e+11		Warehouse - One-part commercial block	NR nomination		Dallas Downtown Historic District (Boundary Increase)			
	116970	810 S ST PAUL ST	Industrial	1953	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.02112e+11		Warehouse - One-part commercial block	DCAD 2021					
	117001	990 S ST PAUL ST	Industrial	1952	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.02133e+11		Warehouse - One-part commercial block, Two-part commercial block	DCAD 2021					







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	118663	2424 SWISS AVE	Commercial	1920	Commercial		Not eligible	Not eligible	Lacks integrity
	1.06122e+11		Store - Two-part commercial block	DCAD 2021					
	118666	2500 SWISS AVE	Commercial	1929	Prairie		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.06171e+11		Gas station - Box with Canopy	DCAD 2021					
	118676	2511 SWISS AVE	Commercial	1930	Commercial		Not eligible	Not eligible	Lacks integrity
	1.07473e+11		Motor freight station - One-part commercial block	DCAD 2021					
	118725	2613 SWISS AVE	Commercial	1973	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	1.05931e+11		Store - One-part commercial block	DCAD 2021					
	118724	2633 SWISS AVE	Commercial	1951	Modern commercial		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.05922e+11		Warehouse, Fabrication shop - Irregular	DCAD 2021					
	117158	2101 TAYLOR ST		2017			Not eligible	Not eligible	Not historic age
	000144001501A0000			DCAD 2021					
	119508	2720 TAYLOR ST	Commercial	1948	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0393e+11		Warehouse, Store - One-part commercial block	DCAD 2021					

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	119506	2725 TAYLOR ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03924e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119507	2731 TAYLOR ST	Commercial	1940	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03927e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119517	2800 TAYLOR ST	Commercial	1946	Modern commercial		Not eligible	Not eligible	Lacks integrity
	1.03993e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119516	2803 TAYLOR ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03984e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119523	2909 TAYLOR ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04113e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119525	2914 TAYLOR ST	Commercial	1947	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04149e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119524	2919 TAYLOR ST	Commercial	1980	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Not historic age
	1.04119e+11		Warehouse - One-part commercial block	DCAD 2021					

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	119526	2920 TAYLOR ST	Commercial	1954	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04146e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119527	2924 TAYLOR ST	Commercial	1967	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04143e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119529	2934 TAYLOR ST	Commercial	1957	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04134e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119528	2934 TAYLOR ST	Commercial	1957	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04137e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119547	3025 TAYLOR ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.042690001e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119548	3027 TAYLOR ST	Commercial	1950	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.042690003e+11		Warehouse, Store - One-part commercial block	DCAD 2021					
	119544	3030 TAYLOR ST	Commercial	1946	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.04263e+11		Warehouse, Store - One-part commercial block	DCAD 2021					





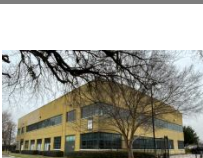


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	118708	609 TEXAS ST	Commercial	2015	Contemporary		Not eligible	Not eligible	Not historic age
	3.250002001e+13		Office - Irregular	DCAD 2021					
	118704	825 TEXAS ST	Commercial	1983	No stylistic influences visible		Not eligible	Not eligible	Not historic age
	1.06312e+11		Warehouse - Linear	DCAD 2021					
	116979	TRIPLE UNDERPASS	Transportation	1936	Art Deco	Contributing to NHL district	Maintain previous NHL listing, Within district (West End Expansion-Contributing)	Within district (West End Expansion and Dealey Plaza - Contributing)	Possesses integrity and contributes to district
			Bridge	Plaque		Dealey Plaza Historic District			
	119590	232 TRUNK AVE	Commercial	1888	Commercial	Contributing to local and NR districts	Maintain previous district listing, Within district (Deep Ellum-Contributing)	Maintain previous district designation, Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.29148e+11		Warehouse - Rectangular	Local nomination		Continental Gin Company Historic District (local and NR)			
	119309	2801 VIRGIL ST	Commercial	1937	Commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.03981e+11		Warehouse, Store - Two-part commercial block	DCAD 2021					
	119568	215 N WALTON ST	Commercial	1957	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	CONDO00C8050C ONDO		Warehouse, Store - One-part commercial block	DCAD 2021					
	119570	300 N WALTON ST	Commercial	1949	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.1119e+11		Warehouse - One-part commercial block	DCAD 2021					







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	119370	210 S WALTON ST	Commercial	1935	Commercial		Individually eligible, Within district (Deep Ellum- Contributing)	Local landmark, Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	1.04209e+11		Store - Two-part commercial block	DCAD 2021					
	119339	306 S WALTON ST	Commercial	1938	Commercial		Within district (Deep Ellum- Noncontributing)	Within district (Deep Ellum - Noncontributing)	Lacks integrity
	1.042570001e+11		Store - One-part commercial block	DCAD 2021					
	119338	310 S WALTON ST	Commercial	1955	Modern commercial		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	1.0426e+11		Store - One-part commercial block	DCAD 2021					
	119864	3808 WILLOW ST	Commercial	1937	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.150008e+13		Warehouse - Rectangular	DCAD 2021					
	119738	3912 WILLOW ST	Industrial	1937	International	Local landmark; Individually listed on NR	Maintain previous individual listing, Within district (Deep Ellum- Contributing)	Maintain previous individual designation Within district (Deep Ellum - Contributing)	Possesses integrity and significance
	000826000001A0000		Manufacturing building - Box	Local nomination		G & J Manufacturing Company Building; G & J Manufacturing			
	119732	3917 WILLOW ST	Commercial	1961	No stylistic influences visible		Within district (Deep Ellum- Contributing)	Within district (Deep Ellum - Contributing)	Possesses integrity and contributes to district
	8.220000001e+13		Warehouse - Box	DCAD 2021					
	117551	1002 WOOD ST		1976			Not eligible	Not eligible	Not historic age
	1.07796e+11			DCAD 2021					

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	117783	1815 WOOD ST	Commercial	1966	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	CONDO00C0307C ONDO		Office - Two-part vertical block	NR nomination		Dallas Downtown Historic District (Boundary Increase)			
	117869	1818 WOOD ST	Religious	1950	Modern commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	000109000001A00 00		Office - Two-part commercial block	NR nomination		Dallas Downtown Historic District (Boundary Increase)			
	116389	1616 WOODALL RODGERS FWY		1978			Not eligible	Not eligible	Not historic age
	1.12324e+11		Office	DCAD 2021					
	117523	2000 WOODALL RODGERS FWY		2013			Not eligible	Not eligible	Not historic age
	00KLYDEWARREN K00		Park	DCAD 2021					
	116449	2702 WOODALL RODGERS FWY		2007			Not eligible	Not eligible	Not historic age
	000305000A00200 00			DCAD 2021					
	118072	508 YOUNG ST		1978			Not eligible	Not eligible	Not historic age
	1.00129e+11		Parking garage	DCAD 2021					

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	117264	508 YOUNG ST	Commercial	1947	Art Deco, Mid-century Modern		Individually eligible	Local landmark	Possesses integrity and significance
	1.00129e+11		Office - Rectangular	DCAD 2021					
	118085	606 YOUNG ST	Commercial	1961	No stylistic influences visible		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	1.001290001e+11		Television tower - Tower	DCAD 2021					
	117257	606 YOUNG ST	Commercial	1961	Mid-century Modern		Individually eligible	Local landmark	Possesses integrity and significance
	1.001290001e+11		Television and radio station - Rectangular	DCAD 2021					
	117250	701 YOUNG ST		1987			Not eligible	Not eligible	Not historic age
	4.40037002e+12		Park	City of Dallas					
	117232	901 YOUNG ST		1983			Not eligible	Not eligible	Not historic age
	000058005401A0000		Park	DCAD 2021					
	117549	1033 YOUNG ST	Commercial	1925	Chicago Style	Individually listed on NR	Maintain previous individual listing	Local landmark	Possesses integrity and significance
	1.00594e+11		Warehouse - Two-part vertical block	DCAD 2021		Santa Fe Terminal Building No. 4			
	117251	1102 YOUNG ST	Funerary	1849		Local landmark	Individually eligible	Maintain previous individual designation	Possesses integrity and significance
	1.00603e+11		Cemetery	City of Dallas		Pioneer Cemetery			





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	117510	1301 YOUNG ST	Commercial	1970	Contemporary		Not eligible	Not eligible	Lacks integrity and/or significance for individual eligibility
	000073000A01A000		Office - Enframed Block	DCAD 2021					
	117220	1400 YOUNG ST	Governmental	1978	Brutalist		Individually eligible	Local landmark	Possesses integrity and significance
	1.01154e+11		City hall - Inverted pyramid						
	117262	1428 YOUNG ST	Park	1990			Not eligible	Not eligible	Not historic age
	1.077685e+11		City park	Dallas Parks website					
	117697	1515 YOUNG ST		1982			Not eligible	Not eligible	Not historic age
	1.01257e+11								
	117498	1775 YOUNG ST	Commercial	1924	Commercial	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02007e+11		Store - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	118108	1812 YOUNG ST	Religious	2014	Mid-century Modern	Post-dates local and NR district designations (previous building contributing)	Update previous district listing (Noncontributing)	Update previous district designation (Noncontributing)	Not historic age
	1.02238e+11		Wall	Google Streetview		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			

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	118102	1812 YOUNG ST	Religious	1945	Mid-century Modern	Noncontributing to NR district	Update previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02058e+11		Office and parking garage - Enframed window wall	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	118100	1822 YOUNG ST	Commercial	1922	Spanish Colonial Revival	Contributing to NR district	Maintain previous district listing (Contributing)	Within district (Harwood/Downtown Expansion - Contributing)	Possesses integrity and contributes to district
	1.02055e+11		Office - Two-part commercial block	DCAD 2021		Dallas Downtown Historic District (Boundary Increase)			
	117832	1903 YOUNG ST	Religious	1954	Mid-century Modern	Noncontributing to local and NR districts	Update previous district listing (Contributing)	Update previous district designation (Contributing)	Possesses integrity and contributes to district
	000109000001A0000		Parking garage - Massed block	NR nomination		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			
	117853	1910 YOUNG ST	Commercial	1940	Commercial	Contributing to local and NR districts	Maintain previous district listing (Contributing)	Maintain previous district designation (Contributing)	Possesses integrity and contributes to district
	1.02233e+11		Auxiliary building - Rectangular	In field estimate		Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)			

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## APPENDIX C – SURVEY FORMS



# INTENSIVE-LEVEL FORM

308 S AKARD ST

HMM ID No. 117738



## IDENTIFICATION

Address	308 S AKARD ST	Legal Description	CO-DALLAS BLK 79 LT 4 0079 000 00400 1000079 000 BLK 79 LT 4 ACS 1.106
City Council District	District 14	CAD Parcel ID	101131000000

## CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Office	Historic Use	Commercial
Form/Plan	Three-part vertical block		

## ARCHITECTURAL DETAILS

Stylistic Influence(s)	Art Deco	Exterior Material(s)	Brick, Stone, Aluminum
No. Stories	21	Exterior Features	Columns, Geometric spandrels
Ground-Level Bays	10	Upper-Level Bays	10

## ROOF

Roof Form/Type	Flat
Roof Materials	Not visible
Parapet	N/A

## DOORS AND WINDOWS

Door Type(s)	Multiple entrances, Revolving door
Door Material(s)	Metal
Door Features	Canopy
Storefront	Flush
Window type(s)	Casement, Double-hung
Window Material(s)	Not visible
Window Features	

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	N/A
Landscape Features	N/A

**HISTORY**

Current Name	A T & T PLAZA THREE; A T & T PLAZA THREE BASEMENT, A T & T PLAZA THREE	Historic Name	Southwestern Bell Building
Year Built	1929	Architect	Lang and Witchell (Dallas) with I. R. Timlin
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Commerce		
Historical Sources	<a href="https://flashbackdallas.com/2018/07/20/the-new-southwestern-bell-telephone-co-building-1928/">https://flashbackdallas.com/2018/07/20/the-new-southwestern-bell-telephone-co-building-1928/</a>		

**INTEGRITY**

Alterations	Some terra cotta ornamentation removed at entrance	Relocation	N/A
Additions	23-story side addition (1961), 8 stories added (1964)		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

816 S AKARD ST

HHM ID No. 117303



### IDENTIFICATION

Address 816 S AKARD ST

Legal Description BLK 83 1/4 AKARD & CADIZ  
148.18X137.68X148.73X128.03 0083  
000 001 1000083 000  
CAD Parcel ID 101212000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Fire station  
Form/Plan Two-part commercial block

Current Use Governmental  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Ranch Style  
No. Stories 2  
Ground-Level Bays 4

Exterior Material(s) Brick, Stone  
Exterior Features  
Upper-Level Bays 8

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance,  
Garage doors  
Door Material(s) Wood  
Door Features Screen door  
Storefront  
Window type(s) Double-hung, Casement  
Window Material(s) Wood  
Window Features Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Flag pole

**HISTORY**

Current Name	Fire Station No. 4	Historic Name	Fire Station No. 4
Year Built	1953	Architect	Tatum & Quade (Dallas)
Source Year Built	Dallas Morning News, Nov. 12, 1952	Builder	
Associated Historic Context Theme(s)	Municipal and county governments		

**INTEGRITY**

Alterations	Some windows boarded	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Community planning and development, Architecture



## INTENSIVE-LEVEL FORM

**2700 ANN WILLIAMS WAY**

HHM ID No. 116430



### IDENTIFICATION

Address 2700 ANN WILLIAMS WAY

Legal Description BLK 566 0566 000 00000 1000566  
000 174X114X100X3X74X117  
INT20070074302 DD02282007 CO-DC  
CAD Parcel ID 113674000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type YMCA  
Form/Plan Massed block

Current Use Commercial  
Historic Use Social

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Italian Renaissance  
No. Stories 3, 4

Exterior Material(s) Brick  
Exterior Features Belt/string course, Decorative  
brickwork, Decorative spandrels

Ground-Level Bays 9

Upper-Level Bays 5

### ROOF

Roof Form/Type Hipped, Flat  
Roof Materials Tile  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood

Door Features Segmented Arch Transoms

Storefront N/A

Window type(s) Double-hung  
Window Material(s) Wood  
Window Features Segmental arches at north facade

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Shrubbery around building

**2700 ANN WILLIAMS  
WAY****HHM ID No. 116430****Page 2****HISTORY**

Current Name	DALLAS BLACK DANCE THEATRE	Historic Name	Moorland YMCA Building
Year Built	1930	Architect	Ralph Bryan and Walter Sharp (Washington, D.C.)
Source Year Built	DCAD 2021 and Corner Stone	Builder	
Associated Historic Context Theme(s)	Demographics and Settlement - African American history		
Historical Sources	<a href="https://dbdt.com/wp-content/uploads/2015/08/2700-Flora-Street.pdf">https://dbdt.com/wp-content/uploads/2015/08/2700-Flora-Street.pdf</a> ; <a href="https://atlas.thc.state.tx.us/Details/5507017060/print">https://atlas.thc.state.tx.us/Details/5507017060/print</a>		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	Additional stories added to side wings (2000s)		

**PRIOR DOCUMENTATION**

Designation(s)	RTHL
Designation Name(s)	Moorland YMCA Building

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; National and state recognition; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A
Area of Significance	Ethnic Heritage: African American

# INTENSIVE-LEVEL FORM

2001 BRYAN ST

HHM ID No. 116853



## IDENTIFICATION

Address	2001 BRYAN ST	Legal Description	IMP ONLY BLK 247 0247 000 00100 1000247 000 VOL97124/3405 DD062697 CO-DALLAS TR 1 & ABND ROW ACS 1.3111
City Council District	District 14	CAD Parcel ID	105316000000

## CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Office	Historic Use	Commercial
Form/Plan	Massed vertical block		

## ARCHITECTURAL DETAILS

Stylistic Influence(s)	International	Exterior Material(s)	Glass, Steel, Curtain wall, Stone
No. Stories	40	Exterior Features	High rise building with gold-tinted windows and vertical steel beams
Ground-Level Bays	4	Upper-Level Bays	26

## ROOF

Roof Form/Type	Flat
Roof Materials	Not visible
Parapet	N/A

## DOORS AND WINDOWS

Door Type(s)	Multiple entrances
Door Material(s)	Glass, Metal
Door Features	
Storefront	Recessed
Window type(s)	Fixed - Glass curtainwall
Window Material(s)	Metal

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	N/A
Landscape Features	Hardscape area around base of building

**HISTORY**

Current Name	BRYAN TOWER	Historic Name	Bryan Tower
Year Built	1972	Architect	Neuhaus and Taylor (Houston)
Source Year Built	DCAD 2021	Builder	
Associated People	Trammell Crow		
Historical Significance	Trammell Crow's first downtown high-rise development		
Associated Historic Context Theme(s)	Urban renewal		

**INTEGRITY**

Alterations	Visible upgrades at ground level, hardscaping, railings, outdoor seating.	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Community planning and development, Architecture



## INTENSIVE-LEVEL FORM

1508 CADIZ ST

HHM ID No. 116943



### IDENTIFICATION

Address 1508 CADIZ ST

Legal Description BROWDER'S BLK 7/90 PTS LT 1 & 2 ACS  
0.297 INT201800096409 DD04112018  
CO-DC 0090 007 00100 1000090  
007

City Council District District 2

CAD Parcel ID 101374000000

### CLASSIFICATION

Resource Type Building  
Property Type Church  
Form/Plan Enframed Block

Current Use Religious  
Historic Use Religious

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Neoclassical  
No. Stories 2  
Ground-Level Bays 5

Exterior Material(s) Brick, Stone, Terra cotta  
Exterior Features Classical columns, Ornate cornice  
Upper-Level Bays 5

### ROOF

Roof Form/Type Flat, Dome  
Roof Materials Metal  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Multiple entrances, Double door(s)  
primary entrance  
Door Material(s) Wood  
Door Features Pediment, Decorative lights

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Metal fence with finials

Storefront N/A  
Window type(s) Casement  
Window Material(s) Wood  
Window Features Lintels, Round arch, Sills, Entablatures,  
Quoins

**HISTORY**

Current Name	EAGLES NEST CATHEDRAL/WEISFELD CENTER	Historic Name	1st Church of Christ Scientist
Year Built	1910	Architect	J. P. Hubbell of Hubbell and Greene (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Religion		

**INTEGRITY**

Alterations	New sign added at roofline	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	C, Criteria Consideration A
Area of Significance	Architecture

## INTENSIVE-LEVEL FORM

1908 CANTON ST

HHM ID No. 117049



### IDENTIFICATION

Address 1908 CANTON ST

Legal Description BLK 119 TR 1 ACS 0.1353 0119 000  
00100 1000119 000  
INT201200386448 DD12282012 CO-DC  
CAD Parcel ID 102262000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Venetian Gothic  
No. Stories 2  
Ground-Level Bays 3

