



## CITY OF DALLAS

### PUBLIC HEARING

## LANDMARK COMMISSION

Tuesday, July 5, 2022

## AGENDA

BRIEFING	Videoconference /6ES Briefing Room	9:30 a.m.
PUBLIC HEARING	Videoconference/6ES Briefing Room	1:00 p.m.

**PURPOSE:** To consider the attached agenda and any other business that may come before the Landmark Commission.

\* All meeting rooms and chambers are in Dallas City Hall, 1500 Marilla, Dallas, Texas

The Landmark Commission hearing will be held by videoconference and in the city council briefing room. Individuals who wish to speak in accordance with the Landmark Commission Rules of Procedure should contact the Office of Historic Preservation at [phyllis.hill@dallascityhall.com](mailto:phyllis.hill@dallascityhall.com) by **Tuesday, July 5<sup>th</sup> at 8:30 AM**. All participants must have both audio and video to participate virtually.

The public may listen to the meeting as an attendee at the following videoconference link:

<https://dallascityhall.webex.com/dallascityhall/onstage/g.php?MTID=e318eedab0711c76d7a8dc1cacea5f703>

Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 95 and [bit.ly/cityofdallastv](http://bit.ly/cityofdallastv).

The public is encouraged to attend the meeting virtually, however, City Hall is available for those wishing to attend the meeting in person following all current pandemic-related public health protocols.



# Landmark Commission Agenda

## Tuesday, July 5, 2022

Location for in-person attendance: 1500 MARILLA STREET, DALLAS. TEXAS, 75201, CITY Briefing Room, 6<sup>TH</sup> FLOOR OF THE DALLAS CITY HALL (facing Young Street, between Akard Street and Ervay Street)

### Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

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**Majed Al-Ghafry**, Assistant City Manager

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**Murray G. Miller**, Director, Office of Historic Preservation

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## **BRIEFING ITEMS**

The Landmark Commission may be briefed on any item on the agenda if it becomes necessary.

## **PUBLIC TESTIMONY**

Minutes from June 6, 2022

## **CONSENT AGENDA**

### **1. 100 S GLASGOW DR**

Woodrow Wilson High School  
CA212-398(LVO)  
Laura Groves van Onna

### **Request**

A Certificate of Appropriateness to construct batting cage.

**Applicant:** Frazier, Coy

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to construct batting cage be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: 1) The color of the roofing material will be Light

Stone to be most compatible with the buildings on the Woodrow Wilson High School campus. The proposed work is consistent with Woodrow Wilson High School preservation criteria Sections 2.1 and 2.2 for site and site elements as well as 4 for new construction and additions to existing structures; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to construct batting cage be approved as submitted with the condition that applicant submit color samples showing batting cage building colors compatible with the buildings on the Woodrow Wilson HS campus (Not Green).

*After the Task Force meeting, the applicant provided color samples from which the most compatible color was selected.*

**Request**

A Certificate of Appropriateness to replace existing ground-mounted sign with new sign.

**Applicant:** Alston, Norm

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to replace existing ground-mounted sign with new sign be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with the Fair Park preservation criteria; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

No quorum - Comments only. Task Force is supportive of proposed sign. Existing sign was confirmed to be not historic and proposed font matches current signage standard. For future signage, a comprehensive approach to signage at Fair Park is strongly recommended.

**Request**

1. A Certificate of Appropriateness to rehabilitate front and side yard landscaping.
2. A Certificate of Appropriateness to rehabilitate rear landscaping and construct wood arbor in rear yard.

**Applicant:** Gutin, John William

**Application Filed:** 6/2/22

**2. 3535 GRAND AVE**

Fair Park Historic District  
CA212-402(CVO)  
Carlos van Onna

**3. 5526 TREMONT ST**

Junius Heights Historic District  
CA212-403(CVO)  
Carlos van Onna

**Staff Recommendation:**

1. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with the Junius Heights preservation criteria Section 3.5 for Landscaping; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
2. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with preservation criteria Section 3.5 for Landscaping, Section 9 for Accessory Structures; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

1. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved as presented.
2. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved as submitted.

**4. 5530 WORTH ST**

Junius Heights Historic District  
CA212-404(CVO)  
Carlos van Onna

**Request:**

A Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary.

**Applicant:** Solis, Veronica

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: that the finished side of the fence must face out as it can be seen from the public right-of-way. The proposed work is consistent with Junius Heights preservation criteria Section 3.6 for Fences; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary be approved with the condition that the finished side needs to face neighbor's driveway.

**5. 4936 JUNIUS ST**

Munger Place Historic District  
CA212-397(LVO)  
Laura Groves van Onna

**Request**

A Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District.

**Applicant:** Gormley, John

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Munger Place preservation criteria Sections 51P-97.111(c)(1) for building, placement, form, and treatment and (2) for landscaping; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

A Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District be approved.

**6. 5115 REIGER AVE**

Munger Place Historic District  
CA212-396(LVO)  
Laura Groves van Onna

**Request:**

A Certificate of Appropriateness to construct one-story rear addition.

**Applicant:** Trecartin, Aaron

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to construct one-story rear addition be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Munger Place preservation criteria Section 51P-97.111(c)(1)(B) for additions; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to construct one-story rear addition be approved.

**7. 4713 WORTH ST**

Peak's Suburban Addition Neighborhood Historic District  
CA212-409(LVO)  
Laura Groves van Onna

**Request:**

A Certificate of Appropriateness to install new fencing as amended – initial work done without CA.

**Applicant:** Kilicer, Ercan

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to install new fencing as amended – initial work done without

CA be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Peak's Suburban Addition preservation criteria Sections 2.9, 2.11, 2.13, 2.14, and 2.15 for site and site elements; City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to install new fencing – initial work done without CA be denied without prejudice. Ordinance requires that fence must be within the rear 50% of the front facade of the house. Recommend fence on the left side be within the rear 50%. Propose to allow for fence on the right to be 5' back from the front facade on the as the A/C units are on this side and additional screening is required. Wrought iron gate on driveway side (left) and wrought iron fence on the right side to comply with the ordinance.

*After the Task Force meeting, the applicant revised the proposed fencing to be in accordance with the Ordinance and consistent with Task Force recommendation.*

**Request:**

A Certificate of Appropriateness to replace non-compliant fencing in kind.

**Applicant:** Buser, John

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to replace non-compliant fencing in kind be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: 1) The height of the proposed fencing will be equal in height to the brick wall that extends from the side (northeast) elevation. The proposed work is consistent with Swiss Avenue preservation criteria Section 51P-63.116(2)(B)(ii), (iii), (iv)(ee), and (v) for fences; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to replace non-compliant fencing in kind be approved.

**8. 5305 SWISS AVE**

Swiss Avenue Historic District  
CA212-395(LVO)  
Laura Groves van Onna

**9. 2908 METROPOLITAN AVE**

Phyllis Wheatley Elementary School,  
Wheatley Place Historic District  
CA212-401(CVO)  
Carlos van Onna

**Request:**

A Certificate of Appropriateness to temporarily place a portable structure at the location of a previously removed portable structure behind the Phyllis Wheatley School.

