

Applicable Urban Design Priorities Project Should Achieve

[1] Orienting active uses at the ground level along Lamar - Active uses such as fitness center or lease spaces with direct street access are encouraged along Lamar. Locating private offices or other less frequently active uses along Lamar is discouraged.



Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [The Cedars]

Context Description

The site is located along the Lamar Street corridor in the Cedars neighborhood. Adjacent development includes Southside on Lamar, the NYLO Hotel, Beat condominiums, Gilley's, various bars and restaurants, and the Dallas Police Headquarters.

Important considerations for the site include introducing and reinforcing a strong street edge on Lamar, and maintaining active uses at the ground level to encourage pedestrian activity.

1210 Lamar

Neighborhood:
Cedars

Program:
Retail / Residential

1 Dallas Convention Center



2 Reunion Tower



3 Dallas City Hall



4 Gluco Gas Station



5 Gilley's Restaurant



6 NYLO Hotel



7 South Side Apartment



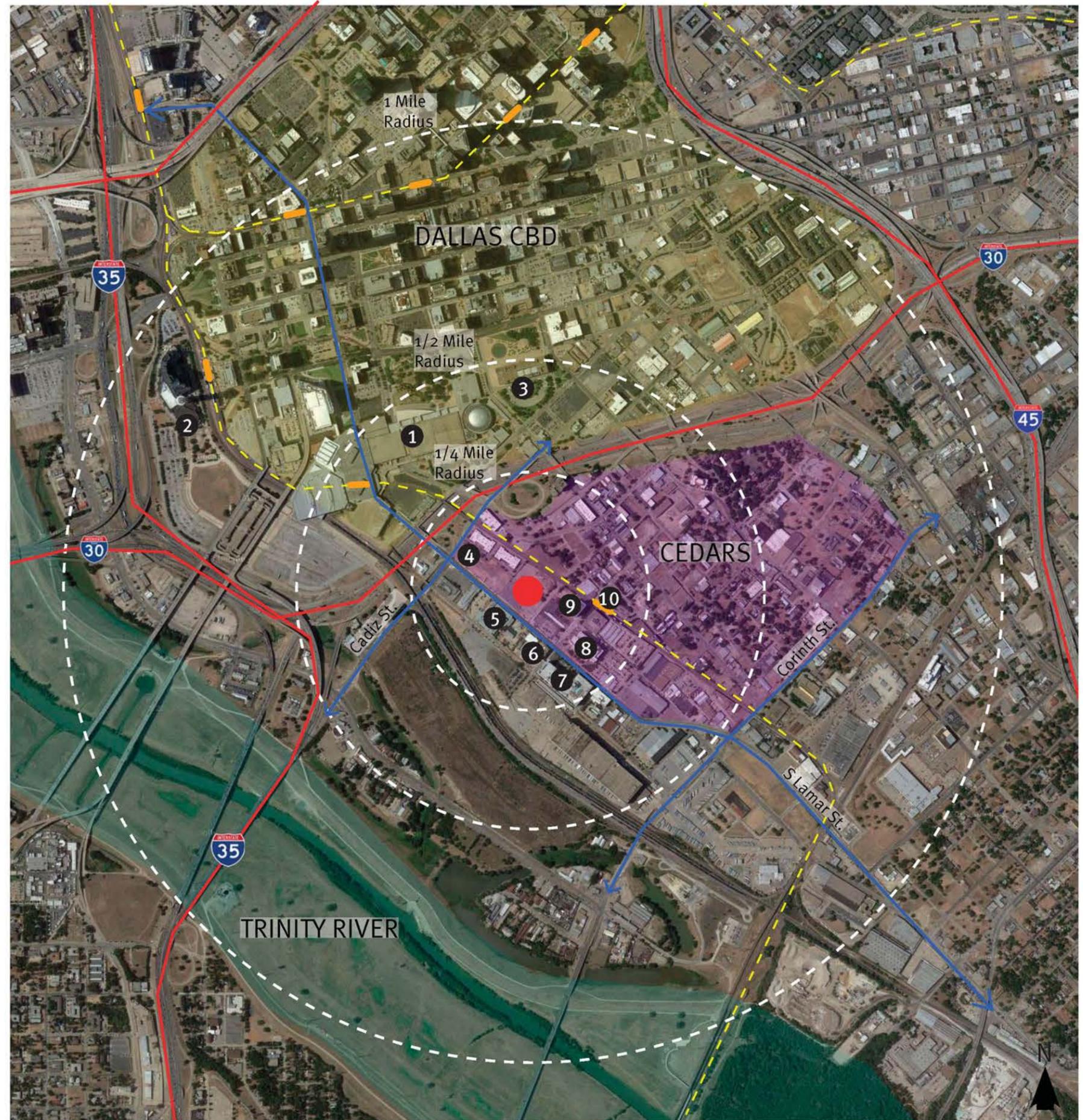
8 Dallas Police Department



9 The Beat lofts



10 DART Cedars Station





1 View to Downtown Dallas from the site (Looking North)



2 Gilley's across the street from the site



3 S. Lamar St



4 Powhattan St ends at DART light rail



5 Powhattan St looking towards S. Lamar St.



PROJECT DATA	
Units:	290 Units
Leasing:	6560 s.f.
Parking:	406 spaces 1.4 spaces/unit
Density:	3.96 Acres Gross 73.33 Units/Acre

Brief Project Description:

1210 South Lamar will be a Class A 4.0-acre urban development located in the Cedars district in Dallas, Texas adjacent to Downtown Dallas, and within walking distance to various entertainment venues and Cedars Station, a red & blue line DART rail station, making this a truly unique transit-oriented development. The community will offer 290 one and two bedroom residences that range in size from approximately 450 to almost 1,400 square feet. The development will feature urban-style architecture with extensive amenities and upgraded interiors to attract more affluent and discerning renters, desirous of a true live, work and play environment.











03

Perspective

JHP

1210 South Lamar
Dallas, Texas

TDI Residential

Scale = NTS

10.24.2013 | 2012026.00 cr

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Registered Architect of State of Texas, Registration No. 11958