Exterior Material(s) Brick, Stucco, Tile  
Exterior Features Ornate tilework  
Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials Clay tile  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance,  
Multiple entrances  
Door Material(s) Metal  
Door Features Transoms  
Storefront Flush  
Window type(s) Casement  
Window Material(s) Wood, Metal  
Window Features Segmental arch transoms, Wrought  
iron balustrade, Classical columns

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	AMIGOS POTTERY GALLERY/ARCHITEXAS;AMIGOS POTTERY GALLERY/ARCHITEXAS,ANGELOS POTTERY GALLERY/ARCHITEXAS	Historic Name	Desco Tile Company, Idle Rich Bar
Year Built	1920	Architect	
Source Year Built	DCAD 2021	Builder	John Desco
Historical Significance	Office and store for Desco and Son tile - provider of marble and tile for many Dallas buildings		
Associated Historic Context Theme(s)	Commerce		

**INTEGRITY**

Alterations	Side addition storefront enclosed	Relocation	N/A
Additions	1927 side addition per DCAD		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

**1100 COMMERCE ST**

HHM ID No. 117224



### IDENTIFICATION

Address 1100 COMMERCE ST

Legal Description COMMERCE TO JACKSON 155FR  
POYDRAS 300X200X285X100X15X100  
0063 000 001 1000063 000 BLK  
63 LT 1  
CAD Parcel ID 100501000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan High Rise

Current Use Governmental  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) International

Exterior Material(s) Stone, Glass and aluminum (curtain wall)

No. Stories 14

Exterior Features Vertical tower atop stone monolith base

Ground-Level Bays 8

Upper-Level Bays 8

### ROOF

Roof Form/Type Flat

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance, Recessed entrance

Roof Materials Not visible

Door Material(s) Metal

Parapet N/A

Door Features Gate

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Decorative barriers

Storefront N/A  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

**HISTORY**

Current Name	EARL CABELL FEDERAL BLDG	Historic Name	Dallas Federal Center
Year Built	1970	Architect	
Source Year Built	DCAD 2021	Builder	Robert E. McKee
Associated Historic Context Theme(s)	Government		
Historical Sources	Dallas Morning News, Feb. 4, 1966		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A
Area of Significance	Government

## INTENSIVE-LEVEL FORM

**1222 COMMERCE ST**

HHM ID No. 117581



### IDENTIFICATION

Address 1222 COMMERCE ST

Legal Description IMP ONLY ABDN ROW S 0.344 IMP ONLY 0071 000 00400 1000071 000 INT201800307094 DD11162018 CO-DC BLK 71  
CAD Parcel ID 100735000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Offices, Apartments  
Form/Plan Three-part vertical block

Current Use Commercial, Residential  
Historic Use Commercial, Residential

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories 24  
Ground-Level Bays 6

Exterior Material(s) Brick, Concrete  
Exterior Features Projecting concrete balconies  
Upper-Level Bays Varied

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features N/A  
Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	MANOR HOUSE APTS; MANOR HOUSE/SUBWAY/PROCOUNCEL/PEGAS US CHART SCHOOL	Historic Name	Bank of Services and Trusts and Manor House Apartments
Year Built	1966	Architect	
Source Year Built	DCAD 2021	Builder	
Historical Significance	First modern high-rise residential building in central business district		
Associated Historic Context Theme(s)	Urban renewal		
Historical Sources	Dallas Morning News, Dec. 25, 1966		

**INTEGRITY**

Alterations	Window panel covered, Ornamentation applied	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Community planning and development, Architecture



## INTENSIVE-LEVEL FORM

**1603 COMMERCE ST**

HHM ID No. 117702



### IDENTIFICATION

Address 1603 COMMERCE ST

Legal Description 0077 122 00100 1DA0077 122 E25'  
LT4 E 25' LT 25 IMPS ONLY  
CO-DC 26-28 BLK 122/77 LTS1-3 SMITH  
MURPHY & MARTIN  
CAD Parcel ID 101008000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Department store  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Italian Renaissance  
No. Stories 9  
Ground-Level Bays 8

Exterior Material(s) Stone  
Exterior Features Carved ornamentation on ground floor  
Upper-Level Bays 6

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Double door(s) primary entrance,  
Recessed entrance  
Door Material(s) Metal  
Door Features Sidelights  
Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features Sills, Multi-light, Carved decorative  
hoods

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	NEIMAN MARCUS DOWNTOWN	Historic Name	Neiman Marcus
Year Built	1915	Architect	George Dahl (Dallas, 1927 addition)
Source Year Built	DCAD 2021	Builder	
Associated People	Stanley Marcus		
Associated Historic Context Theme(s)	Retail		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	Multiple stories (1927, 1950s, 1983), Side additions		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

1712 COMMERCE ST

HHM ID No. 117913



### IDENTIFICATION

Address 1712 COMMERCE ST

Legal Description 00975000 00100 1DA00975000  
BLK 136/97-1/4 LT 1 INT201500077274  
DD03272015 CO-DC ACS 0.1148 SMITH  
MURPHY & MARTIN  
CAD Parcel ID 101698000100

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Offices  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories 22

Exterior Material(s) Metal, Glass (curtain wall), Travertine  
Exterior Features Minimalist steel frame, Glass curtain wall, Spiral inlay tile floors at entrance

Ground-Level Bays 4

Upper-Level Bays 16

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance, Recessed entrance  
Door Material(s) Metal  
Door Features Revolving  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	Mercantile Commerce Building	Historic Name	Vaughn Building
Year Built	1956	Architect	Wyatt C. Hedrick (Fort Worth)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Modernism and Postmodernism		
Historical Sources	<a href="https://www.thc.texas.gov/content/tax-credit-program-highlight-mercantile-commerce-building">https://www.thc.texas.gov/content/tax-credit-program-highlight-mercantile-commerce-building</a>		

**INTEGRITY**

Alterations	Rehabbed using tax credits (2018)	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

**1810 COMMERCE ST**

HHM ID No. 117919



### IDENTIFICATION

Address 1810 COMMERCE ST

Legal Description COMMERCE PRATHER JACKSON ST  
PAUL INT201100224515 DD08242011  
CO-DC ALL BLK 97 1/2 LTS 2-7 ACS  
0.6887 0097 000 00200 1000097  
000 SMITH MURPHY & MARTIN  
CAD Parcel ID 101701000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Parking Garage, Offices  
Form/Plan Three-part vertical block

Current Use Residential  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Stripped Classicism  
No. Stories 10

Exterior Material(s) Stone, Brick, Tile  
Exterior Features Includes 30-foot mosaic sculpture on  
facade, Pilasters, Upper stories  
separated from bottom with brick  
columns

Ground-Level Bays 5

Upper-Level Bays 20

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Recessed entrance  
Door Material(s) Metal  
Door Features Revolving , Canopy  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	Continental Building	Historic Name	Mercantile Continental Building
Year Built	1951	Architect	Walter W. Ahlschlager (NY); Broad & Nelson (1958 addition); Millard Sheets (mosaic)
Source Year Built	DCAD 2021	Builder	
Historical Significance	Presumably the first underground parking structure in city		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	8 story addition (1958)		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**1914 COMMERCE ST**

HHM ID No. 117043



### IDENTIFICATION

Address 1914 COMMERCE ST

Legal Description INT201400131257 DD05272014 CO-DC  
ACS 1.303 0097 000 00000  
1000097 000 BLK 97 COMMERCE ST  
PAUL & JACKSON  
CAD Parcel ID 101695000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Hotel  
Form/Plan Y-plan, Vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) International, Miesian  
No. Stories 19

Exterior Material(s) Glass and porcelain panel curtain wall  
Exterior Features Cantilevered reinforced flat-slab structural system

Ground-Level Bays 9

Upper-Level Bays 13

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal, Glass  
Door Features Metal

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Recessed  
Window type(s) Curtain Wall  
Window Material(s) Metal  
Window Features Porcelain Panels

**HISTORY**

Current Name	STATLER HILTON HOTEL	Historic Name	Hilton Hotel
Year Built	1956	Architect	William Tabler (NYC)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Tourism development and hospitality; Modernism and Postmodernism		
Historical Sources	<a href="https://www.thc.texas.gov/content/tax-credit-program-highlight-statler-hilton-0">https://www.thc.texas.gov/content/tax-credit-program-highlight-statler-hilton-0</a>		

**INTEGRITY**

Alterations	Rehabbed with preservation tax credits 2018	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

1954 COMMERCE ST

HHM ID No. 117113



### IDENTIFICATION

Address 1954 COMMERCE ST

Legal Description LT 1 ACS 0.571 INT201400131257  
DD05272014 CO-DC 0097 000 00100  
1000097 000 BLK 97  
CAD Parcel ID 101692000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Library  
Form/Plan Two-part commercial block

Current Use Commercial, Vacant  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories 3

Exterior Material(s) Stone, Metal, Glass  
Exterior Features Linear building with blank stone façade  
and façade of windows

Ground-Level Bays 2

Upper-Level Bays 1

### ROOF

Roof Form/Type Flat  
Roof Materials N/A  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) two Sets of Double doors primary  
entrance  
Door Material(s) Metal, Glass  
Door Features Transoms, Sidelights  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features Metal Screen / Brise Soliel

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	DALLAS MORNING NEWS	Historic Name	Old Dallas Central Library
Year Built	1958	Architect	George Dahl (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Municipal and county governments; Modernism and Postmodernism		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Government, Architecture

# INTENSIVE-LEVEL FORM

2012 COMMERCE ST

HHM ID No. 118152



## IDENTIFICATION

Address 2012 COMMERCE ST

Legal Description 0127 000 00000 1000127 000 TR 2  
ACS 0.1159 CALC BLK 127  
INT201700346279 DD12082017 CO-DC  
CAD Parcel ID 102514000000

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Auto Sales  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Beaux Arts  
No. Stories 2

Exterior Material(s) Brick, Stone  
Exterior Features Decorative/carved stone in parapet  
and along roofline

Ground-Level Bays 3

Upper-Level Bays 3

## ROOF

Roof Form/Type Flat

Roof Materials Not visible

Parapet Mission

## DOORS AND WINDOWS

Door Type(s) Multiple entrances, Double door(s)  
primary entrance, Single door(s)  
primary entrance

Door Material(s) Wood

Door Features Transoms

Storefront Flush

Window type(s) Double-hung, Display windows

Window Material(s) Wood

Window Features Sills

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	7-ELEVEN/TRAFFIC TICKETS/DOUGS GYM//RESIDENTIAL	Historic Name	Haynes Co. of Dallas
Year Built	1912	Architect	
Source Year Built	Newspaper research	Builder	
Associated Historic Context Theme(s)	Advent of automobile travel (Bankhead Hwy)		

**INTEGRITY**

Alterations	Canopy removed, Storefront altered, some exterior materials covered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Compatible to local district; Contributing to NR district
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Update previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

2024 COMMERCE ST

HHM ID No. 118149



### IDENTIFICATION

Address 2024 COMMERCE ST

Legal Description 0127 031 01100 1000127 031 BLK  
31/127 LT 11 1/2 & PT LT 11 ACS 0.055  
RAILROAD INT200503626158  
DD11282005 CO-DC  
CAD Parcel ID 102544000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Sullivanesque  
No. Stories 2  
Ground-Level Bays 3

Exterior Material(s) Brick  
Exterior Features Suspension rods attach canopy  
Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Multiple entrances, Single door(s)  
primary entrance  
Door Material(s) Wood  
Door Features Transoms, Tile at door  
Storefront Recessed  
Window type(s) Double-hung, Display windows  
Window Material(s) Wood  
Window Features Transoms

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	ROBERT S GREG LAW OFFICE	Historic Name	United States Tire Company
Year Built	1910	Architect	
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Highways, Roadways, and Automobiles (Bankhead Hwy)		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**3026 COMMERCE ST**

HHM ID No. 119039



### IDENTIFICATION

Address 3026 COMMERCE ST

Legal Description 0200 004 000 1000200 004 PT  
BLKS 4/200 & 20/200 ACS 0.4776 UNIT  
3031 CE 8.8580% VOL2001169/1460  
DD08242001 CO-DC COMMERCE  
STREET LOFTS  
CAD Parcel ID 0

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Manufacturing building  
Form/Plan Two-part commercial block

Current Use Residential  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style  
No. Stories 2

Exterior Material(s) Brick, Plaster, Tiles, Stone  
Exterior Features Utilitarian – lacking ornamentation

Ground-Level Bays 3

Upper-Level Bays 3

### ROOF

Roof Form/Type FLAT

Roof Materials TAR AND GRAVEL

Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances, Double door(s)  
primary entrance, Single door(s)  
primary entrance

Door Material(s) Metal

Door Features Transoms, Canopy

Storefront Flush

Window type(s) Casement

Window Material(s) Metal

Window Features Lintel

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A

Landscape Features N/A

**HISTORY**

Current Name	N/A	Historic Name	Hamilton Carhart Overall Factory (Sanborn map, 1921-1952, sheet 26 a)
Year Built	1940	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry - Apparel (Overall factory)		

**INTEGRITY**

Alterations	Stucco and stone tiles added to front facade, Some side windows infilled	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Architecture



## INTENSIVE-LEVEL FORM

**3333 COMMERCE ST**

HHM ID No. 119146



### IDENTIFICATION

Address 3333 COMMERCE ST

Legal Description BLK 1/828 PT LT 2 ACS 1.7697 CALC  
PAN AMERICAN CAPITAL  
INT20070456286 DD12212007 CO-DC  
0828 001 00200 5DA0828 001  
CAD Parcel ID 82800010020000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan One-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 1  
Ground-Level Bays 2

Exterior Material(s) Concrete blocks  
Exterior Features Lacks ornamentation  
Upper-Level Bays N/A

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms  
Storefront Flush  
Window type(s) Display windows  
Window Material(s) Wood  
Window Features Lintel

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	Counter Culture Coffee Training Center	Historic Name	N/A
Year Built	1919	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Commerce		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**411 ELM ST**

HHM ID No. 116951



### IDENTIFICATION

Address 411 ELM ST

Legal Description 0010 013 001 1000010 013 ELM ST ORIGINAL TOWN OF DALLAS BL 13/10 LT 1A ACS 1.267 VOL89069/4187 CO-DALLAS CAD Parcel ID 0

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Three-part vertical block

Current Use Governmental, Cultural  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Romanesque Revival  
No. Stories 7

Exterior Material(s) Brick  
Exterior Features Dentiled beltcourse, Pilasters, Corbelled brickwork beltcourse

Ground-Level Bays 7

Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms, Sidelights, Stone surround  
Storefront Recessed  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Round arch

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	SIXTH FLOOR MUSEUM/DALLAS COUNTY ADMINISTRATION	Historic Name	Southern Rock Island Building; Texas School Book Depository Building
Year Built	1901	Architect	James Hendricks (1989 addition)
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Distribution and Warehousing, JFK assassination		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	Rear one-story addition (1989)		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts; RTHL
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listings
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Historic event	Criteria	A, C
		Area of Significance	Politics, Architecture



## INTENSIVE-LEVEL FORM

500 ELM ST

HHM ID No. 117003



### IDENTIFICATION

Address 500 ELM ST

Legal Description 0022 003 000 1000022 003  
HOUSTON MAIN RECORD & ELM BLK  
3/0022 CO-DALLAS ALL OF  
BLK  
CAD Parcel ID 100099000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Enframed Block

Current Use Governmental  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Gothic Revival, Art Deco,  
International  
No. Stories 7  
Ground-Level Bays 7

Exterior Material(s) Stone  
Exterior Features Pilasters  
Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Not visible  
Door Features Arched  
Storefront Not visible  
Window type(s) Single-hung  
Window Material(s) Metal  
Window Features Decorative spandrels

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	RECORDS BUILDING	Historic Name	Dallas County Records Building and Annex
Year Built	1922	Architect	Lang and Witchell (Dallas); Smith, Worden, Nelson and Corgan (Dallas) - Annex architects
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Municipal and county governments		

**INTEGRITY**

Alterations	All windows replaced, Currently under renovation	Relocation	N/A
Additions	Annex addition (1955), Additional story		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Government, Architecture

## INTENSIVE-LEVEL FORM

601 ELM ST

HHM ID No. 116795



### IDENTIFICATION

Address 601 ELM ST

Legal Description INT201400043523 DD02212014 CO-DC  
ORIGINAL TOWN OF DALLAS ELM  
RECORD & PACIFIC BLK 15/30 LTS 4 &  
5 0030 015 00400 1000030 015  
CAD Parcel ID 100159000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 6  
Ground-Level Bays 3

Exterior Material(s) Brick, Cast iron  
Exterior Features Lacks ornamentation  
Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features Transoms, Sidelights  
Storefront Recessed, Metal columns  
Window type(s) Single-hung  
Window Material(s) Wood, Metal  
Window Features

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps

**HISTORY**

Current Name	PURSE BLDG/DALLAS COUNTY SERVICES	Historic Name	Parlin and Orendorff Implement Co.; Purse and Company Wholesale Furniture, Interstate Forwarding Co.
Year Built	1905	Architect	H. A. Overbeck (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Distribution and warehousing, Industry - Agricultural equipment		
Historical Sources	<a href="https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/metropolitan.htm">https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/metropolitan.htm</a>		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

606 ELM ST

HMM ID No. 117011



### IDENTIFICATION

Address 606 ELM ST

Legal Description BLK 4/31 LT 1A ACS 1.2856 CO-DC 0031  
004 01A00 1DA0031 004  
FOUNDERS PLAZA

City Council District District 14

CAD Parcel ID 0

### CLASSIFICATION

Resource Type Building  
Property Type Single-family house  
Form/Plan Cabin

Current Use Cultural  
Historic Use Cultural

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Vernacular  
No. Stories 1

Exterior Material(s) Logs  
Exterior Features Reconstruction of 1841 original cabin

### ROOF

Roof Form/Type Side-gabled  
Roof Materials Wood shingles  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance  
Door Material(s) Wood  
Door Features None  
Storefront N/A  
Window type(s) None  
Window Material(s) N/A  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Located in Founder's Plaza, 1936  
granite Centennial Marker

**HISTORY**

Current Name	John Neely Bryan Cabin	Historic Name	John Neely Bryan Cabin
Year Built	1936	Architect	
Source Year Built	RTHL marker	Builder	
Associated People	John Neely Bryan (Dallas founder)		
Historical Sources	<a href="https://atlas.thc.state.tx.us/Details/5113006604">https://atlas.thc.state.tx.us/Details/5113006604</a> ; Hazel, Michael. Dallas: A History of Big "D." Austin: Texas State Historical Association, 1997.		