**Applicant:** Lichtenberg, Kristi

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to temporarily place a portable structure at the location of a previously removed portable structure behind the Phyllis Wheatley School be approved in accordance with the drawings and specifications dated 7/5/22 with the following condition: 1) The applicant will remove or reapply for a Certificate of Appropriateness for the portable structure after a period of three (3) years. The proposed work does not comply with the preservation criteria, however, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is temporary, facilitates restoration and continued operation of Phyllis Wheatley Elementary School, and will not permanently adversely affect the historic character of adjacent properties or the integrity of the historic overlay district.

**Task Force Recommendation:**

That the request for a Certificate of Appropriateness to place a portable structure at the location of a previously removed portable structure behind the Phyllis Wheatley School be approved with the condition that a timeline is set for completion of the restoration of the school so the temporary structure can be removed.

**10. 111 N CLINTON AVE**

Winnetka Heights Historic District  
CA212-390(SB)  
Scott Bellen

**Request:**

1. A Certificate of Appropriateness to remove existing windows, replace with wood siding, install new windows in different locations, and relocate existing door on accessory structure.
2. A Certificate of Appropriateness to paint accessory structure SW7008 "Alabaster" for siding, SW 6496 "Oceanside" for trim.
3. A Certificate of Appropriateness to replace metal railing and gate and wood staircase with IPE wood railing, gate,

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and staircase, and install IPE wood decking on accessory structure.

4. A Certificate of Appropriateness to install limestone paver pool deck in rear yard.

**Applicant:** Craine, Patrick

**Application Filed:** 6/2/22

**Staff Recommendation:**

1. That the request for a Certificate of Appropriateness to remove existing vinyl windows, replace with wood siding, install new wood windows in different locations, and relocate existing door on noncontributing accessory structure be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(17)(F)(iv) for windows and doors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
2. That the request for a Certificate of Appropriateness to paint accessory structure SW7008 "Alabaster" for siding, SW 6496 "Oceanside" for trim be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(8) for color and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
3. That the request for a Certificate of Appropriateness to replace metal railing and gate and wood staircase with unstained IPE wood railing, gate, and staircase, and install unstained IPE wood decking on accessory structure be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural details and (16) for stairs and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
4. That the request for a Certificate of Appropriateness to install limestone paver pool deck in rear yard be approved per specifications dated 07/05/2022. Although the proposed limestone pavers do not strictly comply with the Winnetka Heights preservation criteria Section 51P-87.111(b)(9)(A)(3) for landscaping materials, the work will not adversely affect the historic character of the district, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.

**Task Force Recommendation:**

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That the request for a Certificate of Appropriateness be approved with conditions. Removal of aluminum windows is desired. Placement of new windows is important, and TF recommends considering adding a window if possible, on the alley side.

New railing/IPE Gates and elevations need details and dimensions.

Wood windows are to be unclad.

Sashes should have wider bottom rail for historic proportion.

IPE stain color needs to be added.

Need pictures of main structure added to submission.

TF commends applicant for improving historic character of this accessory structure.

*After the Task Force meeting, the applicant provided additional documentation and clarification.*

### 11. 402 N WINDOMERE AVE

Winnetka Heights Historic District

CA212-392(SB)

Scott Bellen

#### **Request:**

A Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors.

**Applicant:** Barrientos, Honorio

**Application Filed:** 6/2/22

#### **Staff Recommendation:**

That the request for a Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors. be approved per specifications dated 07/05/2022 with the condition that brick or any masonry is not to be painted. The proposed work is consistent with Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural detail and Section 51P-87.111(a)(8) for color, meets the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures, and is consistent with the Secretary of the Interior's Standards.

#### **Task Force Recommendation:**

That the request for a Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors, be approved with conditions. Well documented submission and applications of color appear to be in keeping. Actual



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colors appear better than scanned images. Color palette is pleasing. Locations of colors could use some refinement. TF recommends sashes and doors to be the same trim color and provide a body color for the triangle gabled walls that allow the stucco and the trim to be more distinctive, possibly a darker shade of the light gray "Etched Glass" or the same color separated with drip edge in the dark color.

*After the Task Force meeting, the applicant provided additional documentation and clarification on the proposed location of paint colors.*

### **DISCUSSION ITEMS:**

#### **1. 625 N MARSALIS AVE**

Lake Cliff Historic District  
CA212-394(SB)  
Scott Bellen

#### **Request:**

A Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850.

**Applicant:** Robinson, John

**Application Filed:** 6/2/22

#### **Staff Recommendation:**

That the request for a Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850 be denied without prejudice. The proposal is inconsistent with Lake Cliff preservation criteria Section 4.1(e), inconsistent with the Secretary of Interior's Standards, and inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

#### **Task Force Recommendation:**

That a Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850 be approved with conditions. Knowing that the structure was previously painted on the testimony of TF members that live in Lake Cliff (known as the purple house) that repainting it with the submitted colors is acceptable. TF recommends providing physical proof of the house being previously painted. Not recommended to paint the concrete.

*After the Task Force meeting, the applicant provided additional documentation intended to show that the building had previously been painted.*

#### **2. 4828 JUNIUS ST**

Peak's Suburban Addition Neighborhood Historic District

#### **Request:**

1. A Certificate of Appropriateness to remove awnings and metal bars – work done without CA.

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CA212-400(LVO)  
Laura Groves van Onna

2. A Certificate of Appropriateness to replace second-story balcony on facade with extended – work done without CA.
3. A Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA.

**Applicant:** Crest RSS, LLC

**Application Filed:** 6/2/22

**Staff Recommendation:**

1. That the request for a Certificate of Appropriateness to remove awnings and metal bars – work done without CA be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Peak's Suburban Addition preservation criteria Sections 3.1, 3.8, and 3.12 for structure – facades as well as 3.21 for structure – porches and balconies; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
2. That the request for a Certificate of Appropriateness to replace second-story balcony on facade with extended deck – work done without CA be denied without prejudice. The proposed work does not meet Peak's Suburban Addition preservation criteria Sections 3.1, 3.2, 3.7, 3.19, 3.20, 3.21, 4.2, and 4.8; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
3. That the request for a Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA be approved in accordance with drawings and specifications dated 7/5/22 with the following conditions: 1) Paint will be removed from the previously unpainted brick wing walls framing the entry to the front porch; and 2) Dormer vents will be painted Sherwin Williams Extra White (SW 7006) consistent with architectural trim features. The proposed work is consistent with Peak's Suburban Addition Preservation criteria Sections 3.4 and 3.7 for structure – facades; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**Task Force Recommendation:**

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1. No quorum - Comments only. Support approval of the request for a Certificate of Appropriateness to remove awnings and metal bars – work done without CA.
2. No quorum - Comments only. Support denial w/ prejudice of the request for a Certificate of Appropriateness to replace second-story balcony on facade with extended deck – work done without CA. Recommendations: Restore two porch columns which are historically appropriate in size and materials/ round columns were previously present; Bring balcony back to even with front facade; Correct the framing and trim work around the 2nd story porch to include fascia and historically appropriate trim work under the floor of the "deck"; Tongue and groove wood flooring on deck.
3. No quorum - Comments only. Support approval of the request for a Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA with the condition that paint is removed from the wing-walls of the front porch stairs. Recommendations: Paint louvers on attic dormer to match trim; Remove paint from wing-walls of front porch stairs.