04 Perspective

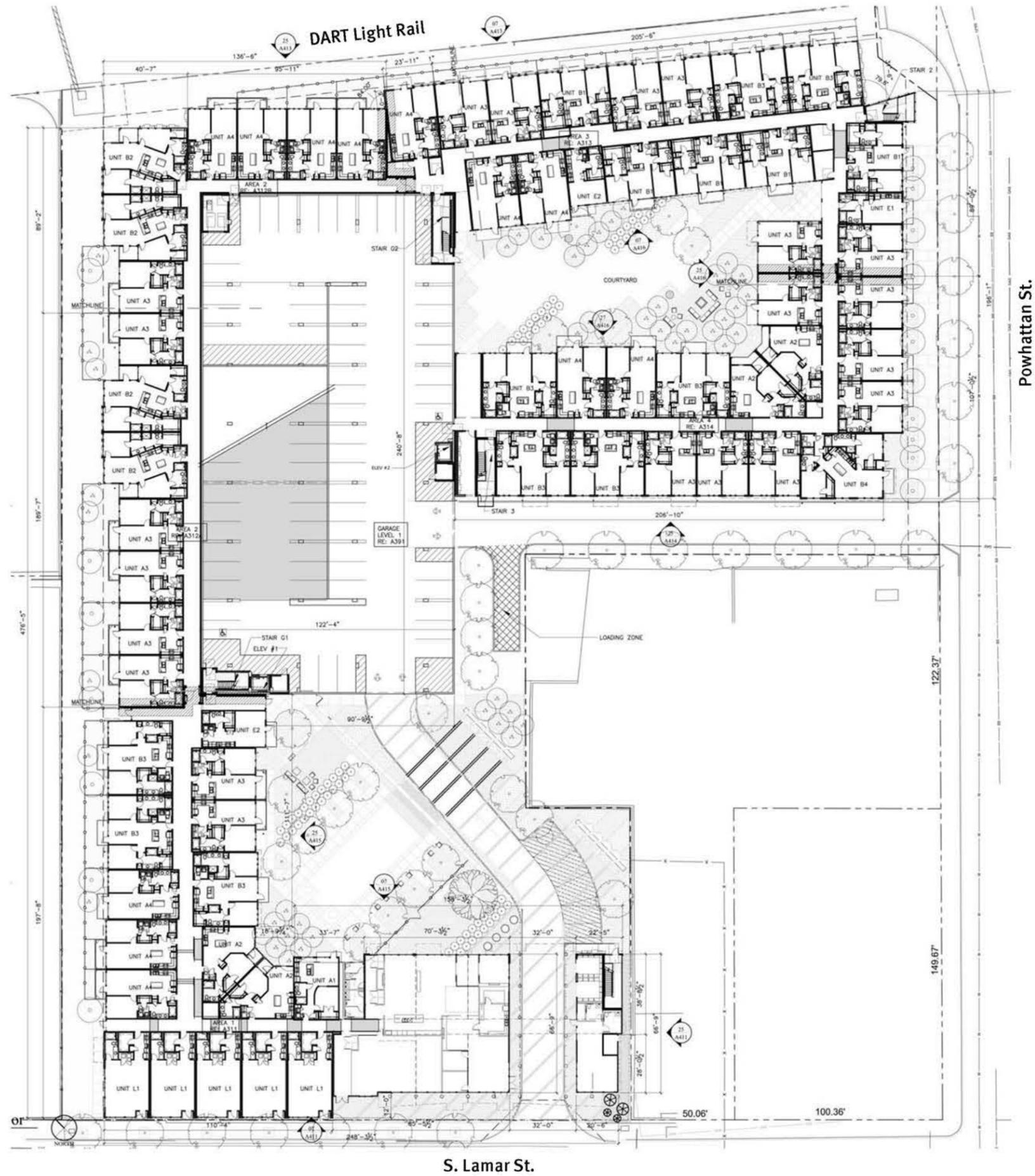
JHP

1210 South Lamar
Dallas, Texas

TDI Residential