**INTEGRITY**

Alterations	Exterior intact	Relocation	Relocated to site in 1971
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts; RTHL
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Historic context; National and state recognition; Historic education

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A
Area of Significance	Exploration/Settlement

## INTENSIVE-LEVEL FORM

**711 ELM ST**

HHM ID No. 116822



### IDENTIFICATION

Address 711 ELM ST

Legal Description ORIGINAL TOWN OF DALLAS 0039 016  
00700 1000039 016  
INT201800087892 DD04032018 CO-DC  
BLK 16/39 LTS 7 & 8  
CAD Parcel ID 100225000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Parking garage  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style  
No. Stories 5

Exterior Material(s) Brick  
Exterior Features Pilasters, Construction date carved in  
parapet

Ground-Level Bays 5

Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features Arched

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Flush, Arched, Transoms  
Window type(s) Industrial hopper  
Window Material(s) Metal  
Window Features Brick lintels, Stone sills

**HISTORY**

Current Name	DENTIST, BARBER LOUNGE & RETAIL STRIP, 7 ELEVEN; DENTIST, BARBER LOUNGE & RETAIL STRIP, 7-11 CONVENIENCE STORE & PARKING GA, 7 ELEVEN	Historic Name	Sanger Bros. Department Store garage
Year Built	1925	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Retail		

**INTEGRITY**

Alterations	Storefronts partially opened and some replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context	Criteria	A, C
		Area of Significance	Commerce, Architecture



# INTENSIVE-LEVEL FORM

1505 ELM ST

HHM ID No. 116628



## IDENTIFICATION

Address	1505 ELM ST	Legal Description	1505 ELM STREET CONDOMINIUMS UNIT 603 CE% 1.80 INT200600383842 DD10022006 CO-DC BLK 75 LTS 21 & 22 0075 000 021 1000075 000 0
City Council District	District 14	CAD Parcel ID	0

## CLASSIFICATION

Resource Type	Building	Current Use	Commercial, Residential
Property Type	Office	Historic Use	Commercial
Form/Plan	Two-part vertical block		

## ARCHITECTURAL DETAILS

Stylistic Influence(s)	Mid-century Modern	Exterior Material(s)	Stone, Metal, Brick, Concrete, Glass (curtain wall), Porcelain, Enamel, Cast terrazzo
No. Stories	17	Exterior Features	Various spandrels
Ground-Level Bays	2	Upper-Level Bays	12

## ROOF

Roof Form/Type	FLAT
Roof Materials	TAR AND GRAVEL
Parapet	N/A

## DOORS AND WINDOWS

Door Type(s)	Multiple entrances
Door Material(s)	Metal
Door Features	N/A
Storefront	Recessed
Window type(s)	Fixed
Window Material(s)	Metal

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	N/A
Landscape Features	N/A

**HISTORY**

Current Name		Historic Name	Dallas Federal Savings and Loan; Dresser Building
Year Built	1957	Architect	George Dahl (Dallas)
Source Year Built	DCAD 2021	Builder	Robert E. McKee
Associated Historic Context Theme(s)	Banking and finance		
Historical Sources	<a href="https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/1505elm.htm">https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/1505elm.htm</a>		

**INTEGRITY**

Alterations	Metal and glass facade replaced in kind	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Economics, Architecture

# INTENSIVE-LEVEL FORM

1520 ELM ST

HHM ID No. 116707



## IDENTIFICATION

Address 1520 ELM ST

Legal Description 0076 00A 00200 7DA0076 00A BLK A/76 LT 2 ACS 0.2296 STONE STREET RETAIL INT201800276515 DD10162018 CO-DC  
CAD Parcel ID 0

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Classical Revival  
No. Stories 2  
Ground-Level Bays 5

Exterior Material(s) Brick  
Exterior Features Pilasters  
Upper-Level Bays 5

## ROOF

Roof Form/Type Flat  
Roof Materials  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance, Multiple entrances  
Door Material(s) Wood  
Door Features Transoms  
Storefront Recessed  
Window type(s) Display windows, Fixed, Double-hung  
Window Material(s) Wood  
Window Features Lintels, Sills, Rounded

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	STONE STREET GARDENS/CAMPSIS/SOL IRLANDES;STONE STREET GARDENS/CAMPSIS/SOL IRLANDES,STONE STREET GARDENS/SOL IRLANDES	Historic Name	F. W. Woolworth Building
Year Built	1913	Architect	
Source Year Built	Sign on building	Builder	
Associated Historic Context Theme(s)	Retail		
Historical Sources	<a href="https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/HP%20Documents/Districts%20Page/Stone%20Stree">https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/HP%20Documents/Districts%20Page/Stone%20Stree</a>		

**INTEGRITY**

Alterations	Canopy removed, Storefronts altered during historic period	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Stone Street Place; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



# INTENSIVE-LEVEL FORM

1907 ELM ST

HHM ID No. 117126



## IDENTIFICATION

Address 1907 ELM ST

Legal Description 0094 000 00100 1DA0094 000  
INT201600175892 DD06292016 CO-DC  
BLK 94 TR 1 ACS 0.508 CE%59.4 ST ELM  
MASTER CONDO JURIS SPLIT  
00C77140REST95000

City Council District District 14

CAD Parcel ID

## CLASSIFICATION

Resource Type Building  
Property Type Offices  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco, Zig-zag Moderne  
No. Stories 23  
Ground-Level Bays 6

Exterior Material(s) Stone, Brick, Structural glass  
Exterior Features Green spandrels, Art Deco carvings  
Upper-Level Bays 9

## ROOF

Roof Form/Type Flat  
Roof Materials  
Parapet Zig Zag

## DOORS AND WINDOWS

Door Type(s) Recessed corner entrance  
Door Material(s) Metal, Glass  
Door Features Transoms, center light

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features Decorative Spandrel Panel

**HISTORY**

Current Name	Tower Petroleum Building, Cambria Hotel	Historic Name	Tower Petroleum Building
Year Built	1931	Architect	Mark Lemmon (Dallas)
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Industry - Petroleum		

**INTEGRITY**

Alterations	Adaptive reuse for hotel completed in 2007.	Relocation	N/A
Additions			

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

2614 ELM ST

HHM ID No. 118780



### IDENTIFICATION

Address 2614 ELM ST

Legal Description 0182 000 00400 1000182 000  
INT201700189410 DD07062017 CO-DC  
BLK 182 TR 4 50X100 ELM 125 E FR  
GOOD  
CAD Parcel ID 103711000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan One-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 1  
Ground-Level Bays 3

Exterior Material(s) Brick  
Exterior Features Brickwork panels in parapet  
Upper-Level Bays N/A

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Wood  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	BIG GUY/ON THE LAMB RETAIL STRIP	Historic Name
Year Built	1924	Architect
Source Year Built	DCAD 2021	Builder
Associated Historic Context Theme(s)	Commerce	

**INTEGRITY**

Alterations	Non-historic signs	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

2625 ELM ST

HHM ID No. 118802



### IDENTIFICATION

Address 2625 ELM ST

Legal Description 23 & ABDN ROW ACS 2.2456  
SHEPHERDS MONUMENT TRIANGLE LT  
16 BLK 286 LTS 1-5&13-16&BLK C/483  
0286 000 00100 1DA0286 000  
INT201200075119 DD03162012 CO-DC  
CAD Parcel ID 1063900000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Store, Warehouse  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 2  
Ground-Level Bays 9

Exterior Material(s) Brick  
Exterior Features Decorative canopy  
Upper-Level Bays 9

### ROOF

Roof Form/Type Not visible  
Roof Materials Not visible  
Parapet Stepped

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Recessed entrance  
Door Material(s) Wood  
Door Features Sidelights  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Wood  
Window Features Transoms

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Street lights

2625 ELM ST

HHM ID No. 118802

Page 2

**HISTORY**

Current Name	UPLIFT EDUCATION	Historic Name	Dallas Wholesale Furniture Mart; Outside Venetian Blind Co.
Year Built	1924	Architect	
Source Year Built	DCAD	Builder	
Associated Historic Context Theme(s)	Industry - Furniture		
Historical Sources	Dallas Morning News, Oct. 11, 1925		

**INTEGRITY**

Alterations	Some windows replaced	Relocation	N/A
Additions	Rear addition		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Architecture

## INTENSIVE-LEVEL FORM

**2704 ELM ST**

HHM ID No. 118964



### IDENTIFICATION

Address 2704 ELM ST

Legal Description ELIZA MCCOYS INT20080122945  
DD04142008 CO-DC 0480 00A 04500  
1000480 00A BLK A/480 LTS 45 TO 48  
ACS 0.5557

City Council District District 2

CAD Parcel ID 110893000000

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan One-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 1

Exterior Material(s) Brick  
Exterior Features Decorative brickwork and inset panels  
above transoms

Ground-Level Bays 3

Upper-Level Bays N/A

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance  
Door Material(s) Wood  
Door Features Sidelights, Transoms

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Wood  
Window Features

**HISTORY**

Current Name	CLUB DADA/FUZZYS TACO/THREE LINKS	Historic Name	
Year Built	1905	Architect	
Source Year Built	In field estimate	Builder	
Associated Historic Context Theme(s)	Commerce		

**INTEGRITY**

Alterations	Canopy removed	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

211 N ERVAY ST

HHM ID No. 117648



### IDENTIFICATION

Address 211 N ERVAY ST

Legal Description 0075 120 03400 1000075 120 BLK 120/75 50X200 INT201200371106 DD12172012 CO-DC ELM ERVAY & PACIFIC SMITH MURPHY & MARTIN  
CAD Parcel ID 100849000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories 18  
Ground-Level Bays 8

Exterior Material(s) Metal, Glass, Aquamarine panels  
Exterior Features Teal panels separate floors  
Upper-Level Bays 8

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features N/A  
Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	ALTO 211;ALTO 211,ALTO 211/CAFE MONDO/FURNITUE OUTLET	Historic Name	
Year Built	1958	Architect	Thomas Stanley (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Modernism and Postmodernism		
Historical Sources	<a href="https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/211northervay.htm">https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/211northervay.htm</a>		

**INTEGRITY**

Alterations	Renovated	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

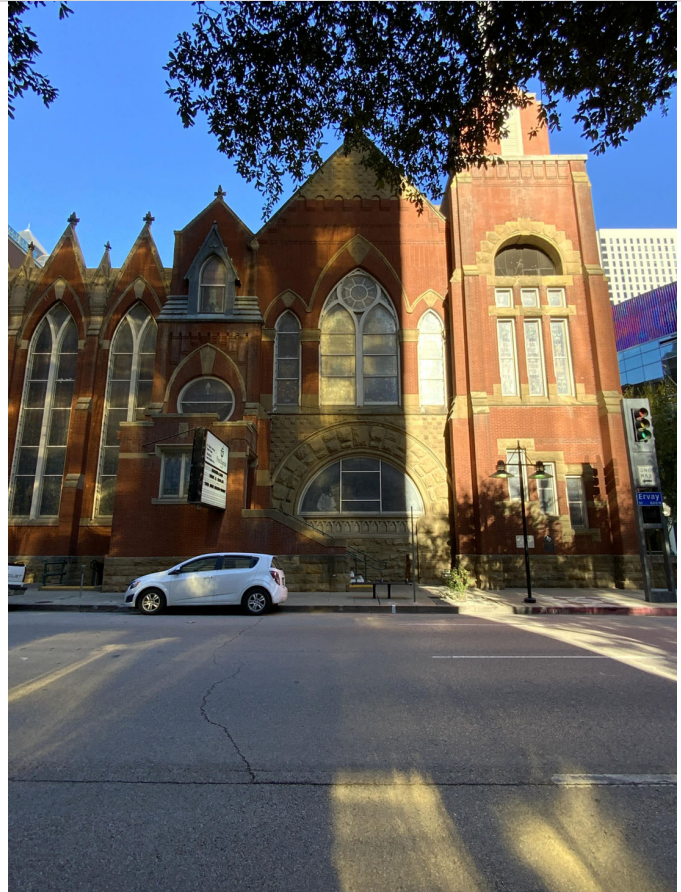
**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	C
Area of Significance	Architecture

# INTENSIVE-LEVEL FORM

606 N ERVAY ST

HHM ID No. 116813



## IDENTIFICATION

Address 606 N ERVAY ST

Legal Description & PATTERSON AVE ERVAY BLK 239 &  
ABND SAN JACINTO PLACE  
BULLINGTON 0239 000 00100  
1000239 000  
CAD Parcel ID 105127000000

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Church  
Form/Plan Cruciform

Current Use Religious  
Historic Use Religious

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Gothic Revival  
No. Stories 2

Exterior Material(s) Brick, Stone  
Exterior Features Beltcourse, Pointed tympanum, Finials,  
Tower, Buttresses

Ground-Level Bays Varied

Upper-Level Bays Varied

## ROOF

Roof Form/Type Cross-gabled  
Roof Materials Asphalt shingles  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Multiple entrances, Double door(s)  
primary entrance  
Door Material(s) Wood  
Door Features Stained glass insets, Stained glass  
transoms

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront N/A  
Window type(s) Fixed  
Window Material(s) Wood  
Window Features Segmental arch, Hoodmolds, Lintels,  
Stained glass

**HISTORY**

Current Name	First Baptist Church	Historic Name	First Baptist Church
Year Built	1890	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Religion		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	New church built around and attached to building		

**PRIOR DOCUMENTATION**

Designation(s)	RTHL
Designation Name(s)	First Baptist Church

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; National and state recognition

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	C, Criteria Consideration A
Area of Significance	Architecture



## INTENSIVE-LEVEL FORM

**301 S HARWOOD ST**

HHM ID No. 117798



### IDENTIFICATION

Address 301 S HARWOOD ST

Legal Description INT201100157551 DD06152011 CO-DC  
BLK 98 1/2 ACS 1.6893 ATMOS LOFTS  
CONDOS UNIT 2 CE 53.48% 00981000  
00100 1DA00981000  
CAD Parcel ID 0

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco  
No. Stories 10, 12  
Ground-Level Bays 6

Exterior Material(s) Brick, Stone, Concrete  
Exterior Features Recessed upper middle section  
Upper-Level Bays 8

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Tripartite doors  
Door Material(s) Metal  
Door Features Transom  
Storefront Recessed  
Window type(s) Display windows, Single-hung  
Window Material(s) Metal  
Window Features Decorative spandrels

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A



**HISTORY**

Current Name	LONE STAR GAS LOFTS	Historic Name	Lone Star Gas Co. Bldg.
Year Built	1924	Architect	Lang and Witchell (Dallas)
Source Year Built	NR nomination	Builder	
Historical Significance	Architecture		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	1927 and 1931 additions		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

507 S HARWOOD ST

HHM ID No. 117037



### IDENTIFICATION

Address 507 S HARWOOD ST

Legal Description BLK 118 0118 000 00300 1DA0118  
000 TR 3 ACS 1.325 INT201800084684  
DD04022018 CO-DC YOUNG-  
HARWOOD-CANTON  
CAD Parcel ID 102233000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Masonic temple  
Form/Plan Vault

Current Use Commercial  
Historic Use Social

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco  
No. Stories 2 with basement  
Ground-Level Bays 7

Exterior Material(s) Limestone  
Exterior Features Monolith stone center with wings  
Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance with  
two single door entries to side  
Door Material(s) Metal  
Door Features Mason symbol  
Storefront N/A  
Window type(s) Double-hung, Casement  
Window Material(s) Metal, Vinyl  
Window Features Inset in panels

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Lawn, Stepped entrance

**HISTORY**

Current Name	BLOCK HOUSE FKA MASONIC TEMPLE UNOCC RESTRICTED	Historic Name	Masonic Temple
Year Built	1941	Architect	Flint and Broad (Dallas)
Source Year Built	DCAD 2021	Builder	
Historical Significance	Social History, Architecture		

**INTEGRITY**

Alterations	Some windows replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District (Boundary Increase)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context, Historic education

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Social History, Architecture

## INTENSIVE-LEVEL FORM

**3200 HICKORY ST**

HHM ID No. 119749



### IDENTIFICATION

Address 3200 HICKORY ST

Legal Description VOL2001043/0658 DD10171986 CO-DC  
NUSSBAUMERS PEARLSTONE &  
HICKORY 0852 005 00600 1DA0852  
005 BLK 5/852 LTS 6 & 7

City Council District District 2

CAD Parcel ID 0

### CLASSIFICATION

Resource Type Building  
Property Type Grain warehouse and tanks  
Form/Plan Cylindrical

Current Use Industrial  
Historic Use Industrial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Industrial  
No. Stories N/A

Exterior Material(s) Cast in-place concrete  
Exterior Features Utilitarian – lacks ornamentation

Ground-Level Bays 15

Upper-Level Bays N/A

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Not visible  
Door Material(s) Not visible  
Door Features Not visible

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront N/A  
Window type(s) Single-hung  
Window Material(s) Metal  
Window Features N/A



**HISTORY**

Current Name	GRAIN ELEVATORS	Historic Name	Pearlstone Mill and Elevator Co.
Year Built	1928	Architect	
Source Year Built	Sanborn map (1950, v. 1, sheet 100)	Builder	
Associated Historic Context Theme(s)	Industry		

**INTEGRITY**

Alterations	Associated buildings gone	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Architecture

# INTENSIVE-LEVEL FORM

207 S HOUSTON ST

HHM ID No. 117048



## IDENTIFICATION

Address 207 S HOUSTON ST

Legal Description 0013 008 000 1000013 008  
HOUSTON JACKSON COMMERCE &  
BRDWY ORIG DALLAS CO-  
DALLAS BLK 8/0013 (ALL OF BLK)  
CAD Parcel ID 100057000000

City Council District District 2

## CLASSIFICATION

Resource Type Building  
Property Type Post office  
Form/Plan Enframed block

Current Use Governmental  
Historic Use Governmental

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco  
No. Stories 5

Exterior Material(s) Stone, Brick  
Exterior Features Smooth stone, Windows inset between  
projecting columns

Ground-Level Bays 10

Upper-Level Bays 10

## ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Multiple entrances  
Door Material(s) Metal  
Door Features Transoms, Stone thresholds  
Storefront N/A  
Window type(s) Single-hung, Fixed  
Window Material(s) Metal  
Window Features N/A

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	FEDERAL BUILDING	Historic Name	Terminal Annex Post Office
Year Built	1936	Architect	Lang and Witchell (Dallas)
Source Year Built	Plaque	Builder	
Associated Historic Context Theme(s)	Municipal and county governments		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NHL district
Designation Name(s)	Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	West End Expansion and Dealey Plaza
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous NHL listing, Within district
Justification	Possesses integrity and significance
Potential District Name	West End Expansion
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Government, Architecture