### 3. 1700 W 10TH ST

Winnetka Heights Historic District  
CA212-388(SB)  
Scott Bellen

#### **Request:**

A Certificate of Appropriateness to renovate and convert a gas station to a restaurant without drive-in service.

**Applicant:** Scott, James

**Application Filed:** 6/2/22

#### **Staff Recommendation:**

That the request for a Certificate of Appropriateness to renovate and convert a gas station to a restaurant without drive-in service be approved per plans and specifications dated 07/05/2022 with the following conditions:

- a. That artificial turf is prohibited because artificial turf is inconsistent with the Secretary of Interior Standards and does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures;
- b. That boulders or rocks are prohibited in the parkway because the Winnetka Heights preservation criteria Section 51P-87.111(b)(5)

permits only grass, trees, and flowers in the parkway;

- c. That the new proposed AVAdek entry canopy in bronze is prohibited because the Winnetka Heights preservation criteria Section 51P-87.114(a)(1) stipulates that awnings must be made of fabric and complement the main building in style and color;
- d. That the 4-ft high wrought iron fence in the front yard is prohibited because the Winnetka Heights preservation criteria Section 51P-87.114(a)(1) states that "A fence in the front yard may not exceed two feet in height unless a taller fence is needed to satisfy screening requirements for parking in front of nonresidential uses";
- e. That new wood windows must not be clad with fiberglass because fiberglass is inconsistent with the Winnetka Heights preservation criteria Section 51P-87.114(a)(2) for facade materials;
- f. That repair of existing wood windows must be an exact match in profile, dimensions, and material of the original;
- g. That removal of paint from masonry must be undertaken according to guidance specified by the Secretary of Interior's Standards for Rehabilitation found at <https://www.nps.gov/tps/standards/rehabilitation/rehab/masonry01.htm>; and
- h. That the repair, patching or repointing of any brick exterior must match the existing brick and be undertaken according to guidance specified by the Secretary of Interior's Standards for Rehabilitation found at <https://www.nps.gov/tps/standards/rehabilitation/rehab/masonry01.htm>.

The proposed work as conditioned above will therefore be consistent with the Winnetka Heights preservation criteria, consistent with the Secretary of Interior Standards, and meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

**Task Force Recommendation:**

That a Certificate of Appropriateness to renovate and convert a gas station to a restaurant be approved with conditions.

TF is highly enthusiastic about the restoration and occupation of this structure.

TF discussed fence / gate locations in relation to the original corner service station having neighborhood facing access. It appears that the site plan is vehicularly oriented to 10th street and that there should be a gentle pedestrian gate access on Rosemont.

Sconces are modern. Reselect similar modest half rounds without LED banding.

Berms and Turf were discussed at length. Berms were considered as both play elements such as gentle play elements and topographic changes to landscaping.

Traditional separation berms are not allowed in Tract 2.

We would like more information/ specification on the turf, height of topographic changes / play hills in the patio area.

Fiberglass cladding should be removed from wood windows.

#### 4. 232 S WINDOMERE AVE

Winnetka Heights Historic District  
CA212-391(SB)  
Scott Bellen

#### **Request:**

1. A Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence.
2. A Certificate of Appropriateness to retain the unauthorized replacement of a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color "Sable".

**Applicant:** Henry, Dan

**Application Filed:** 6/2/22

#### **Staff Recommendation:**

1. That the request for a Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence be approved. The proposal is consistent with Winnetka Heights preservation criteria Sections 51P-87.111(b)(2) for fences and consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.
2. That the request for a Certificate of Appropriateness to retain the unauthorized replacement of a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color "Sable" be

denied without prejudice. The proposed work is inconsistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural detail and (11) for front entrances and porches, is inconsistent with the Secretary of Interior Standards 3 and 5, and is inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

**Task Force Recommendation:**

1. That a Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence be denied without prejudice. Fencing appears to be placed in a reasonable location in front of the side yard given the location of the rear corner windows and the sidewalk. Applicants should provide additional details on the back wall, maintaining visibility triangle, vehicle gates. Deny without Prejudice.
2. That a Certificate of Appropriateness to retain the unauthorized replacement of a 1x4" wood slat front porch with a 1x6" wood slat front porch be denied without prejudice. 1x6 decking is proposed to be changed from original 1x4 decking. Proposed decking should match the original 1 x4 width.

**5. 102 S WINNETKA AVE**

Winnetka Heights Historic District  
CA212-389(MGM)  
Murray G. Miller

**Request:**

A Certificate of Appropriateness to construct a two-story addition to rear of primary structure.

**Applicant:** Taylor, Trey

**Application Filed:** 6/2/22

**Staff Recommendation:**

That the request for a Certificate of Appropriateness to construct a two-story addition to rear of the primary structure approved in accordance with drawings and specifications dated 6/20/22, because the proposed work is consistent with the Winnetka Heights Historic District preservation criteria SEC. 51P-87.111. (a)(2) regarding additions; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and Rehabilitation General Standard 9 of the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**Task Force Recommendation:**

Deny without Prejudice - Addition does not appear to be in keeping with the scale of the original structure as the massing does not follow the same rules of material balance, roof/ porch extensions and greater amounts of openings progressing to the front and rear of structures.

Sunroom was a benefitting character element that supported the character of the historic structure. Revisions involving scaling down the size of the addition from the elevations as well as stair stepping the roof, proportions of columns related to the front porch, and reincorporating the sunroom windows MAY help.

#### **6. 419 N WINNETKA AVE**

Winnetka Heights Historic District  
CA212-393(SB)  
Scott Bellen

##### **Request:**

A Certificate of Appropriateness to extend an existing eight-foot stained wood fence into the corner side yard.

**Applicant:** Towler, Amanda

**Application Filed:** 6/2/22

##### **Staff Recommendation:**

That the request for a Certificate of Appropriateness to extend an existing 8-foot stained wood fence into the corner side yard be denied without prejudice. The proposal is inconsistent with Winnetka Heights preservation criteria Sections 51P-87.111(b)(2)(C) and (G)(iii) for fences and inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

##### **Task Force Recommendation:**

That the request for a Certificate of Appropriateness to extend an existing 8-ft stained wood fence be approved with conditions. Fence is allowed to be moved up to the 50% mark of the length of the house; however, the house is 58ft long rather than listed 60ft long. As well as there is a bump out two window feature that should not be divided by a fence. TF recommends moving the proposed fence location to the rear outside corner of the bump out, approx. 6ft back from the proposed location. It appears this will clear the tree and planting area.

*After the Task Force meeting, the applicant provided a revised site plan. However, the revised site plan is still inaccurate and does not meet the conditions specified by the Task Force.*

#### **OTHER BUSINESS ITEMS:**

2022/2023 Landmark Commission Calendar  
Approval of Minutes – June 6, 2022

**DESIGNATION COMMITTEE:**

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at [www.ci.dallas.tx.us/cso/boardcal.shtml](http://www.ci.dallas.tx.us/cso/boardcal.shtml). Please review the official agenda for location and time.



### EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt. Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.09]

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-398(LVO)  
LOCATION: 100 S Glasgow Dr  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-543

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Woodrow Wilson High  
School (H-53)  
MAPSCO: 46-D  
CENSUS TRACT: 0013.01

**APPLICANT:** Coy Frazier

**REPRESENTATIVE:** N/A

**OWNER:** DALLAS ISD

**REQUEST:**

A Certificate of Appropriateness to construct batting cage.