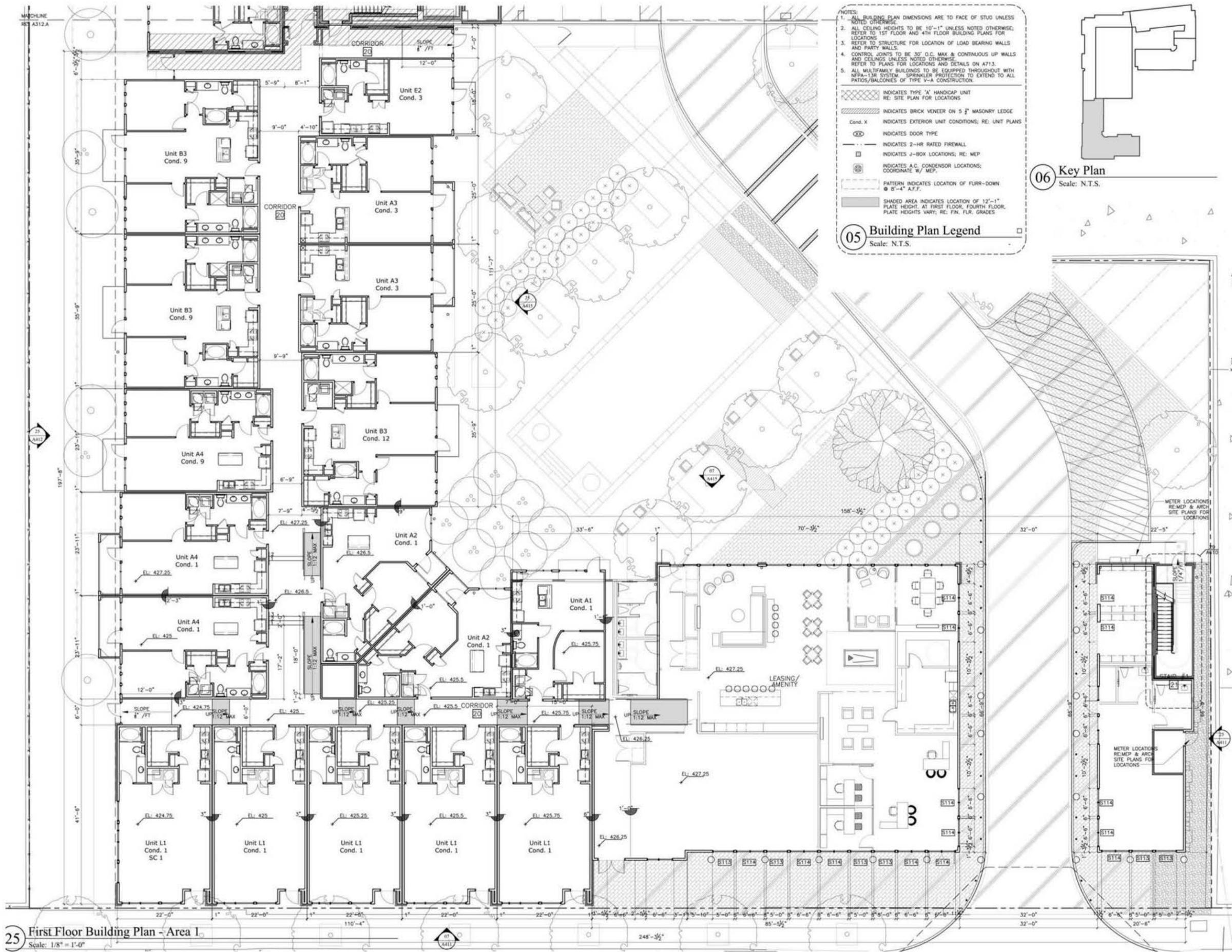
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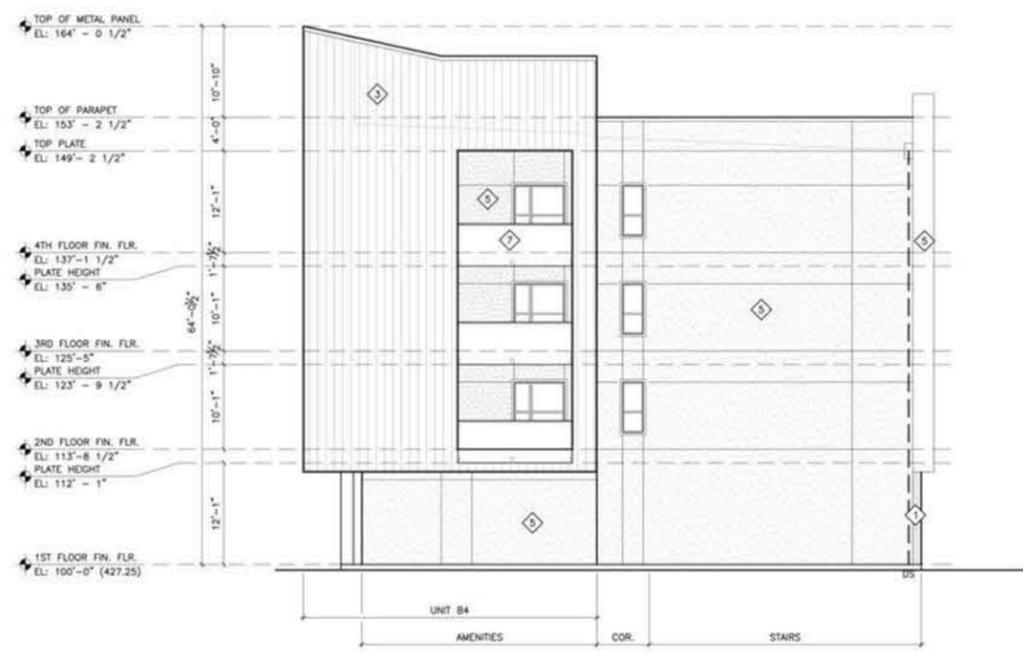
S. Lamar St.