## INTENSIVE-LEVEL FORM

**412 S HOUSTON ST**

HHM ID No. 117272



### IDENTIFICATION

Address 412 S HOUSTON ST

Legal Description ALL BLK 39/25 FERRIS PLAZA 40000 SQ  
FT 0025 039 000 1000025 039  
HOUSTON WOOD YOUNG & RECORD  
CAD Parcel ID 100126000000

City Council District District 2

### CLASSIFICATION

Resource Type Site  
Property Type Park  
Form/Plan One square block

Current Use Recreational  
Historic Use Recreational

### ARCHITECTURAL DETAILS

Stylistic Influence(s) None  
No. Stories N/A  
Ground-Level Bays N/A

Exterior Material(s) Brick pavers, Stone fountain  
Exterior Features N/A  
Upper-Level Bays N/A

### ROOF

Roof Form/Type N/A  
Roof Materials N/A  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) N/A  
Door Material(s) N/A  
Door Features N/A  
Storefront N/A  
Window type(s) N/A  
Window Material(s) N/A  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Plantings, Fountain, Brick paving,  
Trees, Benches, Sunken garden

**HISTORY**

Current Name	Ferris Plaza	Historic Name	Ferris Plaza
Year Built	1924	Architect	
Source Year Built	Plaque	Builder	
Associated Historic Context Theme(s)	Plazas and parks, Urban renewal		

**INTEGRITY**

Alterations	Fountain and brick walkways renovated, Additional landscaping added (2004)	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Community planning and development, Landscape architecture



## INTENSIVE-LEVEL FORM

**800 JACKSON ST**

HHM ID No. 117156



### IDENTIFICATION

Address 800 JACKSON ST

Legal Description ORIGINAL TOWN OF DALLAS 0050 035  
00400 1000050 035 27.53 FT LT 3  
INT201500316204 DD11302015 CO-DC  
BLK 35/50 LT 4 &  
CAD Parcel ID 100330000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Manufacturing building  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style, Prairie  
No. Stories 7

Exterior Material(s) Brick  
Exterior Features Decorative brickwork at top of  
pilasters

Ground-Level Bays 5

Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features Transoms, Canopy

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps

Storefront Recessed  
Window type(s) Fixed, Single-hung  
Window Material(s) Wood, Metal  
Window Features Flat arch transoms on ground level

**800 JACKSON ST****HHM ID No. 117156****Page 2****HISTORY**

Current Name	OFFICE EQUIPMENT COMPANY	Historic Name	S. G. Davis Hat Co.
Year Built	1913	Architect	
Source Year Built	Sanborn map (1921, v. 1, sheet 48)	Builder	
Associated Historic Context Theme(s)	Industry - Apparel		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	West End Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	West End Expansion and Dealey Plaza
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Architecture

## INTENSIVE-LEVEL FORM

**2001 N LAMAR ST**

HHM ID No. 116575



### IDENTIFICATION

Address 2001 N LAMAR ST

Legal Description MARKET POINT II BLK 204 LT 4A ACS  
0.4037 INT201400146997 DD06112014  
CO-DC 0204 000 04A00 7DA0204  
000  
CAD Parcel ID 0

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial, Industrial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style  
No. Stories 5  
Ground-Level Bays 8

Exterior Material(s) Brick  
Exterior Features Pilasters  
Upper-Level Bays 8

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s)  
Door Features Transoms, Sidelights  
Storefront Recessed  
Window type(s) Single-hung  
Window Material(s) Metal, Wood  
Window Features Lintels, Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	OILWELL SUPPLY BLDG	Historic Name	Oilwell Building
Year Built	1923	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry - Petroleum		
Historical Sources			

**INTEGRITY**

Alterations	Some windows replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context	Criteria	A, C
		Area of Significance	Commerce, Architecture

# INTENSIVE-LEVEL FORM

2019 N LAMAR ST

HHM ID No. 116604



## IDENTIFICATION

Address 2019 N LAMAR ST

Legal Description VOL97192/3797 DD092997 CO-DALLAS  
ORIGINAL TOWN 0204 000 00100  
1000204 000 SWC MCKINNEY & N  
LAMAR 137X93 BLK 204 TR 1 ACS  
0.2925

City Council District District 14

CAD Parcel ID 104308000000

## CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial, Industrial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style  
No. Stories 3  
Ground-Level Bays 5

Exterior Material(s) Brick, Stone  
Exterior Features Stone belt courses  
Upper-Level Bays 5

## ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Garage doors  
Door Material(s) Wood  
Door Features Transoms  
Storefront Recessed  
Window type(s) Double-hung  
Window Material(s) Wood  
Window Features Lintels

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A



**HISTORY**

Current Name	COCA-COLA BUILDING;COCA-COLA BUILDING,DALLAS ALLEY	Historic Name	Coca-Cola Building
Year Built	1908	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry		

**INTEGRITY**

Alterations	Side entrance altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

# INTENSIVE-LEVEL FORM

2117 LIVE OAK ST

HHM ID No. 116669



## IDENTIFICATION

Address 2117 LIVE OAK ST

Legal Description ALL BLK ACS 2.2855 BLK 254 0254 000  
00000 1000254 000  
INT201700288742 DD10112017 CO-DC  
CAD Parcel ID 105490000000

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Hotel, Offices  
Form/Plan Massed vertical block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) International Style

Exterior Material(s) Stone, Glass and aluminum (curtain wall)

No. Stories 42, 28

Exterior Features Spandrels

Ground-Level Bays 10

Upper-Level Bays 5

## ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features N/A

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal

**HISTORY**

Current Name	SHERATON DALLAS	Historic Name	Sheraton Dallas Southland Center
Year Built	1958	Architect	Welton Becket & Associates (Los Angeles)
Source Year Built	DCAD 2021	Builder	
Historical Significance	First mixed-use project downtown with hotel and office space		
Associated Historic Context Theme(s)	Urban renewal		
Historical Sources	<a href="https://flashbackdallas.com/2020/04/12/the-southland-center-mid-century-cool-1959/">https://flashbackdallas.com/2020/04/12/the-southland-center-mid-century-cool-1959/</a>		

**INTEGRITY**

Alterations	Glass mosaic painted gray	Relocation	N/A
Additions	31 story Skyway Tower (1981), 25 story central tower (1990), skybridges (1990s)		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

400 MAIN ST

HHM ID No. 116981



### IDENTIFICATION

Address 400 MAIN ST

Legal Description 0011 002 000 1000011 002  
HOUSTON MAIN & ELM (PARK) BLK  
2/0011 (ALL OF BLK) ORIG DALLAS  
CO-DALLAS

City Council District District 2

CAD Parcel ID 100051000000

### CLASSIFICATION

Resource Type Site  
Property Type Park  
Form/Plan Triangular

Current Use Recreational, Commemorative  
Historic Use Recreational, Commemorative

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco, Classical Revival  
No. Stories N/A

Exterior Material(s) Concrete  
Exterior Features N/A

Ground-Level Bays 0

Upper-Level Bays N/A

### ROOF

Roof Form/Type N/A  
Roof Materials N/A  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) N/A  
Door Material(s) N/A  
Door Features N/A  
Storefront N/A  
Window type(s) N/A  
Window Material(s) N/A  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Colonnades/Pergolas, Flag poles,  
Statues, Reflecting pools

**HISTORY**

Current Name	Dealey Plaza	Historic Name	Dealey Plaza
Year Built	1935	Architect	Hare and Hare (Kansas City)
Source Year Built	City of Dallas	Builder	NYA labor used
Associated Historic Context Theme(s)	Plazas, parks, monuments, and memorialization; JFK assassination; Urban Plans		
Historical Sources	<a href="https://atlas.thc.texas.gov/NR/pdfs/93001607/93001607_NHL.pdf">https://atlas.thc.texas.gov/NR/pdfs/93001607/93001607_NHL.pdf</a>		

**INTEGRITY**

Alterations	Rehabbed	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Historic event

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Politics, Landscape Architecture



## INTENSIVE-LEVEL FORM

500 MAIN ST

HHM ID No. 117024



### IDENTIFICATION

Address 500 MAIN ST

Legal Description 0022 003 000 1000022 003  
HOUSTON MAIN RECORD & ELM BLK  
3/0022 CO-DALLAS ALL OF  
BLK  
CAD Parcel ID 100099000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Three-part vertical block

Current Use Governmental  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Renaissance Revival  
No. Stories 8

Exterior Material(s) Brick, Stone  
Exterior Features Decorative cornice, entablature, and  
pilaster tops

Ground-Level Bays 7

Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Under renovation  
Door Material(s) Under renovation  
Door Features Pediment  
Storefront Under renovation  
Window type(s) Under renovation  
Window Material(s) Under renovation  
Window Features Under renovation

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	Criminal Courts Building	Historic Name	Criminal Courts Building
Year Built	1915	Architect	A. H. Overbeck (Dallas)
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Municipal and county governments		

**INTEGRITY**

Alterations	Currently under renovation (2020)	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listings
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Government, Architecture

## INTENSIVE-LEVEL FORM

646 MAIN ST

HHM ID No. 117063



### IDENTIFICATION

Address 646 MAIN ST  
City Council District District 14

Legal Description  
CAD Parcel ID 100168000000

### CLASSIFICATION

Resource Type Site  
Property Type Memorial  
Form/Plan Square

Current Use Cultural  
Historic Use Cultural

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories N/A

Exterior Material(s) Pre-cast concrete  
Exterior Features Designed to resemble a cenotaph, 8 pillars, granite black slab in center

Ground-Level Bays N/A

Upper-Level Bays N/A

### ROOF

Roof Form/Type Roof-less  
Roof Materials N/A  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) N/A  
Door Material(s) N/A  
Door Features N/A  
Storefront N/A  
Window type(s) N/A  
Window Material(s) N/A  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Lawn

**HISTORY**

Current Name	JFK Memorial	Historic Name	
Year Built	1970	Architect	Philip Johnson (NYC)
Source Year Built	Plaque	Builder	
Associated Historic Context Theme(s)	JFK assassination		

**INTEGRITY**

Alterations	Intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect, Unique visual feature

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listings
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Politics, Landscape Architecture

## INTENSIVE-LEVEL FORM

1415 MAIN ST

HHM ID No. 117821



### IDENTIFICATION

Address 1415 MAIN ST

Legal Description 01142069 08A00 1DA01142069  
MEA BLK 114/69- 1/2 LT 8A ACS 0.1175  
INT201600084621 DD03312016 CO-DC  
0

City Council District District 14

CAD Parcel ID

### CLASSIFICATION

Resource Type Building  
Property Type Offices  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco  
No. Stories 18  
Ground-Level Bays 7

Exterior Material(s) Stone, Brick  
Exterior Features Pilasters, Medallions  
Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Multiple entrances  
Door Material(s) Metal  
Door Features Transoms  
Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood, Metal  
Window Features Lintels, Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A



**HISTORY**

Current Name	CHASE/THIRD RAIL LOFTS	Historic Name	Marvin/Cullom Building; Gulf States Building
Year Built	1927	Architect	Possibly J. N. McCammon Co.; Lang and Witchell (1935)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry - Petroleum		
Historical Sources	<a href="https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/gulfstates.htm">https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/gulfstates.htm</a>		

**INTEGRITY**

Alterations	Some windows replaced, Storefront altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**1521 MAIN ST**

HHM ID No. 117757



### IDENTIFICATION

Address 1521 MAIN ST

Legal Description BLK 121/76 TR 15 ACS 0.1148 CALC  
0076 000 01500 1000076 000  
INT201900185211 DD06182019 CO-DC  
50X100 MAIN 25FR STONE PL SMITH  
MURPHY & MARTIN  
CAD Parcel ID 100936000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan One-part commercial block

Current Use Religious  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Neo-Expressionism  
No. Stories 1  
Ground-Level Bays 3

Exterior Material(s) Glass tile, Concrete, Plaster  
Exterior Features Mosaic above entrance,  
Upper-Level Bays N/A

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Aluminum  
Door Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Brick planter along sidewalk

Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features Sills, Hooded covers

**HISTORY**

Current Name	Saint Jude Chapel	Historic Name	Saint Jude Chapel
Year Built	1967	Architect	Eugene F. Boerder; Gyorgy Kepes; Norman Sulier (sanctuary design) (mosaic)
Source Year Built	Dallas Morning News, July 9, 1967, p. 17.	Builder	Yarbrough Construction
Associated Historic Context Theme(s)	Arts		
Historical Sources	Dallas Morning News, April 28, 1968; <a href="https://flashbackdallas.com/2017/03/26/the-saint-jude-chapel-mosaic-by-gyorgy-kepes-1968/">https://flashbackdallas.com/2017/03/26/the-saint-jude-chapel-mosaic-by-gyorgy-kepes-1968/</a>		

**INTEGRITY**

Alterations	N/A	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Noncontributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Update previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Art, Architecture

# INTENSIVE-LEVEL FORM

1525 MAIN ST

HHM ID No. 117762



## IDENTIFICATION

Address 1525 MAIN ST

Legal Description 0076 00A 00200 7DA0076 00A BLK A/76 LT 2 ACS 0.2296 STONE STREET RETAIL INT201800276515 DD10162018 CO-DC

City Council District District 14

CAD Parcel ID 0

## CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Italianate  
No. Stories 2

Exterior Material(s) Brick, Stone  
Exterior Features Metal canopy with suspension rods, Capped pilasters, Decorative/corbelled brickwork at parapet

Ground-Level Bays 3

Upper-Level Bays 3

## ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Stepped

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood, Metal  
Door Features Transoms  
Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Arched transoms, Sills

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	STONE STREET GARDENS/CAMPSIS/SOL IRLANDES;STONE STREET GARDENS/CAMPSIS/SOL IRLANDES,STONE STREET GARDENS/SOL IRLANDES	Historic Name	Sumpter-Leggitt Building
Year Built	1892	Architect	
Source Year Built	NR nomination	Builder	
Historical Significance	Commerce		
Historical Sources	<a href="https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/HP%20Documents/Districts%20Page/Stone%20Street">https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/HP%20Documents/Districts%20Page/Stone%20Street</a>		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	Stone Street Place; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

**1604 MAIN ST**

HHM ID No. 117721



### IDENTIFICATION

Address 1604 MAIN ST

Legal Description JOULE 0077 000 06A03 7DA0077  
000 INT200900261529 DD09012009  
CO-DC BLK 77 LT 4A ACS 0.1774 SPLIT 2  
0  
CAD Parcel ID 0

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Offices  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco  
No. Stories 8

Exterior Material(s) Stone, Concrete  
Exterior Features Decorative carvings/openings near  
roofline

Ground-Level Bays 5

Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features Transoms, Sidelights  
Storefront Recessed  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	1604 MAIN (OWNED BY JOULE HOTEL)	Historic Name	Sumpter Building/Great National Life Building
Year Built	1914	Architect	Charles D. Hill (Dallas); Grayson Gill (1936 renovation)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Commerce		

**INTEGRITY**

Alterations	Transom covered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**3800 MAIN ST**

HHM ID No. 119672



### IDENTIFICATION

Address 3800 MAIN ST

Legal Description 0827 016 02A 1000827 016  
POTATO CHIP ADDITION BLK 16/827 LT  
2A ACS 0.608 VOL2004020/3114  
DD12232003 CO-DC  
CAD Parcel ID 0

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Silo, Warehouse, Shop  
Form/Plan Cylindrical

Current Use Commercial  
Historic Use Industrial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Industrial  
No. Stories Varied

Exterior Material(s) Stucco, Brick  
Exterior Features Utilitarian

Ground-Level Bays 3

Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance  
Door Material(s) Metal

Door Features Sidelights, Transoms

Storefront N/A

Window type(s) Fixed, Casement  
Window Material(s) Metal  
Window Features Transoms

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	PHILLIPS RAYBURN/VISUAL EYES/LANNEN FIRM	Historic Name	Frito Potato Chip Co.
Year Built	1947	Architect	
Source Year Built	Sanborn map (1950, v. 1, sheet 101)	Builder	
Associated Historic Context Theme(s)	Industry		

**INTEGRITY**

Alterations	Doors replaced, Fenestration pattern altered, Some windows infilled, Associated factory building gone	Relocation	N/A
Additions	Rear addition		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Architecture

## INTENSIVE-LEVEL FORM

208 N MARKET ST

HHM ID No. 116828



### IDENTIFICATION

Address 208 N MARKET ST

Legal Description INT201600077022 DD03222016 CO-DC  
ORIGINAL TOWN OF DALLAS 0039 016  
00300 1000039 016 BLK 16/39 LOTS  
3 & 4 ACS 0.2296  
CAD Parcel ID 100216000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Chicago Style  
No. Stories 6  
Ground-Level Bays 6

Exterior Material(s) Brick  
Exterior Features Corbelled cornice, Pilasters  
Upper-Level Bays 6

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Stepped

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features Transoms, Sidelights  
Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood, Metal  
Window Features Round arch, Bay windows

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Elevated platform



**HISTORY**

Current Name	AWALT BLDG/SLINGSHOT/CHIPOTLE	Historic Name	B. F. Avery Plow Co., Awalt Furniture Co.
Year Built	1900	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Distribution and warehousing		

**INTEGRITY**

Alterations	Storefront altered, Stucco added	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

302 N MARKET ST

HMM ID No. 116830



### IDENTIFICATION

Address 302 N MARKET ST

Legal Description BLK 29/38 LTS 5 ORIGINAL TOWN OF DALLAS 6 & PT 3 & 4 ACS 0.275  
PACIFIC & MARKET 0038 029 00300  
1000038 029 INT201800119287  
DD05022018 CO-DC  
CAD Parcel ID 100207000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 5  
Ground-Level Bays 5

Exterior Material(s) Brick  
Exterior Features Corbelled brickwork in cornice  
Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms, Sidelights, Arched, Stone and brick surround

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Round arch

**HISTORY**

Current Name	TEXAS MOLINE BLDG SONNY BRYANS 54% UNOCCUPIED; TEXAS MOLINE BLDG SONNY BRYANS, TEXAS MOLINE BLDG SONNY BRYANS 54% UNOCCUPIED	Historic Name	Texas Moline Plow Co.
Year Built	1910	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry - Agricultural equipment		

**INTEGRITY**

Alterations	Awnings added	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**311 N MARKET ST**

HHM ID No. 116704



### IDENTIFICATION

Address 311 N MARKET ST

Legal Description ORIGINAL TOWN OF DALLAS ROSS  
MARKET & RECORD 0029 028 00100  
1000029 028 INT201800119287  
DD05022018 CO-DC BLK 28/29 LTS 1-4  
ACS 0.466

City Council District District 14

CAD Parcel ID 100147000000

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse, Office  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 3  
Ground-Level Bays 6

Exterior Material(s) Brick  
Exterior Features Lacking much ornamentation  
Upper-Level Bays 6