**BACKGROUND / HISTORY:**

1. Woodrow Wilson High School is a Jacobethan Revival Style building, constructed in 1928. The three-story red brick structure with decorative cast stone detailing was designed by architects Roscoe P. DeWitt and Mark Lemmon. The school was listed as a Recorded Texas Historic Landmark in 1989. It was designated a City of Dallas Landmark in 1992.
2. On February 7, 2011, a Certificate of Appropriateness (CA) to construct a three-story addition (south of the 1953 and 1977 rear additions) and a historic window restoration (CA101-109(MD)) was approved by the Landmark Commission (Commission).
3. On March 3, 2014, a Courtesy Review (CR) request to demolish the 1953 and 1977 additions and construct a new three-story addition in their place (CR167-002(LC)) was reviewed and commented on by the Commission.
4. On March 6, 2017, a CA to relocate four portable classrooms with the site, install a temporary metal canopy and ramp, and install handicap striping and signage to the staff parking lot (CA167-229(LC)) was approved by the Commission.
5. On June 5, 2017, a CA to construct a three-story addition (CA167-526(LC)) was approved by the Commission.
6. On September 5, 2017, a CA to demolish the non-contributing 1953 and 1977 rear additions to the school (CA167-742(LC)) was approved by the Commission.
7. On September 8, 2020, a CA to install a wrought iron fence around the track field (CA190-604(LC)) was approved by the Commission.

8. On May 3, 2021, a CA to construct a metal shade structure at the non-historic entrance on the southeast elevation (CA201-314(LC)) was approved by the Commission.
9. On April 4, 2022, a CA to modify an entrance door on the west elevation to make it an accessible entry, to construct an accessible ramp and steps on the west elevation, to construct a new masonry screen wall around the mechanical equipment on the north side of the property, and to install new light poles (CA212-233(LC)) was approved by the Commission.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct batting cage be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: 1) The color of the roofing material will be Light Stone to be most compatible with the buildings on the Woodrow Wilson High School campus. The proposed work is consistent with Woodrow Wilson High School preservation criteria Sections 2.1 and 2.2 for site and site elements as well as 4 for new construction and additions to existing structures; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct batting cage be approved as submitted with the condition that applicant submit color samples showing batting cage building colors compatible with the buildings on the Woodrow Wilson HS campus (Not Green).

*After the Task Force meeting, the applicant provided color samples from which the most compatible color was selected.*

**CURRENT PHOTOS**  
100 S Glasgow Dr















# **TASK FORCE RECOMMENDATION(S)**



**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 06/08/2022

TIME: 3:00 pm

MEETING PLACE: Microsoft Teams Virtual Meeting/ 2922 Swiss Avenue, "Wilson House"

Applicant Name: Coy Frazier

Address: **100 S Glasgow Dr (H-53; Woodrow Wilson High School)**

Date of CR/**CA**/CD Request: 06/02/2022

**RECOMMENDATION:**

☐ Approve    ☒ Approve w/ conditions    ☐ Deny    ☐ Deny w/o prejudice  
☐ Comments only

Recommendation / comments/ basis:

Approved as submitted with the condition that applicant submit color samples showing batting cage building colors compatible with the buildings on the Woodrow Wilson HS campus (Not Green).

**Task force members present**

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Justin Curtsinger (Vice Chair)	<input checked="" type="checkbox"/> Jay Firsching
<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> Jack Bunning	<input checked="" type="checkbox"/> Joshua McDowell (Alt.)
<input checked="" type="checkbox"/> Carolina Pace	<input type="checkbox"/> James Adams	<input type="checkbox"/> John Johnson (Alt.)

Ex Officio staff members Present ☒ Laura Groves van Onna

Simply Majority Quorum: ☒ yes    ☐ no (four makes a quorum)

Maker: Jay Firsching

2<sup>nd</sup>: Joshua McDowell

Task Force members in favor: 4

Task Force members opposed: 0

Basis for opposition:

Chair, Task Force: Gary C Coffman

Date: June 8, 2022

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:30 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

CA212-398(LVO)

C1-Task Force Recommendation(s)

# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ \_\_\_\_\_ ]  
Office Use Only

Name of Applicant: Coy Frazier

Mailing Address : 3701 Bothem Jean Blvd.

City, State and Zip Code: Dallas Tx. 75215

Daytime Phone: 469-853-01081 Alternate Phone:

Relationship of Applicant to Owner : Employee

**PROPERTY ADDRESS:** 100 South Glasgow Dallas TX.75229

**Historic District:**

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Install batting cage

Signature of Applicant: Coy R. Frazier

Date: 5/27/2022

Signature of Owner: Coy R. Frazier

Date: 5/27/2022

(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

**Memorandum to the Building Official, a Certificate of Appropriateness has been:**

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_Yes \_\_\_No

Sustainable Construction and Development

Date

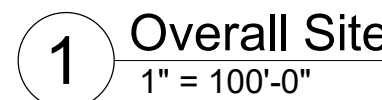
Certificate of Appropriateness

City of Dallas

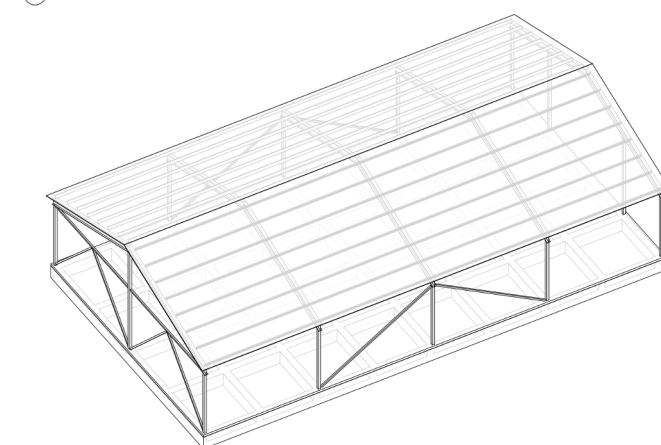
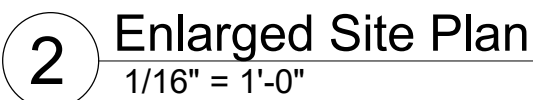
Historic Preservation

Rev. 061419





### 3 Batting Cage Elevations - Designed by Others



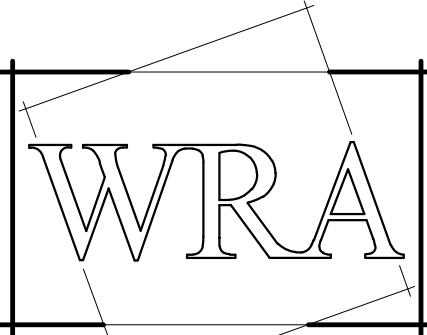
REFER TO STRUCTURAL FOR ADDITIONAL DETAILS