Powhattan St.





07 Building Elevation - Area 1 - West Elevation
Scale: 1/8" = 1'-0"



25 Building Elevation - Area 1 - South Elevation
Scale: 1/8" = 1'-0"

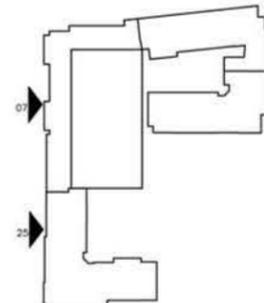
24 Material Legend
Scale: N.T.S.

- 1 BRICK
- 2 STOREFRONT SYSTEM
- 3 VERTICAL METAL PANEL
- 4 STAINED CEMENTITIOUS SIDING
- 5 STUCCO
- 6 WIRE MESH GUARDRAIL
- 7 METAL BALCONY WITH METAL PANEL INSERT
- 8 METAL PICKET GUARDRAIL
- 9 METAL ANNING
- 10 POLYCARBONATE PANEL
- 11 GROUND FLOOR PATIO/ COMPOSITE WOOD RAILING OVER MET. MESH
- 12 CEMENTITIOUS SIDING
- 13 PRIVATE YARD
- 14 STOOPS

30 Key Plan
Scale: N.T.S.

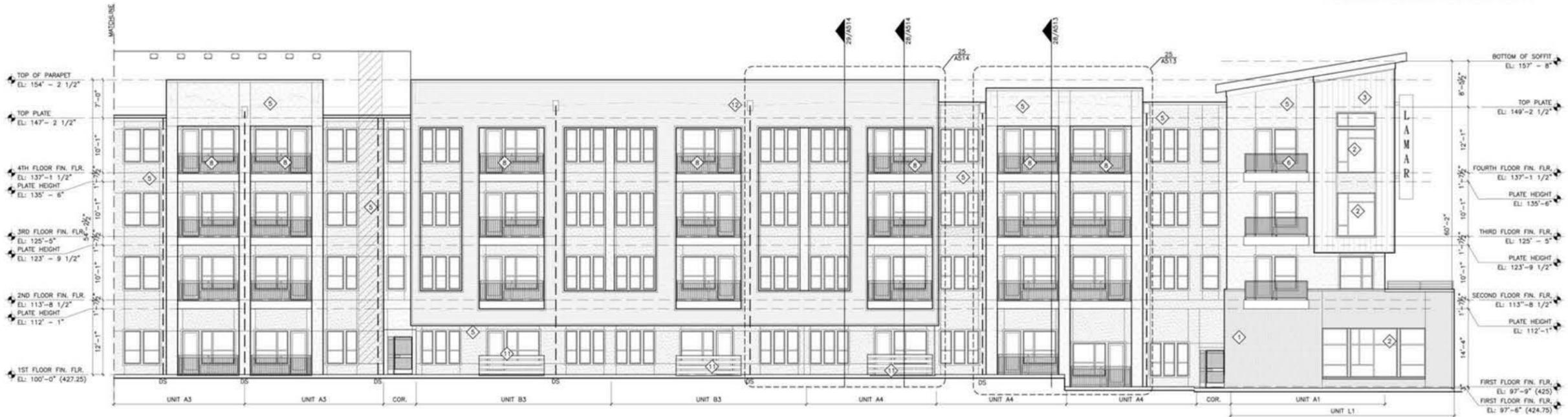


07 Building Elevation - Area 2 - North Elevation
Scale: 1/8" = 1'-0"



17 Key Plan
Scale: N.T.S.

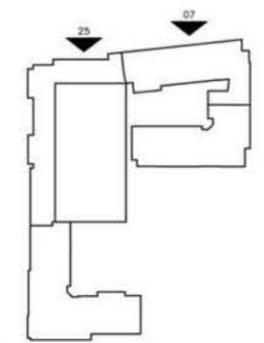
- 18** Material Legend
Scale: N.T.S.
- 1 BRICK
 - 2 STOREFRONT SYSTEM
 - 3 VERTICAL METAL PANEL
 - 4 STAINED CEMENTITIOUS SIDING
 - 5 STUCCO
 - 6 WIRE MESH GUARDRAIL
 - 7 METAL BALCONY WITH METAL PANEL INSERT
 - 8 METAL PICKET GUARDRAIL
 - 9 METAL AWNING
 - 10 POLYCARBONATE PANEL
 - 11 GROUND FLOOR PATIO / COMPOSITE WOOD RAILING OVER MTL. MESH
 - 12 CEMENTITIOUS SIDING
 - 13 PRIVATE YARD
 - 14 STOOPS