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms  
Storefront Recessed, Cast iron columns  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Dentiled lintels, Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps

**HISTORY**

Current Name	WEST END PROFESSIONAL BLDG/HOFFBRAU STEAKS	Historic Name	Briggs-Weaver Machinery Co.
Year Built	1904	Architect	
Source Year Built	Dallas Morning News, Nov. 24, 1904	Builder	Chrisman and Nesbit
Associated Historic Context Theme(s)	Distribution and warehousing		

**INTEGRITY**

Alterations	Some windows boarded	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

**1701 N MARKET ST**

HHM ID No. 116661



### IDENTIFICATION

Address 1701 N MARKET ST

Legal Description RECORD MARKET & ROSS ORIGINAL  
TOWN OF DALLAS BLK 45/28 LTS 5-8  
INT201600346117 DD12092016 CO-DC  
0028 045 00500 1000028 045  
CAD Parcel ID 100144000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial, Industrial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 4  
Ground-Level Bays 7

Exterior Material(s) Brick  
Exterior Features Corbelled cornices  
Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal, Wood  
Door Features Transoms  
Storefront Flush  
Window type(s) Double-hung  
Window Material(s) Wood  
Window Features Sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	MARKET ROSS PLACE/HIGGINBOTHAM PEARLSTONE	Historic Name	Hobson Electric, Maroney Hardware Co., Higginbotham-Pearlstone Building
Year Built	1909	Architect	
Source Year Built	RTHL marker	Builder	
Associated Historic Context Theme(s)	Distribution and warehousing		
Historical Sources	<a href="https://atlas.thc.state.tx.us/Details/5113006735/print">https://atlas.thc.state.tx.us/Details/5113006735/print</a>		

**INTEGRITY**

Alterations	Storefront altered, Some windows infilled	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts; RTHL
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; National and state recognition

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

1713 N MARKET ST

HHM ID No. 116648



### IDENTIFICATION

Address 1713 N MARKET ST

Legal Description ORIGINAL TOWN OF DALLAS 0028 045  
00100 1000028 045 N 1/4 PF BLK  
RECORD MKT & CORBIN BLK 45/28  
N/PT LTS 1-4 50X200  
INT201600346117 DD12092016 CO-DC  
100141000000

City Council District District 14

CAD Parcel ID

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse, Office  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 3  
Ground-Level Bays Not visible

Exterior Material(s) Brick  
Exterior Features Concrete belt courses  
Upper-Level Bays 16

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Raised

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Metal  
Door Features Canopy

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront Not visible  
Window type(s) Casement  
Window Material(s) Metal  
Window Features Lintels

**HISTORY**

Current Name	TGI FRIDAYS FAIRBANKS MORSE	Historic Name	Fairbanks-Morse Scale Co. and Federal Glass and Paint Co.
Year Built	1912	Architect	
Source Year Built	NR nomination	Builder	
Associated Historic Context Theme(s)	Distribution and warehousing		

**INTEGRITY**

Alterations	Some windows replaced, Canopy replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

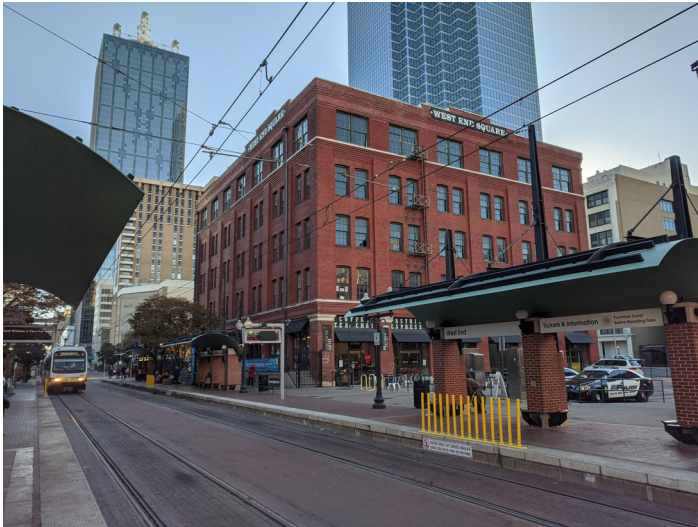
Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

804 PACIFIC AVE

HHM ID No. 116844



### IDENTIFICATION

Address 804 PACIFIC AVE

Legal Description ORIGINAL TOWN OF DALLAS TAXABLE  
IMP ONLY FOR COFFEE SHOP BLK  
31/46 PT LT 2 & 3 & 4  
INT201200152688 DD05292012 CO-DC  
0046 031 00200 1000046 031  
CAD Parcel ID 100291000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 5  
Ground-Level Bays 7

Exterior Material(s) Brick  
Exterior Features Pilasters  
Upper-Level Bays 7

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Multiple entrances  
Door Material(s) Wood, Metal  
Door Features Transoms  
Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Round arch

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Elevated platform



**HISTORY**

Current Name	ANTIOCH CHURCH;URBAN BLEND COFFEE SHOP	Historic Name	Emerson Manufacturing Co. Agricultural Implements
Year Built	1904	Architect	Hubbell & Greene (Dallas)
Source Year Built	DCAD 2021	Builder	A. Watson
Associated Historic Context Theme(s)	Distribution and warehousing		
Historical Sources	Dallas Morning News, Dec. 16, 1904		

**INTEGRITY**

Alterations	Storefront altered, Loading bays converted to doors	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

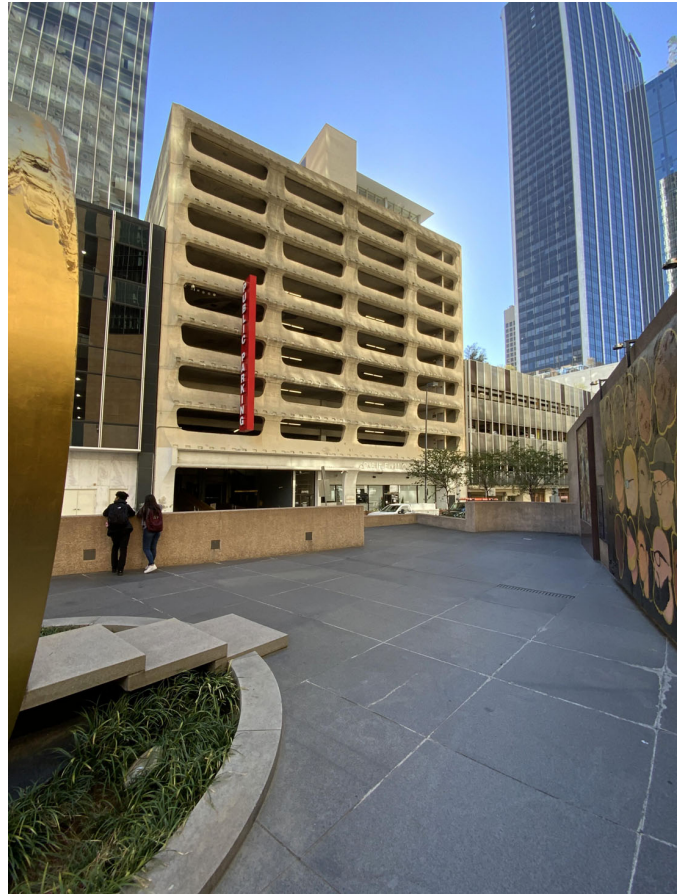
**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

# INTENSIVE-LEVEL FORM

1510 PACIFIC AVE

HHM ID No. 116720



## IDENTIFICATION

Address 1510 PACIFIC AVE

Legal Description BLK 120/75 LTS 17 & 23 ACS 0.2300  
0075 120 01700 7DA0075 120  
INT201600356445 DD12212016 CO-DC  
SMITH MURPHY & MARTIN  
CAD Parcel ID 7501200170000

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Parking garage  
Form/Plan Two-part vertical block

Current Use Commercial  
Historic Use Commercial

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Brutalist  
No. Stories 9  
Ground-Level Bays 2

Exterior Material(s) Concrete, Brick  
Exterior Features Open bays  
Upper-Level Bays 4

## ROOF

Roof Form/Type Flat  
Roof Materials Asphalt  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features N/A  
Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	TOWER PARKING GARAGE/CAFE MOMENTUM	Historic Name	
Year Built	1967	Architect	Harrell and Hamilton, T. Y. Lin and Associates (engineering)
Source Year Built	DCAD 2021	Builder	Manhattan Construction Co.
Associated Historic Context Theme(s)	Architecture		
Historical Sources	Dallas Morning News, Aug. 22, 1965		

**INTEGRITY**

Alterations	Storefront altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Noncontributing to NR district
Designation Name(s)	Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Within district	Recommendation	Individually eligible, Update previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	C
		Area of Significance	Architecture, Engineering

## INTENSIVE-LEVEL FORM

**1600 PACIFIC AVE**

HHM ID No. 117639



### IDENTIFICATION

Address 1600 PACIFIC AVE

Legal Description ACS 0.6887 UNIT H CE%39.41 25-27  
1600 PACIFIC MASTER  
CONDOMINIUMS 0075 120 01300  
1DA0075 120 BLK 120/75 LTS 13-15  
INT201400107263 DD04242014 CO-DC  
0

City Council District District 14

CAD Parcel ID

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Two-part vertical block

Current Use Residential  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) International  
No. Stories 33  
Ground-Level Bays 5

Exterior Material(s) Metal, Glass (curtain wall)  
Exterior Features Vertical tower atop square base  
Upper-Level Bays Multiple

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Multiple entrances  
Door Material(s) Metal  
Door Features Transoms  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	1600 Pacific Tower	Historic Name	LTV Tower, National Bank of Commerce Building
Year Built	1964	Architect	Harwood K. Smith (Dallas) and Dales Young Foster (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Banking and finance		
Historical Sources	<a href="https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/1600pacific.htm">https://dallaslibrary2.org/dallashistory/photogallery/downtownliving/1600pacific.htm</a>		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to NR district
Designation Name(s)	Dallas Downtown Historic District (amendment for building)

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Within district	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	Harwood/Downtown Expansion	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Commerce, Economics, Architecture



# INTENSIVE-LEVEL FORM

1627 PACIFIC AVE

HHM ID No. 116726



## IDENTIFICATION

Address	1627 PACIFIC AVE	Legal Description	
City Council District	District 14	CAD Parcel ID	110720000000

## CLASSIFICATION

Resource Type	Site	Current Use	Recreational
Property Type	Park	Historic Use	Recreational
Form/Plan	N/A		

## ARCHITECTURAL DETAILS

Stylistic Influence(s)	Modern	Exterior Material(s)	Marble, Concrete
No. Stories	N/A	Exterior Features	N/A
Ground-Level Bays	N/A	Upper-Level Bays	N/A

## ROOF

Roof Form/Type	N/A
Roof Materials	N/A
Parapet	N/A

## DOORS AND WINDOWS

Door Type(s)	N/A
Door Material(s)	N/A
Door Features	N/A
Storefront	N/A
Window type(s)	N/A

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	Chapel, Bell tower, Ring of Thanks, Court of All Nations, Mosaic, Center Court of Praise, Grove and Wall of Presidents	Window Material(s)	N/A
Landscape Features	Sunken garden, Water features and fountains		

**HISTORY**

Current Name	Thanksgiving Square	Historic Name	Thanksgiving Square
Year Built	1973	Architect	Philip Johnson (NYC)
Source Year Built	Park website	Builder	
Associated Historic Context Theme(s)	Plazas and parks, Urban renewal		
Historical Sources	<a href="https://thanksgiving.org/wp-content/uploads/2017/11/TGS_Guide_English.pdf">https://thanksgiving.org/wp-content/uploads/2017/11/TGS_Guide_English.pdf</a>		

**INTEGRITY**

Alterations	Intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C, Criteria Consideration G
Area of Significance	Community Planning and Development, Landscape Architecture

# INTENSIVE-LEVEL FORM

1900 PACIFIC AVE

HHM ID No. 117128



## IDENTIFICATION

Address	1900 PACIFIC AVE	Legal Description	0094 000 00100 1DA0094 000 INT201600175892 DD06292016 CO-DC BLK 94 TR 1 ACS 0.508 CE%59.4 ST ELM MASTER CONDO JURIS SPLIT 00C77140REST95000
City Council District	District 14	CAD Parcel ID	0

## CLASSIFICATION

Resource Type	Building	Current Use	Residential
Property Type	Office	Historic Use	Commercial
Form/Plan	Two-part vertical block		

## ARCHITECTURAL DETAILS

Stylistic Influence(s)	Mid-century Modern	Exterior Material(s)	Curtain wall, Brick, Marble
No. Stories	17	Exterior Features	Black stone base, Corner ribbon windows with pilasters
Ground-Level Bays	3	Upper-Level Bays	8

## ROOF

Roof Form/Type	Flat with spire
Roof Materials	Not visible
Parapet	N/A

## DOORS AND WINDOWS

Door Type(s)	Multiple entrances
Door Material(s)	Metal
Door Features	N/A
Storefront	Recessed, Flush
Window type(s)	Single-hung, Awning, Fixed
Window Material(s)	Metal

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	N/A
Landscape Features	N/A

**HISTORY**

Current Name	Corrigan Tower, 1900 Pacific	Historic Name	Corrigan Tower
Year Built	1952	Architect	Wyatt C. Hedrick (Fort Worth)
Source Year Built	NR nomination	Builder	
Associated People	Leo Corrigan, Sr. - real estate developer		
Associated Historic Context Theme(s)	Modernism and Postmodernism		

**INTEGRITY**

Alterations	Windows replaced and building rehabbed per NPS standards (2018)	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Noncontributing to local district; Contributing to NR district
Designation Name(s)	Harwood Historic District; Dallas Downtown Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Update previous district designation	Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

309 S PEARL EXPY

HHM ID No. 117875



### IDENTIFICATION

Address 309 S PEARL EXPY

Legal Description VOL96247/1524 DD121396 CO-DALLAS  
BLK 30/128 LTS 1-3 RAILROAD 0128  
030 00100 1000128 030  
CAD Parcel ID 102622000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Lodge  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Social

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Classical Revival  
No. Stories 2, 3

Exterior Material(s) Brick, Cast stone, Concrete  
Exterior Features Symmetrical brick building with  
Classical Revival ornamentation at  
parapet and belt course

Ground-Level Bays 5

Upper-Level Bays 5

### ROOF

Roof Form/Type Flat with parapet  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance,  
Multiple entrances  
Door Material(s) Wood  
Door Features Transom, Portico  
Storefront Inset, Angled  
Window type(s) Fixed  
Window Material(s) Wood  
Window Features Stone surrounds

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A



**HISTORY**

Current Name	BALLET DALLAS	Historic Name	Odd Fellows' Hall, Lodge No. 44 I.O.O.F
Year Built	1924	Architect	Arthur A. Brown (Dallas)
Source Year Built	DCAD 2021	Builder	Stearman and Son (Dallas)
Associated Historic Context Theme(s)	Social clubs		
Historical Sources	"Odd Fellows Lay Home Corner Stone," Dallas Morning News, May 19, 1924, 12.		

**INTEGRITY**

Alterations	All windows replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Social History, Architecture

# INTENSIVE-LEVEL FORM

1722 PEARL ST

HMM ID No. 116377



## IDENTIFICATION

Address 1722 PEARL ST

Legal Description NE CORNER ROSS & N PEARL 0530 000  
00100 1000530 000 BLK 530  
INT202000097409 DD04092020 CO-DC  
TR 1 ACS 0.5502  
CAD Parcel ID 112636000000

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Church  
Form/Plan Cruciform

Current Use Religious  
Historic Use Religious

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Gothic Revival  
No. Stories 2 primary with 4 story tower

Exterior Material(s) Brick, Stone  
Exterior Features Engaged buttresses, Stepped brick  
dentils along roofline

Ground-Level Bays 0

Upper-Level Bays Varied

## ROOF

Roof Form/Type Cross-gabled  
Roof Materials Red shingles  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Stained glass Transoms, Sidelights

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

Storefront  
Window type(s) Fixed, Rose window  
Window Material(s) Stained Glass  
Window Features Gothic Arch

**HISTORY**

Current Name	CATHEDRAL GUADALUPE	Historic Name	CATHEDRAL GUADALUPE
Year Built	1898	Architect	Nicholas Clayton (Galveston)
Source Year Built	Corner Stone	Builder	
Historical Significance	Combined historic Sacred Heart Cathedral with Lady of Guadalupe Parish in Little Mexico (around 1960)		
Associated Historic Context Theme(s)	Religious		
Historical Sources	<a href="https://www.aiadallas.org/v/columns-detail/Beliefs-That-Bind-Religion-s-Role-in-Shaping-Dallas-Communities/107/">https://www.aiadallas.org/v/columns-detail/Beliefs-That-Bind-Religion-s-Role-in-Shaping-Dallas-Communities/107/</a>		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	Addition to East, date unknown, Bell tower and steeples added 2005		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	C, Criteria Consideration A
Area of Significance	Architecture

## INTENSIVE-LEVEL FORM

211 N RECORD ST

HHM ID No. 116957



### IDENTIFICATION

Address 211 N RECORD ST

Legal Description 0021 014 01A00 7DA0021 014  
INT201500316202 DD11302015 CO-DC  
501 ELM ADDITION BLK 14/21 LT 1A  
ACS 0.6966  
CAD Parcel ID 0

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Enframed Block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Italianate, Sullivanesque  
No. Stories 7  
Ground-Level Bays 5

Exterior Material(s) Brick  
Exterior Features Decorative cornice, Capped pilasters  
Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Corner entrance, Double door(s)  
primary entrance  
Door Material(s) Wood  
Door Features Transoms, Sidelights  
Storefront Flush  
Window type(s) Single-hung  
Window Material(s) Wood  
Window Features Inset panels below sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps

**HISTORY**

Current Name	211 N RECORD ST;211 N RECORD ST,WEST END PUB MORTONS STEAKHOUSE	Historic Name	John Deere, Dal-Tex Building, Kingman-Texas Building
Year Built	1903	Architect	James P. Hubbell and Herbert Miller Greene (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Distribution and warehousing; JFK assassination		

**INTEGRITY**

Alterations	Windows replaced	Relocation	N/A
Additions	Annex (1904)		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation	Recommendation	Individually eligible, Maintain previous district listings
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	Contributing	Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	A, C
		Area of Significance	Industry, Politics, Architecture



## INTENSIVE-LEVEL FORM

**211 N RECORD ST**

HHM ID No. 116768



### IDENTIFICATION

Address 211 N RECORD ST

Legal Description 0021 014 01A00 7DA0021 014  
INT201500316202 DD11302015 CO-DC  
501 ELM ADDITION BLK 14/21 LT 1A  
ACS 0.6966  
CAD Parcel ID 0

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Warehouse  
Form/Plan Three-part vertical block