<b>Woodrow Wilson HS - Batting Cages</b>					
<b>BUILDING/SITE SPECIFICATIONS</b>					
ZONING CLASSIFICATION:			PD - 543 H/120 H/50'		
OCCUPANCY USE:			EDUCATION GROUP-B		
APPRAISAL DISTRICT ACCOUNT #:			#00166800C0C1A000		
STORIES (PERMITTED):	N/A	HEIGHT (PERMITTED):	N/A	FRONT SIDE SETBACK:	15'
STORIES (PROPOSED):	N/A	HEIGHT (PROPOSED):	N/A	REAR SETBACK:	20'
HAZARDOUS MATERIAL:	NO	OVERLAY DISTRICT:	N/A		
BUILDING AREA - GROUND FLOOR:		3,600 SF	ACRAGE OF SITE:		18.083 ACRES
BUILDING AREA - LEVEL 2:		N/A	SQUARE FOOTAGE OF SITE:		787,695 SQ'FT

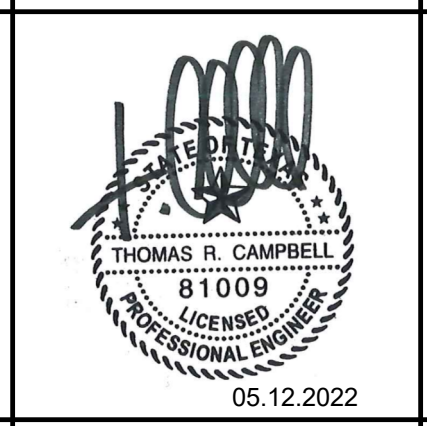
1. CONTRACTOR IS RESPONSIBLE FOR TEXAS 811 DIG TEST AT THE PROJECT SITE AND VERIFYING ALL EXISTING ABOVE AND BELOW GROUND UTILITIES
2. CONTRACTOR SHALL COORDINATE LOCATION OF ALL SLEEVES UNDER SIDEWALKS AS NEEDED FOR LANDSCAPE IRRIGATION AND ALL SITE UTILITIES
3. ALL SITE SIDEWALKS SHALL BE INSTALLED 1" ABOVE GRADE AND SLOPE WITH EXISTING GRADES. MAXIMUM SLOPE IN DIRECTION OF TRAVEL 5%. MAXIMUM CROSS SLOPE IS 1/4" PER FOOT (SLOPE WITH SITE GRADING).
4. ALL SIDEWALKS WIDER THAN 5' SHALL HAVE LIME STABILIZED SUBGRADE PER SPEC.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED GRADES AROUND EDGE OF BUILDING TO BE 1'-0" BELOW FINISH FLOOR WHERE IT DOES NOT CAUSE ENTRANCE PROBLEMS.

REVISIONS:	
No.	Date
JOB NO.	2234
DATE:	6/23/2022
Site Plan + Plan + Plan Details	
A100	





WRA Architects, Inc.  
12377 Merit Drive  
Suite 1800  
Dallas, Texas 75251  
214.750.0077 voice  
214.750.5931 fax  
www.wraarchitects.com



# Woodrow Wilson HS - Batting Cages

100 S Glasgow Dr, Dallas, TX - 75214

REVISIONS:		
No.		Date
	JOB NO.	221
	DATE:	05.12.2022
STRUCTURAL NOTES		
S1.1		
© WRA Architects, Inc. 2020		

## STRUCTURAL NOTES

GENERAL:

GN-1

ALL SPECIAL INSPECTIONS, PERMITS, CONTRACTOR BIDS, SHOP DRAWINGS AND AHJ APPROVALS SHALL BE THE RESPONSIBILITY OF THE OWNER.

GN-2

THE DETAILS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE AREAS IN THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN DETAILS.

GN-3

THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE REQUIREMENTS OF OTHER TRADES (ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC.) WITH THE STRUCTURAL DOCUMENTS PRIOR TO FABRICATION OR INSTALLATION OF ANY STRUCTURAL MEMBERS.

GN-4

THE CONTRACTOR AND FABRICATOR SHALL VERIFY QUANTITIES, DIMENSIONS AND CONDITIONS THOROUGHLY WITH THE CONTRACT DOCUMENTS AND THEN NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES BEFORE SUBMITTING SHOP DRAWINGS AND PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS FOR DIMENSIONS.

GN-5

GENERAL CONTRACTOR SHALL INSPECT JOB FOR COMPLETION BEFORE SCHEDULING ANY OBSERVATION BY THE ENGINEER.

GN-6

SEE ARCHT. AND MEP DRAWINGS FOR LOCATIONS AND SIZES OF SLAB OPENINGS, SLEEVES, INSERTS, ANCHORS AND BOLTS REQUIRED BY VARIOUS TRADES.

GN-7

THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER CONSTRUCTION LOADS APPLIED TO THE PARTIALLY COMPLETED STRUCTURE UNTIL PERMANENT CONNECTIONS ARE MADE, AND ENCLOSED PERMANENTLY AS PER CONSTRUCTION DOCUMENTS. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR IN ALL DIRECTIONS. WHEN REQUIRED, BY THE CONSTRUCTION DOCUMENTS OR THE STRUCTURAL ENGINEER, CONTRACTOR SHALL PROVIDE CALCULATIONS SEALED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF TEXAS WHICH VERIFY THE MEANS OF STRUCTURALLY MAINTAINING THE INTEGRITY OF THE COMPLETED PORTION OF THE STRUCTURE.

GN-8

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE ADEQUACY OF THE STRUCTURE TO SUPPORT CONSTRUCTION LOADS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE TO DESIGN OR CHECK THE STRUCTURE FOR CONSTRUCTION ACTIVITIES.

GN-9

THE ENGINEER SHALL NOT HAVE CONTROL OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DESIGN LOADS:

DL-1

APPLICABLE CODES AND STANDARDS:  
BUILDING CODE OF JURISDICTION: 2015 INTERNATIONAL BUILDING CODE  
STRUCTURAL CONCRETE CODE: AMERICAN CONCRETE INSTITUTE (ACI 318-14)  
STRUCTURAL STEEL CODE: AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC 360-10)

DL-2

LIVE DESIGN LOADS  
TYPICAL GROUND FLOOR  
TYPICAL ROOF

100  
20

PSF  
PSF

DL-3

DEAD DESIGN LOADS  
ROOF  
NOTES:  
1. COLLATERAL LOAD INCLUDES LIGHTING, MISC FRAMING

10  
5

PSF  
PSF

DL-4

WIND DESIGN LOADS  
WIND RISK CATEGORY  
ULTIMATE WIND SPEED Vult  
NOMINAL DESIGN WIND SPEED Vind  
10 YEAR MEAN RECURRENCE WIND SPEED  
WIND EXPOSURE CLASSIFICATION  
DIRECTIONALITY FACTOR, Kd  
SEE COMPONENTS & CLADDING WIND PRESSURE NOTES FOR WIND DESIGN INFORMATION NOT INCLUDED IN THIS SECTION.

III  
120 mph  
93 mph  
76 mph  
B  
0.85

DL-5

SEISMIC DESIGN LOADS  
SEISMIC RISK CATEGORY  
SEISMIC IMPORTANCE FACTOR  
SITE CLASS  
SEISMIC DESIGN CATEGORY

III  
1.25  
D  
A

DL-6

ROOF BEAM DEFLECTION LIMITS  
LIVE LOAD  
DEAD + LIVE LOAD

L/360  
L/240

BUILDING PAD PREPARATION:

THE PROJECT GEOTECHNICAL REPORT AND ANY ADDENDUMS WERE USED IN THE DESIGN. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THIS INFORMATION AND BECOME FAMILIAR PRIOR TO THE BEGINNING OF ANY FOUNDATION WORK.