25 Building Elevation - Area 1 - North Elevation
Scale: 1/8" = 1'-0"



07 Building Elevation - Area 3 - East Elevation
Scale: 1/8" = 1'-0"



17 Key Plan
Scale: N.T.S.

18 Material Legend	
Symbol	Description
1	BRICK
2	STOREFRONT SYSTEM
3	VERTICAL METAL PANEL
4	STAINED CEMENTITIOUS SIDING
5	STUCCO
6	WIRE MESH GUARDRAIL
7	METAL BALCONY WITH METAL PANEL INSERT
8	METAL PICKET GUARDRAIL
9	METAL AWNING
10	POLYCARBONATE PANEL
11	GROUND FLOOR PATIO/ COMPOSITE WOOD RAILING OVER MET. MESH
12	CEMENTITIOUS SIDING
13	PRIVATE YARD
14	STOOPS

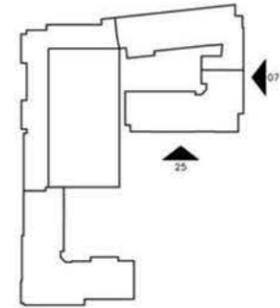
18 Material Legend
Scale: N.T.S.



25 Building Elevation - Area 2 - East Elevation
Scale: 1/8" = 1'-0"



07 Building Elevation - Area 4 - South Elevation
Scale: 1/8" = 1'-0"



17 Key Plan
Scale: N.T.S.

- | Material Legend |
|--|
| 1 BRICK |
| 2 STOREFRONT SYSTEM |
| 3 VERTICAL METAL PANEL |
| 4 STAINED CEMENTITIOUS SIDING |
| 5 STUCCO |
| 6 WIRE MESH GUARDRAIL |
| 7 METAL BALCONY WITH METAL PANEL INSERT |
| 8 METAL PICKET GUARDRAIL |
| 9 METAL AWNING |
| 10 POLYCARBONATE PANEL |
| 11 GROUND FLOOR PATIO/ COMPOSITE WOOD RAILING OVER MET. MESH |
| 12 CEMENTITIOUS SIDING |
| 13 PRIVATE YARD |
| 14 STOOPS |

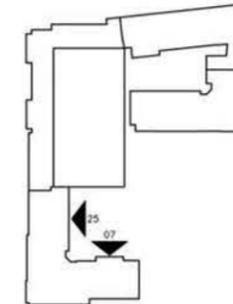
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Scale: N.T.S.



25 Building Elevation - Area 4 - Courtyard Elevation
Scale: 1/8" = 1'-0"



07 Building Elevation - Area 1 - South Elevation
Scale: 1/8" = 1'-0"



17 Key Plan
Scale: N.T.S.

18 Material Legend	
Scale: N.T.S.	
1	BRICK
2	STOREFRONT SYSTEM
3	VERTICAL METAL PANEL
4	STAINED CEMENTITIOUS SIDING
5	STUCCO
6	WIRE MESH GUARDRAIL
7	METAL BALCONY WITH METAL PANEL INSERT
8	METAL PICKET GUARDRAIL
9	METAL AWNING
10	POLYCARBONATE PANEL
11	GROUND FLOOR PATIO/ COMPOSITE WOOD RAILING OVER MTL. MESH
12	CEMENTITIOUS SIDING
13	PRIVATE YARD
14	STOOPS



25 Building Elevation - Area 1 - Courtyard Elevation
Scale: 1/8" = 1'-0"