Current Use Commercial  
Historic Use Commercial, Industrial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Richardsonian Romanesque  
No. Stories 5  
Ground-Level Bays 5

Exterior Material(s) Brick  
Exterior Features Decorative brickwork  
Upper-Level Bays 5

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Flat

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features Sidelights, Transoms  
Storefront Recessed  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features Arched

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Elevated platform

**HISTORY**

Current Name	211 N RECORD ST;211 N RECORD ST, WEST END PUB MORTONS STEAKHOUSE	Historic Name	John Deere Plow Co. Agricultural Implements, Kingman-Texas Building
Year Built	1903	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Industry - Agricultural equipment		

**INTEGRITY**

Alterations	All windows replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local, NR, and NHL districts
Designation Name(s)	West End Historic District (local and NRHP); Dealey Plaza Historic District

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listings
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture

## INTENSIVE-LEVEL FORM

**705 ROSS AVE**

HHM ID No. 116717



### IDENTIFICATION

Address 705 ROSS AVE

Legal Description ORIGINAL TOWN OF DALLAS & LTS 7 & 8 ACS 0.2387 INT200600168243 DD05042006 CO-DC BLK 46/37 PT LTS 2 0037 046 00200 1000037 046 6 3 CAD Parcel ID 100195000000

City Council District District 14

### CLASSIFICATION

Resource Type Building  
Property Type Jail  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Italianate  
No. Stories 2

Exterior Material(s) Brick, Stone  
Exterior Features Pilasters, Cornice, Insets below windows

Ground-Level Bays 3

Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Wood  
Door Features Pediment  
Storefront N/A  
Window type(s) Double-hung  
Window Material(s) Wood  
Window Features Segmental arch lintels

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps from sidewalk

**HISTORY**

Current Name	PC./MULTI TENANT,MILEY & BROWN	Historic Name	Old City Jail
Year Built	1908	Architect	H. A. Overbeck (Dallas)
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Municipal and county governments		

**INTEGRITY**

Alterations	Doors replaced	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	Contributing to local and NR districts
Designation Name(s)	West End Historic District (local and NRHP)

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Maintain previous district designation
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Maintain previous district listing
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Government, Architecture

## INTENSIVE-LEVEL FORM

**1807 ROSS AVE**

HHM ID No. 116941



### IDENTIFICATION

Address	1807 ROSS AVE	Legal Description	HUNT OIL INT200600308726 DD08222006 CO-DC BLK A/519 LT 2 ACS 2.8779 0518 000 00100 1DA0518 000
City Council District	District 14	CAD Parcel ID	0

### CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Office	Historic Use	Commercial
Form/Plan	Massed vertical block, L-plan		

### ARCHITECTURAL DETAILS

Stylistic Influence(s)	Mid-century Modern	Exterior Material(s)	Stone, Glass, Metal
No. Stories	6 with basement	Exterior Features	L-shaped building with white marble building atop granite base with aluminum screens
Ground-Level Bays	Varied	Upper-Level Bays	Varied

### ROOF

Roof Form/Type	Flat
Roof Materials	Not visible
Parapet	N/A

### DOORS AND WINDOWS

Door Type(s)	Multiple, Double door
Door Material(s)	Metal
Door Features	Transoms
Storefront	Recessed
Window type(s)	Fixed
Window Material(s)	Metal
Window Features	Spandrels, Screens

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	N/A
Landscape Features	Lawn, Trees, Water feature, Walkways in courtyard



**HISTORY**

Current Name	1807 ROSS	Historic Name	Southwestern Life Insurance Company
Year Built	1964	Architect	George Dahl
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Commerce, Banking and finance		
Historical Sources	"Southwestern Life Schedules Open House," <i>Dallas Morning News</i> , Oct. 18, 1964, p. 1.		

**INTEGRITY**

Alterations	Garden courtyard altered	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Commerce, Architecture

# INTENSIVE-LEVEL FORM

1928 ROSS AVE

HHM ID No. 116329



## IDENTIFICATION

Address 1928 ROSS AVE

Legal Description BLK A/242 LT 1A ACS 1.7457 FIRST  
UNITED METHODIST CHURCH 2  
VOL2000233/4884 DD11302000 CO-DC  
0242 00A 00100 7DA0242 00A  
CAD Parcel ID 0

City Council District District 14

## CLASSIFICATION

Resource Type Building  
Property Type Church  
Form/Plan Cruciform (Main Sanctuary), H-Plan  
(with educational building)

Current Use Religious  
Historic Use Religious

## ARCHITECTURAL DETAILS

Stylistic Influence(s) Gothic Revival  
No. Stories 3

Exterior Material(s) Brick, Terra cotta  
Exterior Features Belt course, Decorative terra cotta,  
Engaged buttresses

Ground-Level Bays Varied

Upper-Level Bays Varied

## ROOF

Roof Form/Type Cross-gabled, Bell tower  
Roof Materials Asphalt shingles  
Parapet N/A

## DOORS AND WINDOWS

Door Type(s) Three sets of double doors, primary  
entrance  
Door Material(s) Wood  
Door Features Decorative terra cotta surround  
Storefront N/A  
Window type(s) Fixed  
Window Material(s) Stained Glass

## ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Free-standing lights, Stairs to main  
entrance

Window Features Surrounds, Decorative terra cotta

**HISTORY**

Current Name	FIRST UNITED METHODIST CHURCH	Historic Name	FIRST UNITED METHODIST CHURCH
Year Built	1921	Architect	Herbert M. Greene (Dallas)
Source Year Built	Dallas Morning News, May 7, 1921	Builder	
Associated Historic Context Theme(s)	Religion		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	2 rear additions, approximate dates 1960s, 2000s		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS****NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Local landmark	Recommendation	Individually eligible
Justification	Possesses integrity and significance	Justification	Possesses integrity and significance
Potential District Name	N/A	Potential District Name	N/A
Status (N/C)	N/A	Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect	Criteria	C, Criteria Consideration A
		Area of Significance	Architecture

## INTENSIVE-LEVEL FORM

**210 S WALTON ST**

HHM ID No. 119370



### IDENTIFICATION

Address 210 S WALTON ST

Legal Description CROWDUS & AKARD 0200 020 00700  
1000200 020 INT201400261718  
DD10102014 CO-DC BLK 20/200 LT 7  
REAR OR N 50 FT WALTON ST  
CAD Parcel ID 104209000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Store  
Form/Plan Two-part commercial block

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Commercial  
No. Stories 2

Exterior Material(s) Brick  
Exterior Features Decorative brickwork at corners,  
around storefront, and at windows;  
Decorate panels at parapet

Ground-Level Bays 2

Upper-Level Bays 3

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet Stepped

### DOORS AND WINDOWS

Door Type(s) Single door(s) primary entrance  
Door Material(s) Wood  
Door Features Transoms  
Storefront Flush  
Window type(s) Double-hung  
Window Material(s) Wood  
Window Features Brick lintels and sills

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features N/A

**HISTORY**

Current Name	KUSTOM SHOP	Historic Name	
Year Built	1935	Architect	
Source Year Built	DCAD 2021	Builder	
Associated Historic Context Theme(s)	Commerce		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	History, heritage and culture; Architecture; Historic context

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Commerce, Architecture



## INTENSIVE-LEVEL FORM

508 YOUNG ST

HHM ID No. 117264



### IDENTIFICATION

Address 508 YOUNG ST

Legal Description YOUNG & HOUSTON 343 345&426 TR  
1 ACS 8.0332 INT201900127888  
DD05172019 CO-DC 58/36 BLKS 59/26  
0026 059 00100 1DA0026 059 344  
CAD Parcel ID 100129000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Office  
Form/Plan Rectangular

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Art Deco, Mid-century Modern  
No. Stories 3  
Ground-Level Bays 9

Exterior Material(s) Stone  
Exterior Features Smooth stone punctuated by windows  
Upper-Level Bays Varied

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance,  
Recessed entrance  
Door Material(s) Metal  
Door Features N/A  
Storefront N/A  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Steps

**HISTORY**

Current Name	Dallas Morning News Building	Historic Name	Dallas Morning News Building
Year Built	1947	Architect	George Dahl (Dallas)
Source Year Built	DCAD 2021	Builder	
Historical Significance	Communications, Architecture		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	Multiple additions		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Communications, Architecture

## INTENSIVE-LEVEL FORM

606 YOUNG ST

HHM ID No. 117257



### IDENTIFICATION

Address 606 YOUNG ST

Legal Description 70/344 TR 1.1 ACS 1.935 BLKS 58/36  
0026 059 00101 1000026 059  
INT20080330751 DD10012008 CO-DC  
CAD Parcel ID 100129000100

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type Television and radio station  
Form/Plan Rectangular

Current Use Commercial  
Historic Use Commercial

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Mid-century Modern  
No. Stories 1

Exterior Material(s) Stucco, Brick  
Exterior Features Linear building with zig-zag roof and undulating canopy

Ground-Level Bays Varied

Upper-Level Bays Varied

### ROOF

Roof Form/Type Flat, Zig-zag  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Double door(s) primary entrance  
Door Material(s) Metal  
Door Features Transoms, Sidelights  
Storefront Flush  
Window type(s) Fixed  
Window Material(s) Metal  
Window Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings Broadcasting tower on roof  
Landscape Features N/A

**HISTORY**

Current Name	WFAA 8 Building	Historic Name	WFAA Building
Year Built	1961	Architect	George Dahl (Dallas)
Source Year Built	DCAD 2021	Builder	
Historical Significance	Largest custom-built broadcasting facility for an individual station in country when completed		

**INTEGRITY**

Alterations	Historic sign removed	Relocation	N/A
Additions	Second story to front portion		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C
Area of Significance	Communications, Architecture

## INTENSIVE-LEVEL FORM

**1400 YOUNG ST**

HHM ID No. 117220



### IDENTIFICATION

Address 1400 YOUNG ST

Legal Description TUBERVILLE BLK D/81 82 83 E/87 88  
1/89 ACS 14.7073 CALC 0081 000  
00100 1000081 000  
CAD Parcel ID 101154000000

City Council District District 2

### CLASSIFICATION

Resource Type Building  
Property Type City hall  
Form/Plan Inverted pyramid

Current Use Governmental  
Historic Use Governmental

### ARCHITECTURAL DETAILS

Stylistic Influence(s) Brutalist  
No. Stories 6

Exterior Material(s) Cast-in-place concrete  
Exterior Features Cantilevered, 3 cylindrical pillars  
(stairwells)

Ground-Level Bays 6

Upper-Level Bays 6

### ROOF

Roof Form/Type Flat  
Roof Materials Not visible  
Parapet N/A

### DOORS AND WINDOWS

Door Type(s) Recessed entrance  
Door Material(s) Metal  
Door Features N/A

### ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings N/A  
Landscape Features Park Plaza in front with reflecting  
pool and fountain, Flagpoles,  
Landscaping (red oaks and live oaks),  
Steps

Storefront N/A  
Window type(s) Fixed  
Window Material(s) Metal

Window Features Inset



**HISTORY**

Current Name	Dallas City Hall	Historic Name	Dallas City Hall
Year Built	1978	Architect	I. M. Pei and Theodore Musho (NYC); Myrick, Newberg, Dahlberg and Parnters (plaza); Marta Pan (sculpture)
Source Year Built	City	Builder	Robert E. McKee
Associated Historic Context Theme(s)	Municipal and county governments; Modernism and Postmodernism		

**INTEGRITY**

Alterations	Exterior intact	Relocation	N/A
Additions	N/A		

**PRIOR DOCUMENTATION**

Designation(s)	N/A
Designation Name(s)	N/A

**LOCAL RECOMMENDATIONS**

Recommendation	Local landmark
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	History, heritage and culture; Architecture; Historic context; Architect

**NATIONAL REGISTER (NRHP) RECOMMENDATIONS**

Recommendation	Individually eligible
Justification	Possesses integrity and significance
Potential District Name	N/A
Status (N/C)	N/A
Criteria	A, C, Criteria Consideration G
Area of Significance	Government, Architecture