REPORT BY: TERRACON  
REPORT DATE: APRIL 16, 2021  
REPORT NUMBER: 9421551

UF-1

PROVIDE TEMPORARY PROVISION FOR DRAINAGE OF THE BUILDING PAD AREA DURING CONSTRUCTION AND PERMANENT DRAINAGE AWAY FROM BUILDING AFTER CONSTRUCTION.

UF-2

AT THE ENTIRE AREA OCCUPIED BY THE BUILDING (AND FOR A DISTANCE OF 3.0 FT. OUTSIDE OF THE BUILDING), REMOVE ORGANIC AND OTHER DELETERIOUS MATERIALS. DO NOT USE FOR UNDERFLOOR FILL.

UF-3

PROOFROOF PAD AS PER THE PROJECT GEOTECHNICAL REPORT.

UF-4

THE EXPOSED SUBGRADE SHALL BE SCARIFIED AND COMPACTED PER THE GEOTECHNICAL REPORT MENTIONED ABOVE.

UF-5

BRING THE BUILDING PAD TO UNDERSIDE OF SLAB WITH ON SITE MATERIAL FILL AS SPECIFIED PER THE GEOTECHNICAL REPORT TO ACHIEVE A MAX. PVR LISTED IN UF-10.

UF-6

EXCAVATE BEAM TRENCHES TO MEET PLANNED DIMENSIONS. PRIOR TO PLACEMENT OF CONCRETE, HAND COMPACT BOTTOM OF BEAM TRENCHES PER THE GEOTECHNICAL REPORT. STANDING WATER SHOULD NOT BE PERMITTED IN THE BEAM TRENCHES AFTER FINAL COMPACTION AND BEFORE PLACEMENT OF CONCRETE. REMOVE ALL LOOSE MATERIALS AND UNSATURATE SOILS DUE TO RAINFALL OR BY DESICCATION.

UF-7

PLACE A VAPOR RETARDER WITH THE FOLLOWING REQUIREMENTS PER CONSTRUCTION DOCUMENTS:  
UNDER MAT FOUNDATIONS: 15 MIL, CLASS A WITH A MAXIMUM WATER VAPOR PERMEANCE 0.009 PERMS.

UF-8

THE GENERAL CONTRACTOR IS TO COORDINATE THE LOCATION AND MOISTURE REQUIREMENTS OF THE FLOOR COVERINGS. PROVIDE A SMOOTH SUBGRADE TO PREVENT PROTRUSIONS THAT MAY CAUSE DAMAGE OR RUPTURE FILM. LAY FILM ON SUBGRADE INCLUDING BEAM AND FOOTING SOFTS AND SIDES OF BEAMS AND FOOTINGS USING WIDEST PRACTICAL WIDTHS. LAP EDGES OF RETARDER A MIN. OF 6-INCHES, OR AS REQUIRED BY MANUFACTURER, WITH TOP LAP PLACED IN DIRECTION OF CONCRETE FLOW AND TAPE ALL JOINTS. CUT FILM AROUND PIPES AND ROUGH-INS AND SEAL CUTS WITH PRESSURE SENSITIVE TAPE.

UF-9

AT AREAS OUTSIDE THE BUILDING LINE, SLOPE THE TOP SURFACE OF FILL A MIN. 5% FOR A DISTANCE OF 10 FEET TO MATCH FINISH GRADE SLOPE AND HOLD DOWN A MINIMUM OF 10 INCHES BELOW FINISH FLOOR LINE, UNLESS NOTED OTHERWISE ON THE CIVIL ENGINEERS CONSTRUCTION DOCUMENTS.

UF-10

THE OWNER IS TO EMPLOY AN INDEPENDENT TESTING LABORATORY TO TAKE DENSITY TESTS FOR SUBGRADE & EACH LIFT OF SELECT FILL TO MEET THE REQUIREMENTS FOR SPECIAL INSPECTIONS.

UF-11

THE FOLLOWING DESIGN PARAMETERS WERE USED FOR FOUNDATION DESIGN BASED ON THE GEOTECHNICAL REPORT:  
SOIL BEARING CAPACITY: 2,000 PSF  
MAX PVR FOR SLAB ON GROUND IS TO BE 6".

FOUNDATIONS:

FD-1

REFER TO GENERAL NOTES FOR THE PROJECT GEOTECHNICAL REPORT.

FD-2

REFER TO THE PROJECT GEOTECHNICAL REPORT FOR SUBSOIL CONDITIONS THAT MAY BE ENCOUNTERED DURING THE FOUNDATION INSTALLATION.

FD-3

FOOTINGS DESIGN CRITERIA:  
BEARING MATERIAL:  
DESIGNED FOOTING BEARING CAPACITY:  
FOOTINGS SHALL BEAR A MINIMUM OF 2 FT BELOW FINISH GRADE.

FAT CLAY (CH)  
2,000 PSF

FLOOR SLAB:

FS-1

SOIL SUPPORTED SLABS  
OVERALL THICKNESS  
5.0-INCHES  
NOTES:  
1. LOCATE TYPICAL SLAB REINFORCING 2 INCHES BELOW TOP OF SLAB.  
2. SAWJOINTS:  
A. SAWJOINTS SHALL BE A MAXIMUM OF 15 FEET ON CENTER EACH DIRECTION.  
B. LOCATIONS AS SHOWN ON PLAN.  
C. THE RATIO OF SAWJOINTS SPACING IN EACH DIRECTION SHALL BE AS SQUARE AS POSSIBLE. RATIO SHALL NOT EXCEED 1.5 TO 1.

TYP SLAB REINFORCING  
#4 @ 12 EACH WAY

CONCRETE AND REINFORCEMENT:

CN-1

STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH THE CODE APPLICABLE EDITION OF "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)", THE AMERICAN CONCRETE INSTITUTE.

CN-2

CONCRETE REINFORCEMENT SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A 615, GRADE 60, EXCEPT WELDABLE REBARS ASTM A108, GR. 60, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, GRADE 70"

CN-3

DETAIL REINFORCING BARS AND PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH ACI 315.

CN-4

REINFORCING SHALL BE PROPERLY CHAIRED AND TIED PER ACI 315 (SP96) AND CRSI (PLACING REINFORCING BARS) PRIOR TO PLACING CONCRETE.

CN-5

PLACEMENT OF REINFORCING STEEL SHALL BE OBSERVED BY THE OWNER'S INSPECTION AGENT PRIOR TO CONCRETE PLACEMENT UNLESS APPROVED OTHERWISE.

CN-6

CONCRETE SHALL BE NORMAL WEIGHT STONE AGGREGATE CONCRETE UNLESS NOTED OTHERWISE. PROVIDE ADMIXTURES AS REQUIRED TO IMPROVE WORKABILITY. PLASTIC CONCRETE TEMPERATURE SHALL NOT EXCEED 90 DEGREES PRIOR TO PLACEMENT. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING MOST CURING PROCEDURES, OR CURING COMPOUNDS WHICH WILL NOT INTERFERE WITH THE BONDING OF FLOORING. THE FLYASH CONTENT SHALL NOT EXCEED 30% OF THE PERCENTAGE OF CEMENTITIOUS MATERIALS. NO FLY ASH SHALL BE USED AT ARCHITECTURALLY EXPOSED CONCRETE WITHOUT PRIOR APPROVAL FROM ARCHITECT. IN ADDITION TO ABOVE THE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:

DESCRIPTION OF USE

28-DAY COMP DESIGN STRENGTH

MAX AGG. SLUMP

MAX W/C RATIO

AIR CONTENT

3,000 PSI

3-5"

34"

0.50

4-6%

CN-7

GRADE BEAMS AND FOOTINGS  
PROVIDE A SET OF CYLINDERS IN ACCORDANCE WITH ASTM C 31 TO BE TAKEN BY AN INDEPENDENT TESTING LAB AT THE FREQUENCY SPECIFIED IN ACI 318 AND THE GOVERNING BUILDING CODE WITH LOCAL AMENDMENTS. COMPRESSION TEST RESULTS SHALL BE REPORTED TO THE ENGINEER WITHIN 24 HOURS.

CN-8

FORMWORK SHALL REMAIN IN PLACE AND NO SUBSEQUENT CONSTRUCTION WILL BE ALLOWED UNTIL CONCRETE HAS REACHED 75% OF DESIGN COMPRESSIVE STRENGTH.

CN-9

PORTLAND CEMENT SHALL CONFORM TO ASTM - C150, TYPE III.

CN-10

NO WELDING OF REINFORCING BARS OR TORCHING TO BEND REINFORCING BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE STRUCTURAL ENGINEER.

CN-11

CONCRETE COVER SHOULD BE AS FOLLOWS:  
A. FOOTINGS AND OTHER PRINCIPAL STRUCTURAL MEMBERS IN WHICH CONCRETE IS CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3 INCHES.  
B. WHERE CONCRETE SURFACES, AFTER REMOVAL OF FORMS, ARE EXPOSED TO WEATHER OR EARTH - 3 INCHES.

CN-12

SET AND BUILD INTO FORM WORK ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR OTHER WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. REBAR PROJECTING FROM CONCRETE SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE.

CN-13

TYPICAL LAP REINFORCING IS 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.

CN-14

CONCRETE SHALL BE FORMED WHERE EXPOSED TO VIEW.

STRUCTURAL STEEL:

SS-1

STRUCTURAL STEEL SHALL CONFORM TO THE 2010 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, AISC 360-10.

SS-2

WELDING: CODE APPLICABLE EDITION OF THE STRUCTURAL WELDING CODE - STEEL, AMERICAN WELDING SOCIETY (AWS D1.1 AND AWS D1.3).

SS-3

STEEL SHALL BE MEET THE FOLLOWING REQUIREMENTS:  
WIDE FLANGES  
OTHER ROLLED SHAPES, PLATES, BARS  
HOLLOW STRUCTURAL SECTIONS - HSS (Fy 46ksi)  
ERECTOR BOLTS  
ANCHOR BOLTS  
DEFORMED BAR ANCHORS (DBA)

ASTM A992 Gr. 50  
ASTM A36  
ASTM A500 Gr. B  
ASTM A307  
ASTM F1554 Gr. 36  
ASTM A706 Gr. 60

SS-4

STEEL SHALL BE CLEANED PER SSPC-SP2. STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED OXIDE PRIMER, MINIMUM OF 1.5 MILS (DRY FILM THICKNESS). DO NOT PAINT STRUCTURAL STEEL AND ANCHOR RODS THAT ARE TO BE EMBEDDED IN CONCRETE OR TO RECEIVE FIREPROOFING.

SS-5

WELDING SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES, IN ACCORDANCE WITH SECTION 4 OF THE AWS D1.1 "STRUCTURAL WELDING CODE-STEEL", AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELDS AS SHOWN ON THE DRAWINGS. WELDS SHALL BE PERFORMED USING E70XX SERIES LOW HYDROGEN RODS. WELDS SHALL BE VISUALLY INSPECTED IN ACCORDANCE WITH SECTIONS 6.5 AND 6.6 OF THE AWS D1.1, "STRUCTURAL WELDING CODE-STEEL". VISUAL INSPECTIONS OF WELDS SHALL BE PERFORMED BY AN INDEPENDENT TESTING AGENCY. UNLESS NOTED OTHERWISE ON THE PLANS, SHOP FABRICATED OR FIELD ASSEMBLED ADJOINING STEEL MEMBERS SHALL BE CONNECTED USING CONTINUOUS, ALL AROUND/BOTH SIDES OF MEMBER FILLET WELDS IN ACCORDANCE WITH THE MINIMUM SIZE FILLET WELD BELOW, UNLESS NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT THEIR DISCRETION.

ABBREVIATIONS

&

- AND

@

- AT

C

- CENTERLINE

NV

- INVERTED

Ø

- DIAMETER

#

- NUMBER/POUND

AB

- JOINT

AESS

- ARCHITECTUALLY EXPOSED

APPROX

- APPROXIMATE

ARCH

- ARCHITECT/ARCHITECTURAL

ADH

- ADHESIVE

CLG

- CELING

BP

- BASE PLATE

BL

- BUILDING LINE

BUR

- BUILT-UP JOINT

BM

- BEAM

BOT

- BOTTOM

CONSTR

- CONSTRUCTION

BOLDG

- BUILDING

BSMT

- BASEMENT

BRC

- BEARING

BTWN

- BETWEEN

CANT

- CANTILEVER

CLF

- COLD FORMED METAL FRAMING

CIP

- CAST-IN-PLACE

CJ

- CONSTRUCTION JOINT

CLG

- CELING

CLR

- CLEAR

CMU

- CONCRETE MASONRY UNITS

COL

- COLUMN

CONC

- CONCRETE

CONN

- CONNECTION

CONSTR

- CONSTRUCTION

CONT

- CONTINUOUS

CONTR

- CONTRACTOR

EXP

- DEFORMED BAR ANCHOR

DE

- DECK

DEMO

- DEMOLITION

DIAG

- DIAGONAL

DIM

- DIMENSION

DL

- DEAD LOAD

DBL

- DOUBLE

DN

- DOWN

DOWL

- DOWEL

DWG

- DRAWING

EA

- EACH

EJ

- EACH FACE

EXP

- EXPANSION JOINT

ELEV

- ELEVATION

EQU

- EQUAL

EQUIP

- EQUIPMENT

EW

- EACH WAY

EXIST

- EXISTING

EXP

- EXPANSION

EXT

- EXTERIOR

FND

- FOUNDATION

FLOOR

- FLOOR DRAIN

FS

- FAR SIDE

FLD

- FINISH

FLR

- FLOOR

FT

- FOOT OR FEET

FTG

- FOOTING

G

- GAGE

GALV

- GALVANIZED

GC

- GENERAL CONTRACTOR

GR

- GRADE

HK

- HOOK

HZ

- HORIZONTAL

HCA

- HEADED CONCRETE ANCHOR

HS

- HIGH STRENGTH

HSA

- HEADED STUD ANCHOR

ICF

- INSULATED CONCRETE FORM

ID

- INSIDE DIAMETER

IN

- INCH

INV

- INVERTED

INT

- INTERIOR

JOIST

- JOIST

JOINT

- JOINT

K

- KIP (THOUSAND POUNDS)