## APPENDIX D – CONTACT SHEETS



333 1ST AVE



417 1ST AVE



502 1ST AVE



409-413 S 2ND AVE



429 S 2ND AVE



501 S 2ND AVE A



501 S 2ND AVE B



501 S 2ND AVE C



501 S 2ND AVE D



501 S 2ND AVE E



501 S 2ND AVE F



502 S 2ND AVE



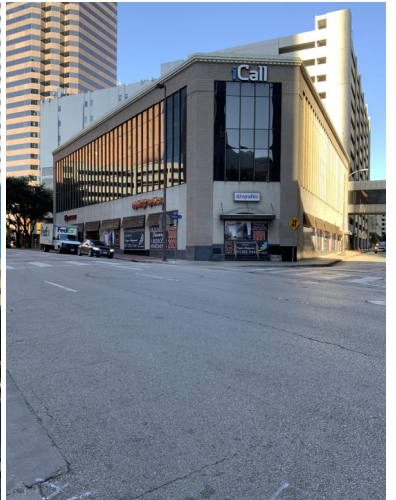
208 N AKARD ST



318 N AKARD ST



318 N AKARD ST



400 N AKARD ST





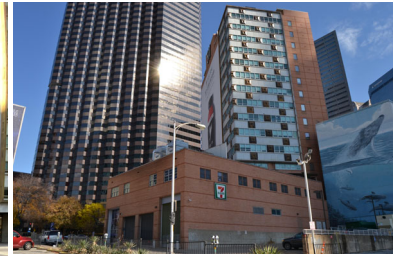
411 N AKARD ST



500 N AKARD ST



505 N AKARD ST



511 N AKARD ST



1717 N AKARD ST



1818 N AKARD ST



1900 N AKARD ST



1901 N AKARD ST



208 S AKARD ST



211 S AKARD ST



301 S AKARD ST



308 S AKARD ST





308 S AKARD ST



311 S AKARD ST



400 S AKARD ST



519 S AKARD ST



633 S AKARD ST



811 S AKARD ST



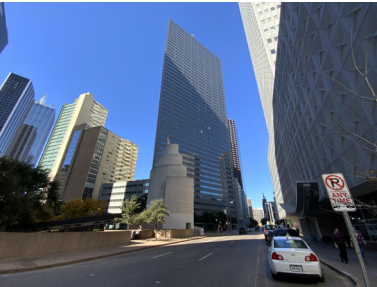
816 S AKARD ST



1202 S AKARD ST



2700 ANN WILLIAMS WAY



1601 BRYAN ST



1917 BRYAN ST



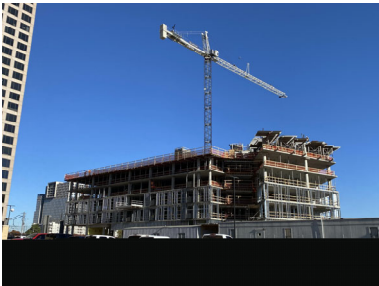
1999 BRYAN ST



2001 BRYAN ST



2101 BRYAN ST



2214 BRYAN ST



2218 BRYAN ST





2323 BRYAN ST



509 BULLINGTON ST



1508 CADIZ ST



1822 CADIZ ST



1823 CADIZ ST



2018 CADIZ ST A



2018 CADIZ ST B



2021 CADIZ ST



600 CANTEGRAL ST



606 CANTEGRAL ST



1908 CANTON ST



1701 CANTON ST



1808 CANTON ST



1820 CANTON ST



2110 CANTON ST



2210 CANTON ST





2220 CANTON ST



2410 CANTON ST



2425 CANTON ST



2700 CANTON ST



2701 CANTON ST



2713 CANTON ST



2805 CANTON ST



2809 CANTON ST



2810 CANTON ST



2811 CANTON ST



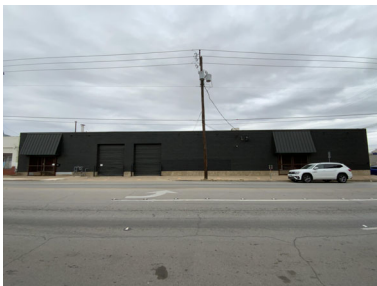
2814 CANTON ST



2824 CANTON ST



2824 CANTON ST



2825 CANTON ST



2900 CANTON ST



2909 CANTON ST



2913 CANTON ST



2917 CANTON ST



2919 CANTON ST



2921 CANTON ST





3001 CANTON ST



3002 CANTON ST



3004 CANTON ST



3005 CANTON ST



3007 CANTON ST



3008 CANTON ST



3009 CANTON ST



3012 CANTON ST



3013 CANTON ST



3020 CANTON ST



3030 CANTON ST



3035 CANTON ST



3111 CANTON ST



3209 CANTON ST



3215 CANTON ST



3215 CANTON ST



3713 CANTON ST



3720 CANTON ST



2205, 2215, 2225 CANTON ST



315 S CESAR CHAVEZ BLVD





400 S CESAR CHAVEZ BLVD A



400 S CESAR CHAVEZ BLVD B



400 S CESAR CHAVEZ BLVD C



400 S CESAR CHAVEZ BLVD D



1110 S CESAR CHAVEZ BLVD



1611 CHESTNUT ST



2216 CITY MARKET LN



600 COMMERCE ST



701 COMMERCE ST



804 COMMERCE ST



1000 COMMERCE ST



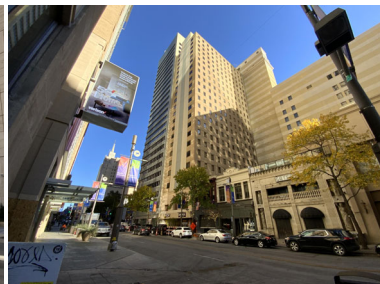
1100 COMMERCE ST



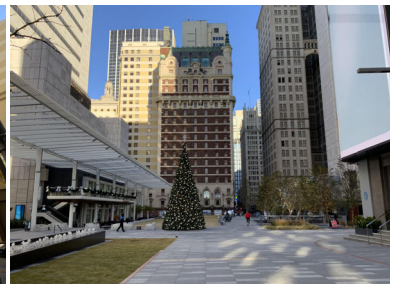
1222 COMMERCE ST



1301 COMMERCE ST



1315 COMMERCE ST



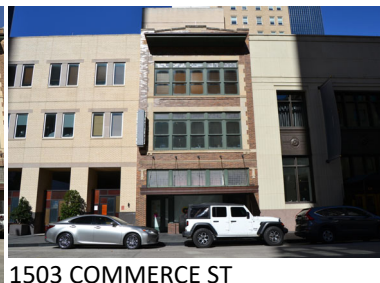
1321 COMMERCE ST



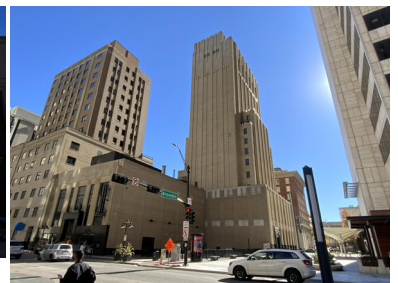
1401 COMMERCE ST



1501 COMMERCE ST



1503 COMMERCE ST



1506 COMMERCE ST





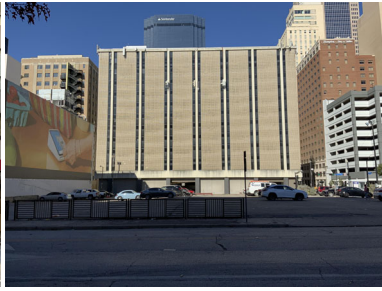
1511 COMMERCE ST



1512 COMMERCE ST



1525 COMMERCE ST



1600 COMMERCE ST



1603 COMMERCE ST



1700 COMMERCE ST



1712 COMMERCE ST



1810 COMMERCE ST



1914 COMMERCE ST



1954 COMMERCE ST



2008 COMMERCE ST



2009 COMMERCE ST



2012 COMMERCE ST



2015 COMMERCE ST



2024 COMMERCE ST



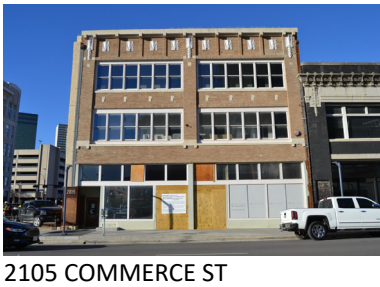
2026 COMMERCE ST



2036 COMMERCE ST



2038 COMMERCE ST



2105 COMMERCE ST



2109 COMMERCE ST





2112 COMMERCE ST



2116 COMMERCE ST



2117 COMMERCE ST



2201 COMMERCE ST



2204 COMMERCE ST



2207 COMMERCE ST



2210 COMMERCE ST



2210 COMMERCE ST



2211 COMMERCE ST



2215 COMMERCE ST



2216 COMMERCE ST



2612 COMMERCE ST



2615 COMMERCE ST



2616 COMMERCE ST



2622, 2624 COMMERCE ST



2623 COMMERCE ST



2630 COMMERCE ST



2633 COMMERCE ST



2645 COMMERCE ST



2651 COMMERCE ST





2653 COMMERCE ST



2700 COMMERCE ST



2713 COMMERCE ST



2724 COMMERCE ST



2730 COMMERCE ST



2800 COMMERCE ST



2801 COMMERCE ST



2808 COMMERCE ST



2809 COMMERCE ST



2813 COMMERCE ST



2815 COMMERCE ST



2816 COMMERCE ST



2819 COMMERCE ST



2820 COMMERCE ST



2825 COMMERCE ST



2901 COMMERCE ST





2904 COMMERCE ST



2910 COMMERCE ST



2914 COMMERCE ST



2919 COMMERCE ST



2919 COMMERCE ST



2921 COMMERCE ST



2923 COMMERCE ST



2933 COMMERCE ST



2940 COMMERCE ST



2952 COMMERCE ST



3000 COMMERCE ST



3003 COMMERCE ST



3004 COMMERCE ST



3005 COMMERCE ST



3008 COMMERCE ST



3009 COMMERCE ST



3012 COMMERCE ST



3014 COMMERCE ST



3017 COMMERCE ST



3018 COMMERCE ST





3022 COMMERCE ST



3023 & 3025 COMMERCE ST



3026 COMMERCE ST



3034 COMMERCE ST



3100 COMMERCE ST



3101 COMMERCE ST



3105 & 3107 COMMERCE ST



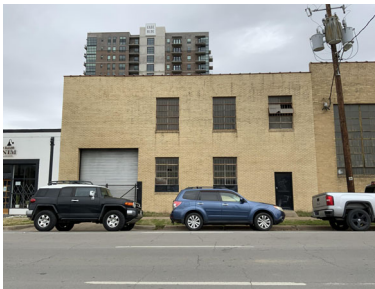
3106 COMMERCE ST



3116 COMMERCE ST



3116 COMMERCE ST



3117 COMMERCE ST



3117 COMMERCE ST



3117 COMMERCE ST



3200 COMMERCE ST



3201 COMMERCE ST



3208 COMMERCE ST





3221 COMMERCE ST



3300 COMMERCE ST



3333 COMMERCE ST



3400 COMMERCE ST



3401 COMMERCE ST



3435 COMMERCE ST



3500 COMMERCE ST



3506 COMMERCE ST



3600 COMMERCE ST



3612 COMMERCE ST



3709 COMMERCE ST



3710 COMMERCE ST



3712 COMMERCE ST



3712 COMMERCE ST



3800 COMMERCE ST A



3800 COMMERCE ST B



3815 COMMERCE ST



3816 COMMERCE ST



4003 COMMERCE ST



4003 COMMERCE ST





4008 COMMERCE ST



607 CORBIN ST



1818 CORSICANA ST A



1818 CORSICANA ST B



1818 CORSICANA ST C



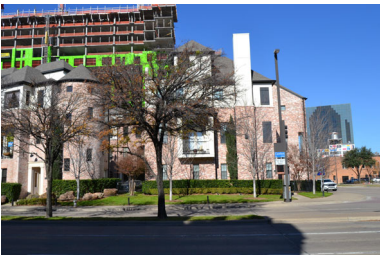
210 N CROWDUS ST



301 N CROWDUS ST



3131 DAWSON ST



2117 DIVERSEY ST



3809 EAST SIDE AVE



3815 EAST SIDE AVE



3905 EAST SIDE AVE



3933 EAST SIDE AVE



3990 EAST SIDE AVE



4000 EAST SIDE AVE



4001 EAST SIDE AVE



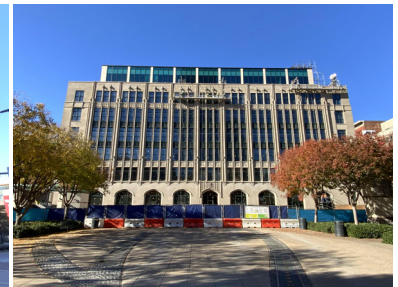
4010 EAST SIDE AVE



4023 EAST SIDE AVE



411 ELM ST



500 ELM ST





501 ELM ST



601 ELM ST



605 ELM ST



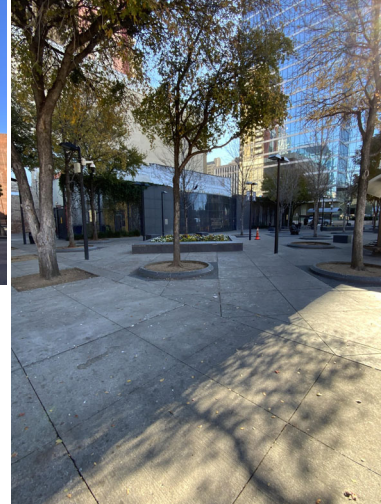
606 ELM ST



701 ELM ST



711 ELM ST



901 ELM ST



907 ELM ST



909 ELM ST



911 ELM ST



1015 ELM ST

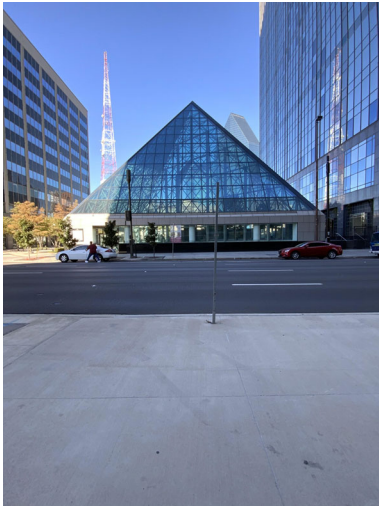


1025 ELM ST





1201 ELM ST



1201 ELM ST



1302 ELM ST



1401 ELM ST



1414 ELM ST



1502 ELM ST



1505 ELM ST



1512 ELM ST



1514 ELM ST



1516 ELM ST



1520 ELM ST



1601 ELM ST





1702 ELM ST



1900 ELM ST



1907 ELM ST



1920 ELM ST



1922 ELM ST



1925 ELM ST



1928 ELM ST



1933 ELM ST



2000 ELM ST



2202 ELM ST



2518 ELM ST



2525 ELM ST



2526 ELM ST



2528 ELM ST



2538 ELM ST



2540 ELM ST





2542 ELM ST



2544 ELM ST



2546 ELM ST



2548 ELM ST



2550 ELM ST



2551 ELM ST



2556 ELM ST



2605 ELM ST



2608 ELM ST



2609 ELM ST



2610 ELM ST



2614 ELM ST



2615 ELM ST



2618 ELM ST



2624 ELM ST



2625 ELM ST



2634 ELM ST



2638 ELM ST



2639 ELM ST



2640 ELM ST





2642 ELM ST



2644 ELM ST



2646 ELM ST



2650 ELM ST



2704 ELM ST



2704 ELM ST



2704 ELM ST



2707 ELM ST



2713 ELM ST



2713 ELM ST



2720 ELM ST



2721 ELM ST



2723 ELM ST



2724 ELM ST



2801 ELM ST



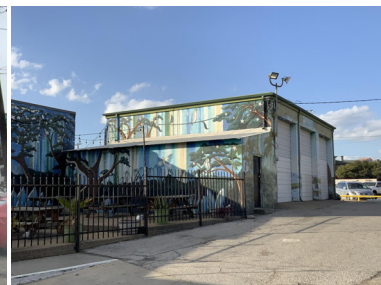
2807 ELM ST



2811 ELM ST



2812 ELM ST



2817 ELM ST



2822 ELM ST





2826 ELM ST



2901 ELM ST



2911 ELM ST



2912 ELM ST



2913 ELM ST



2917 ELM ST



2917 ELM ST



2920 ELM ST



2929 ELM ST



2931 ELM ST



2934 ELM ST



2935 ELM ST



2944 ELM ST



3000 ELM ST



3008 ELM ST



3009 ELM ST



3013 ELM ST



3015 ELM ST



3026 ELM ST

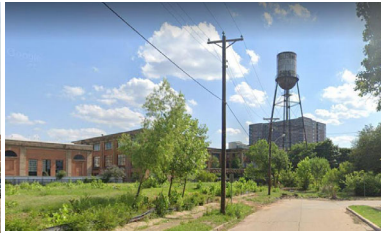


3036 ELM ST





3301 ELM ST



3309 ELM ST



3309 ELM ST



3311 ELM ST



3333 ELM ST



3410 ELM ST



3414 ELM ST



211 N ERVAY ST



400 N ERVAY ST



505 N ERVAY ST



606 N ERVAY ST



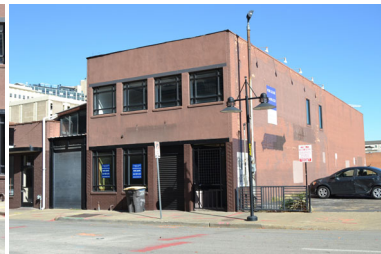
400 S ERVAY ST



416 S ERVAY ST



418 S ERVAY ST



420 S ERVAY ST



500 S ERVAY ST A





500 S ERVAY ST B



901 S ERVAY ST



904 S ERVAY ST



912 S ERVAY ST



1000 S ERVAY ST



110 EXPOSITION AVE



345 EXPOSITION AVE



401 EXPOSITION AVE



404 EXPOSITION AVE



408 EXPOSITION AVE



412 EXPOSITION AVE



451 EXPOSITION AVE



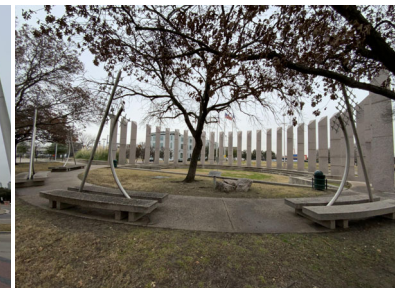
500 EXPOSITION AVE



507 EXPOSITION AVE



EXPOSITION AVE



EXPOSITION AVE





2021 FLORA ST



2350 FLORA ST



2400 FLORA ST



2400 FLORA ST



2403 FLORA ST



2501 FLORA ST



2707 FLORENCE ST



2711 FLORENCE ST



1700 FREEMAN ST



505 N GOOD LATIMER EXPY



606 N GOOD LATIMER EXPY



615 N GOOD LATIMER EXPY



624 N GOOD LATIMER EXPY



458 S GOOD LATIMER EXPY



500 S GOOD LATIMER EXPY



510 S GOOD LATIMER EXPY





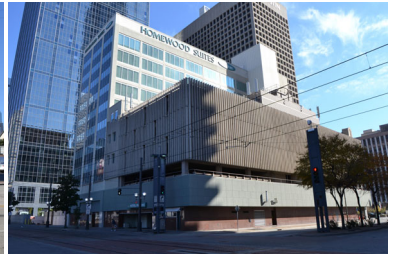
717 S GOOD LATIMER EXPY



720 S GOOD LATIMER EXPY



835 S GOOD LATIMER EXPY



200 N GRIFFIN ST



500 N GRIFFIN ST



660 N GRIFFIN ST



704 N GRIFFIN ST



706 N GRIFFIN ST



1708 N GRIFFIN ST



1801 N GRIFFIN ST



1909 N GRIFFIN ST



525 S GRIFFIN ST



210 N HALL ST



301 N HALL ST



309 N HALL ST



315 N HALL ST





111 S HALL ST



222 S HALL ST



333 S HALL ST



335 S HALL ST



400 S HALL ST



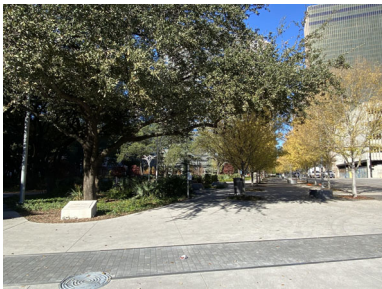
441 S HALL ST



514 S HALL ST



528 S HALL ST



401 N HARWOOD ST



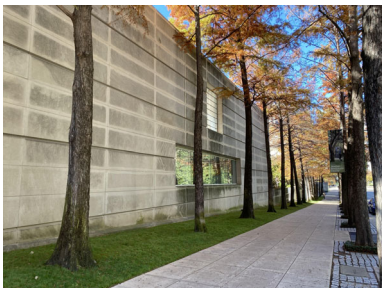
609 N HARWOOD ST



704 N HARWOOD ST



717 N HARWOOD ST



1811 N HARWOOD ST



301 S HARWOOD ST



301 S HARWOOD ST



312 S HARWOOD ST





407 S HARWOOD ST A



408 S HARWOOD ST



412 S HARWOOD ST



417 S HARWOOD ST



500 S HARWOOD ST



507 S HARWOOD ST



600 S HARWOOD ST



608 S HARWOOD ST



614 S HARWOOD ST



915 S HARWOOD ST



920 S HARWOOD ST A



920 S HARWOOD ST B



1011 S HARWOOD ST



1103 S HARWOOD ST



201 S HASKELL AVE



305 S HASKELL AVE



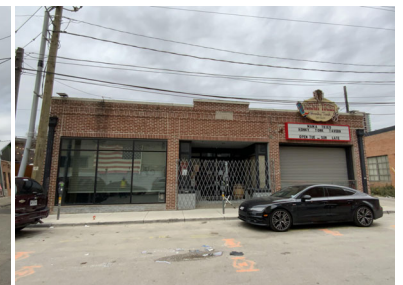
403 S HASKELL AVE



113 HASKELL AVE



404 HAWKINS ST



215 HENRY ST





3200 HICKORY ST



333 N HOUSTON ST



401 N HOUSTON ST



401 N HOUSTON ST



100 S HOUSTON ST



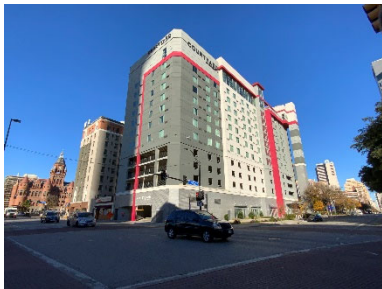
207 S HOUSTON ST



302 S HOUSTON ST



306 S HOUSTON ST



310 S HOUSTON ST



400 S HOUSTON ST



411 S HOUSTON ST



412 S HOUSTON ST



HOUSTON ST



HOUSTON ST



2810 INDIANA BLVD



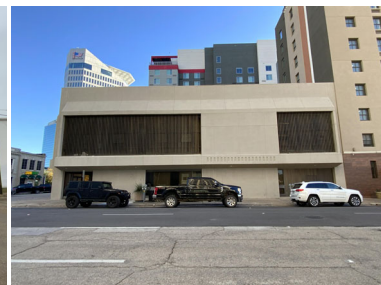
2901 INDIANA BLVD



3004 INDIANA BLVD



3027 INDIANA ST



512 JACKSON ST



600 JACKSON ST





800 JACKSON ST



801 JACKSON ST



900 JACKSON ST



1122 JACKSON ST



1201 JACKSON ST



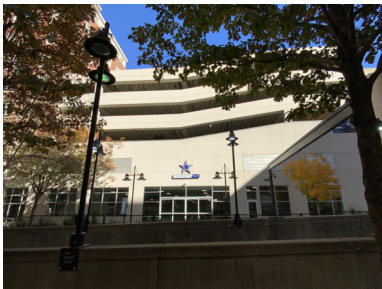
1212 JACKSON ST



1300 JACKSON ST



1500 JACKSON ST A



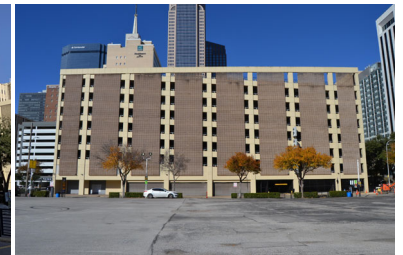
1500 JACKSON ST B



1517 JACKSON ST



1709 JACKSON ST



1810 JACKSON ST



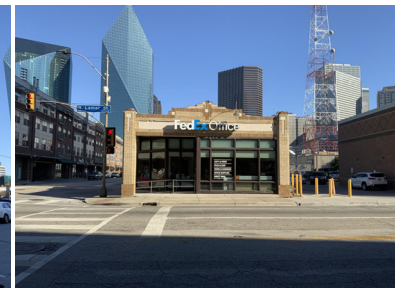
1900 JACKSON ST



2031 JACKSON ST



460 N LAMAR ST



460 N LAMAR ST



1800 N LAMAR ST



1801 N LAMAR ST



1907 N LAMAR ST



1911 N LAMAR ST





2001 N LAMAR ST



2019 N LAMAR ST



2020 N LAMAR ST



555 S LAMAR ST



555 S LAMAR ST



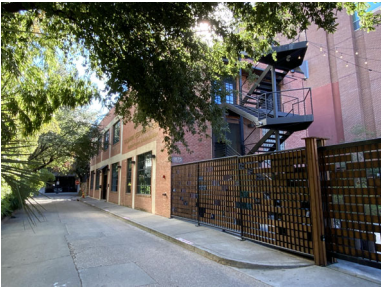
555 S LAMAR ST



804 S LAMAR ST



944 S LAMAR ST



1875 LAWS ST



717 LEONARD ST



2007 LIVE OAK ST



2020 LIVE OAK ST



2110 LIVE OAK ST



2117 LIVE OAK ST



2300 LIVE OAK ST



2502 LIVE OAK ST





2600 LIVE OAK ST



2627 LIVE OAK ST



2700 LIVE OAK ST



2708 LIVE OAK ST



2710 LIVE OAK ST



2720 LIVE OAK ST



2727 LIVE OAK ST



400 MAIN ST



500 MAIN ST



646 MAIN ST



705 MAIN ST



705 MAIN ST



706 MAIN ST



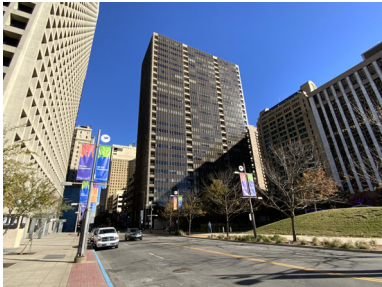
800 MAIN ST



901 MAIN ST



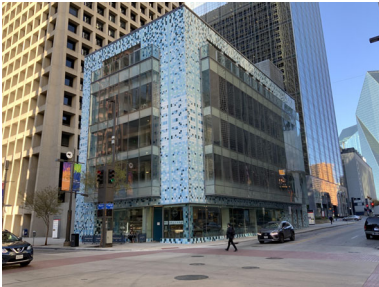
1014 MAIN ST



1200 MAIN ST



1201 MAIN ST



1217 MAIN ST



1301 MAIN ST





1309 MAIN ST



1400 MAIN ST



1400 MAIN ST



1402 MAIN ST



1404 MAIN ST



1407 MAIN ST



1412 MAIN ST



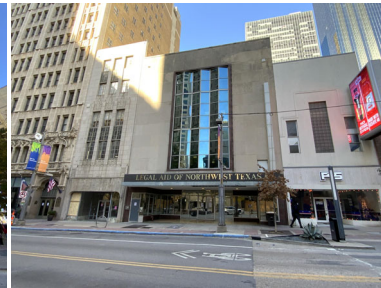
1415 MAIN ST



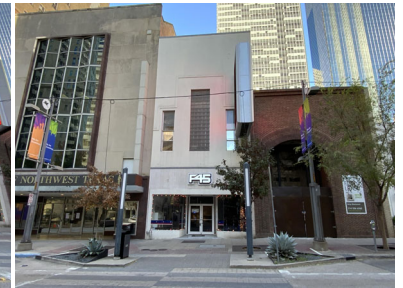
1500 MAIN ST



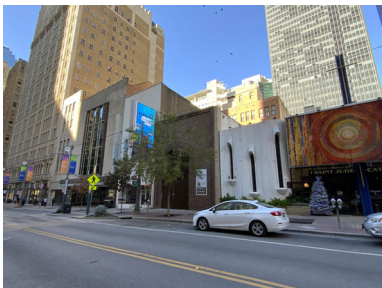
1509 MAIN ST



1515 MAIN ST



1517 MAIN ST



1519 MAIN ST



1520 MAIN ST

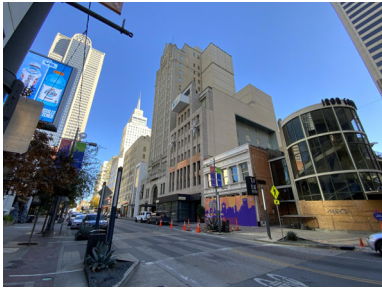


1521 MAIN ST



1525 MAIN ST





1530 MAIN ST



1600 MAIN ST



1601 MAIN ST



1604 MAIN ST



1608 MAIN ST



1615 MAIN ST



1623 MAIN ST



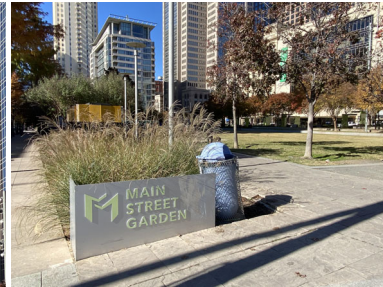
1704 MAIN ST



1717 MAIN ST



1808 MAIN ST



1906 MAIN ST



1915 MAIN ST



1933 MAIN ST



2030 MAIN ST



2106 MAIN ST



2107 MAIN ST





2121 MAIN ST



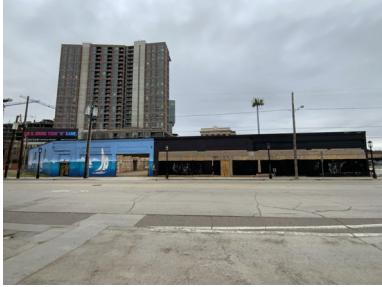
2200 MAIN ST



2201 MAIN ST



2214 MAIN ST



2509 MAIN ST



2600 MAIN ST



2612 MAIN ST



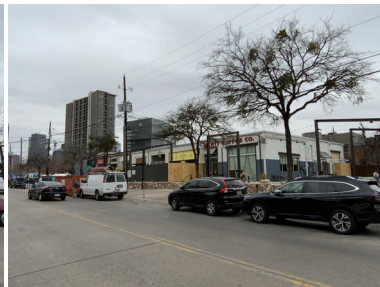
2616 MAIN ST



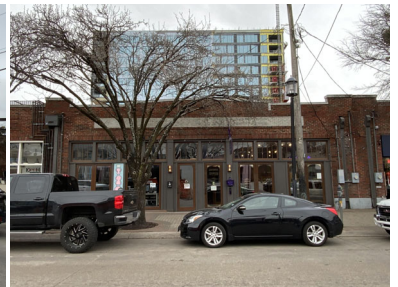
2622 MAIN ST



2642 MAIN ST



2647 MAIN ST



2650 MAIN ST



2650 MAIN ST



2656 MAIN ST



2701 MAIN ST



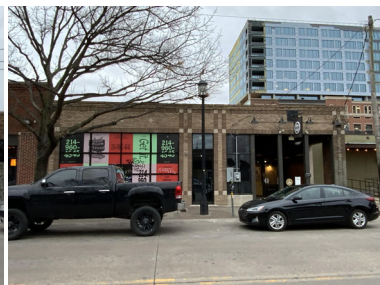
2701 MAIN ST



2702 MAIN ST



2707 MAIN ST



2708 MAIN ST



2712 MAIN ST

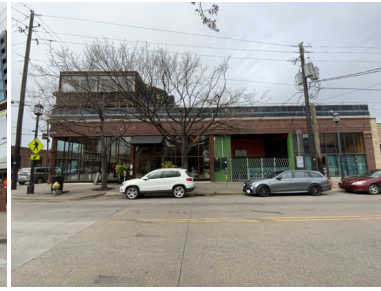




2715 MAIN ST



2800 MAIN ST



2803 MAIN ST



2809 MAIN ST



2810 MAIN ST



2814 MAIN ST



2815 MAIN ST



2816 MAIN ST



2820 MAIN ST



2823 MAIN ST



2823 MAIN ST



2824 MAIN ST



2900 MAIN ST



2911 MAIN ST



2924 MAIN ST



2933 MAIN ST



2939 MAIN ST



3000 MAIN ST



3004 MAIN ST



3010 MAIN ST





3011 MAIN ST



3013 MAIN ST



3014 MAIN ST



3015 MAIN ST



3025 MAIN ST



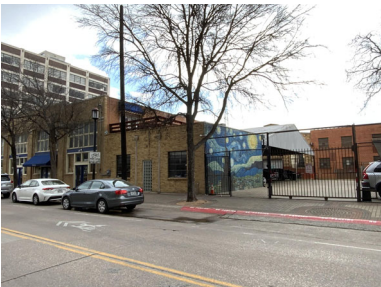
3033 MAIN ST



3100 MAIN ST



3104 MAIN ST



3112 MAIN ST



3116 MAIN ST



3131 MAIN ST



3200 MAIN ST



3210 MAIN ST



3300 MAIN ST



3400 MAIN ST



3401 MAIN ST



3404 MAIN ST



3407 MAIN ST



3409 MAIN ST



3417 MAIN ST





3418 MAIN ST



3600 MAIN ST



3601 MAIN ST



3800 MAIN ST



3904 MAIN ST



3912 MAIN ST



3922 MAIN ST



3930 MAIN ST



4008 MAIN ST



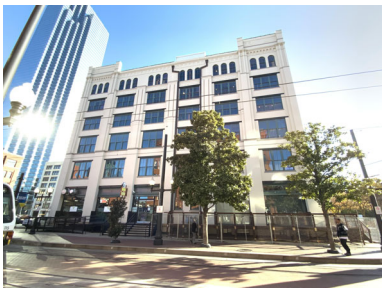
4020 MAIN ST



4024 MAIN ST



1722 MARILLA ST



208 N MARKET ST



301 N MARKET ST



302 N MARKET ST



311 N MARKET ST



1701 N MARKET ST



1709 N MARKET ST



1713 N MARKET ST



1802 N MARKET ST





1815 N MARKET ST



501 MEMORIAL DR



603 MUNGER AVE



910 N CENTRAL EXPY



443 OLIVE ST



708 OLIVE ST



720 OLIVE ST



1918 OLIVE ST



804 PACIFIC AVE



1201 PACIFIC AVE



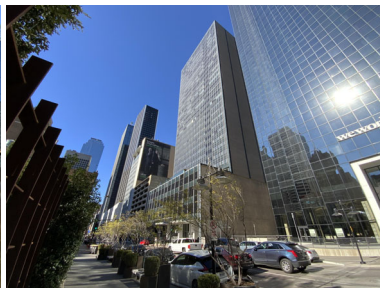
1307 PACIFIC AVE



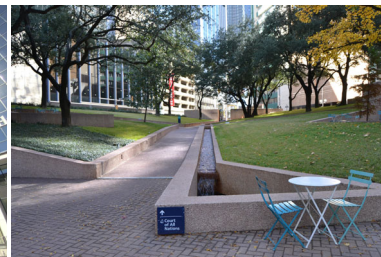
1401 PACIFIC AVE



1510 PACIFIC AVE



1600 PACIFIC AVE



1627 PACIFIC AVE



1900 PACIFIC AVE





1910 PACIFIC AVE



2441 PACIFIC AVE



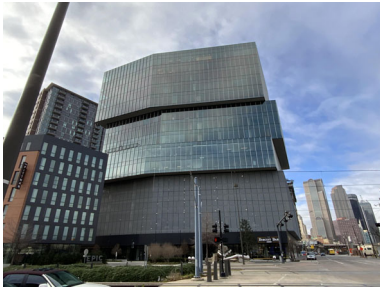
2501 PACIFIC AVE



2509 PACIFIC AVE



2515 PACIFIC AVE



2550 PACIFIC AVE



508 PARK AVE



515 PARK AVE



1109 PATTERSON AVE



1606 PATTERSON AVE



1800 N PEARL EXPY



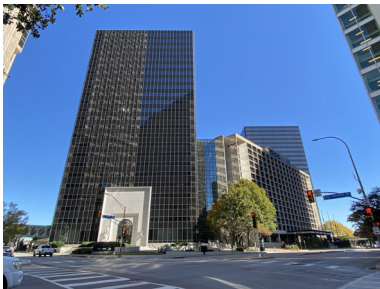
309 S PEARL EXPY



601 S PEARL EXPY



1014 S PEARL EXPY



600 N PEARL ST



1900 N PEARL ST





1010 S PEARL ST



1011 S PEARL ST



300 PEARL ST



538 PEARL ST



723 PEARL ST



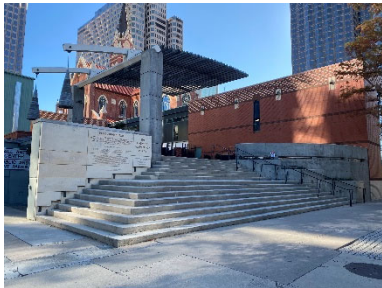
901 PEARL ST



1722 PEARL ST



1726 PEARL ST



2251 PEARL ST



200 POYDRAS ST



211 N RECORD ST



211 N RECORD ST



1777 N RECORD ST



304 S RECORD ST



306 S RECORD ST



400 S RECORD ST





300 REUNION BLVD



515 ROSS AVE



701 ROSS AVE



704 ROSS AVE



705 ROSS AVE



800 ROSS AVE



1001 ROSS AVE



1010 ROSS AVE



1200 ROSS AVE



1445 ROSS AVE



1447 ROSS AVE



1516 ROSS AVE





1806 ROSS AVE



1807 ROSS AVE



1928 ROSS AVE



2000 ROSS AVE



2001 ROSS AVE



2100 ROSS AVE



2101 ROSS AVE



2200 ROSS AVE



2323 ROSS AVE



2400 ROSS AVE



2611 ROSS AVE



2809 ROSS AVE





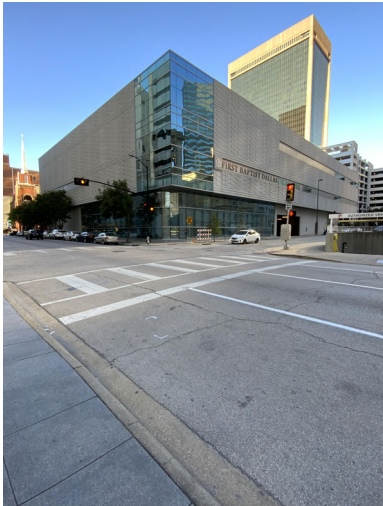
1722 ROUTH ST



1816 ROUTH ST



1707 SAN JACINTO ST



1707 SAN JACINTO ST



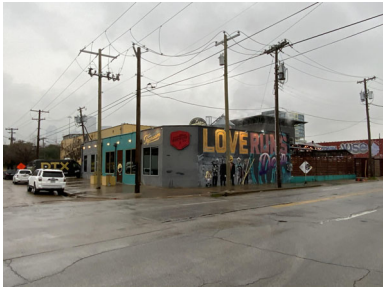
1925 SAN JACINTO ST



2603 SAN JACINTO ST



1900 ST LOUIS ST



2821 ST LOUIS ST



2903 ST LOUIS ST



325 N ST PAUL ST



350 N ST PAUL ST



400 N ST PAUL ST





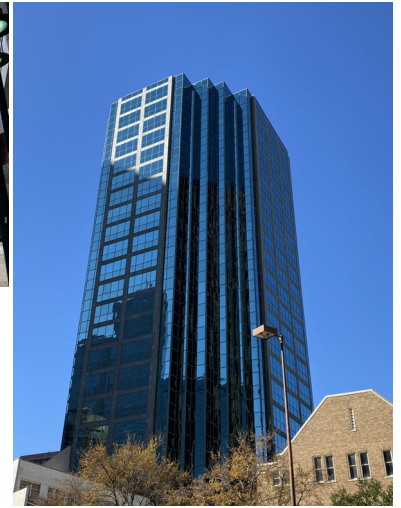
502 N ST PAUL ST



506 N ST PAUL ST



608 N ST PAUL ST



750 N ST PAUL ST



500 S ST PAUL ST



806 S ST PAUL ST



810 S ST PAUL ST



990 S ST PAUL ST



2424 SWISS AVE



2500 SWISS AVE



2511 SWISS AVE



2613 SWISS AVE



2633 SWISS AVE



2101 TAYLOR ST



2720 TAYLOR ST



2725 TAYLOR ST





2731 TAYLOR ST



2800 TAYLOR ST



2803 TAYLOR ST



2909 TAYLOR ST



2914 TAYLOR ST



2919 TAYLOR ST



2920 TAYLOR ST



2924 TAYLOR ST



2934 TAYLOR ST



2934 TAYLOR ST



3025 TAYLOR ST



3027 TAYLOR ST



3030 TAYLOR ST



609 TEXAS ST



825 TEXAS ST



TRIPLE UNDERPASS



232 TRUNK AVE



2801 VIRGIL ST



215 N WALTON ST



300 N WALTON ST





210 S WALTON ST



306 S WALTON ST



310 S WALTON ST



3808 WILLOW ST



3912 WILLOW ST



3917 WILLOW ST



1002 WOOD ST



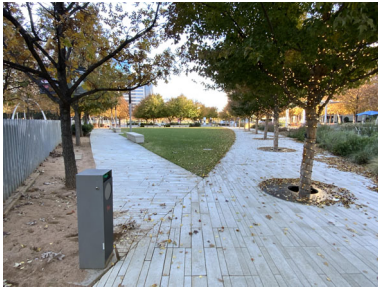
1815 WOOD ST



1818 WOOD ST



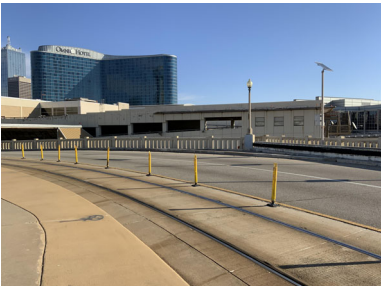
1616 WOODALL RODGERS FWY



2000 WOODALL RODGERS FWY



2702 WOODALL RODGERS FWY



508 YOUNG ST



508 YOUNG ST



606 YOUNG ST

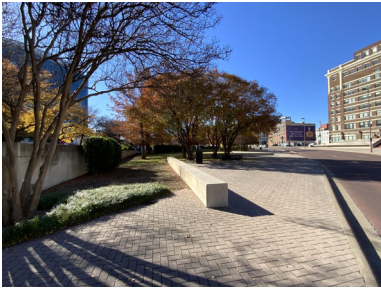


606 YOUNG ST





701 YOUNG ST



901 YOUNG ST



1033 YOUNG ST



1102 YOUNG ST



1301 YOUNG ST



1400 YOUNG ST



1428 YOUNG ST



1515 YOUNG ST



1775 YOUNG ST



1812 YOUNG ST



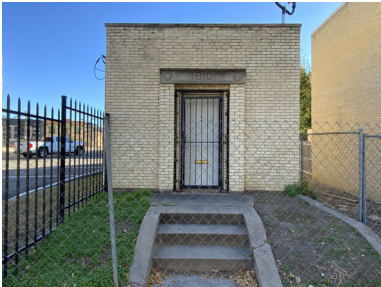
1812 YOUNG ST



1822 YOUNG ST



1903 YOUNG ST



1910 YOUNG ST