LBS

- POUND

LDH

- LONG DIMENSION HORIZONTAL

LF

- LINEAR FOOT

LH

- LONG LEG HORIZONTAL

LG

- LONG

LLV

- LONG LEG VERTICAL

MAX

- MAXIMUM

MECH

- MECHANICAL

MEZZ

- MEZZANINE

MISC

- MISCELLANEOUS

MIN

- MINIMUM

MID

- MIDDLE

MAS

- MASONRY

N

- NEAR SIDE

NOM

- NOMINAL

NTS

- NOT TO SCALE

OC

- ON CENTER

OD

- OUTSIDE DIAMETER

OP

- OPPOSITE HAND

OPNG

- OPENING

OPP

- OPPOSITE

PREC

- PRECAST

PREFAB

- PREFABRICATED

PSF

- POUND PER SQUARE FOOT

PSI

- POUND PER SQUARE INCH

PL

- PLATE

R

- RISER

RAD

- RADIUS

RD

- ROOF DRAIN

REF

- REFERENCE

REINF

- REINFORCING/REINFORCED

REQ

- REQUIRED

SPAC

- SPACES/SPACING

SCHED

- SCHEDULE

SECT

- SECTION

SHT

- SHEET/ SHEATHING

SM

- SIMILAR

SPEC

- SPECIFICATION

SLOPE

- SLOPE

SSS

- STANDARD STRUCTURAL STEEL

STIFF

- STIFFENERS

STR

- STIRRUPS

SQ

- SQUARE

STD

- STANDARD

STL

- STEEL

STAR

- STAR

STRUCT

- STRUCTURE/STRUCTURAL

SYMM

- SYMMETRICAL

T

- TREAD

T&B

- TOP AND BOTTOM

THK

- THICK/THICKNESS

TOP

- TOP OF CONCRETE

TOP

- TOP OF JOIST

TOP

- TOP OF STEEL

TOP

- TOP OF WALL

TYP

- TYPICAL

UNO

- UNLESS NOTED OTHERWISE

VERT

- VERTICAL

W

- WITH

W/P

- WORK POINT

WYF

- WELDED WIRE FABRIC

WWM

- WELDED WIRE MESH

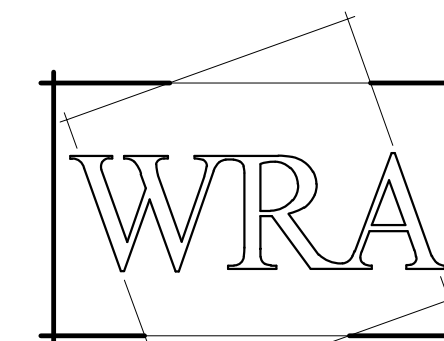
alpha



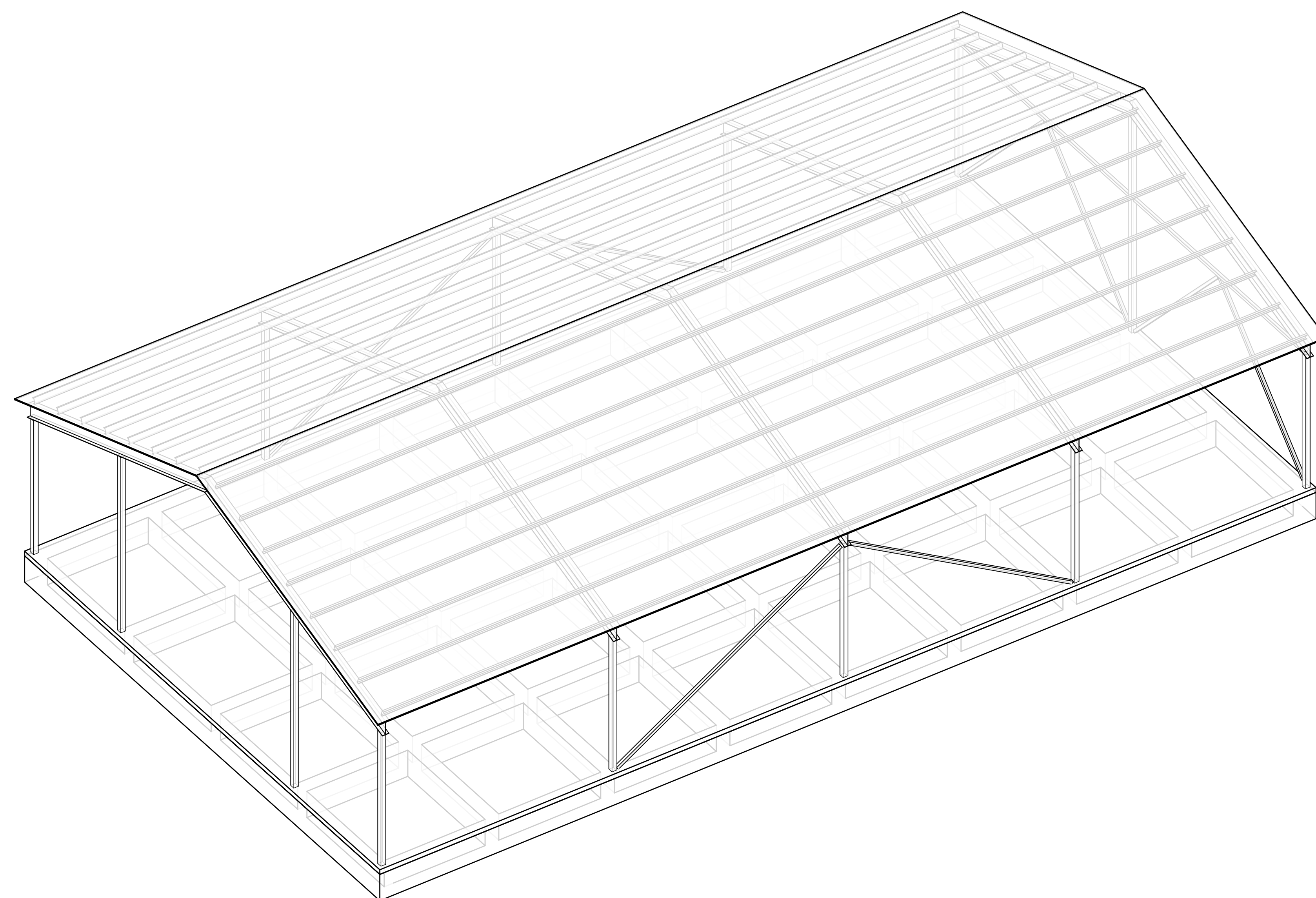
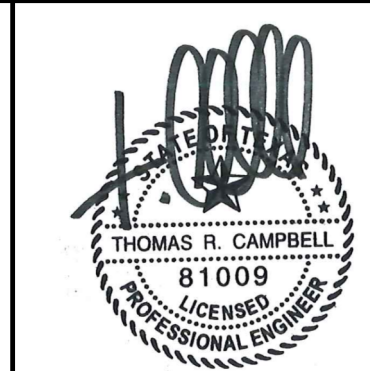
Alpha Consulting Engineers  
4975 Preston Park Blvd  
Suite 640W, Plano, TX 75093  
O 469.209.0762  
Alpha Project No. 022061  
P-1010



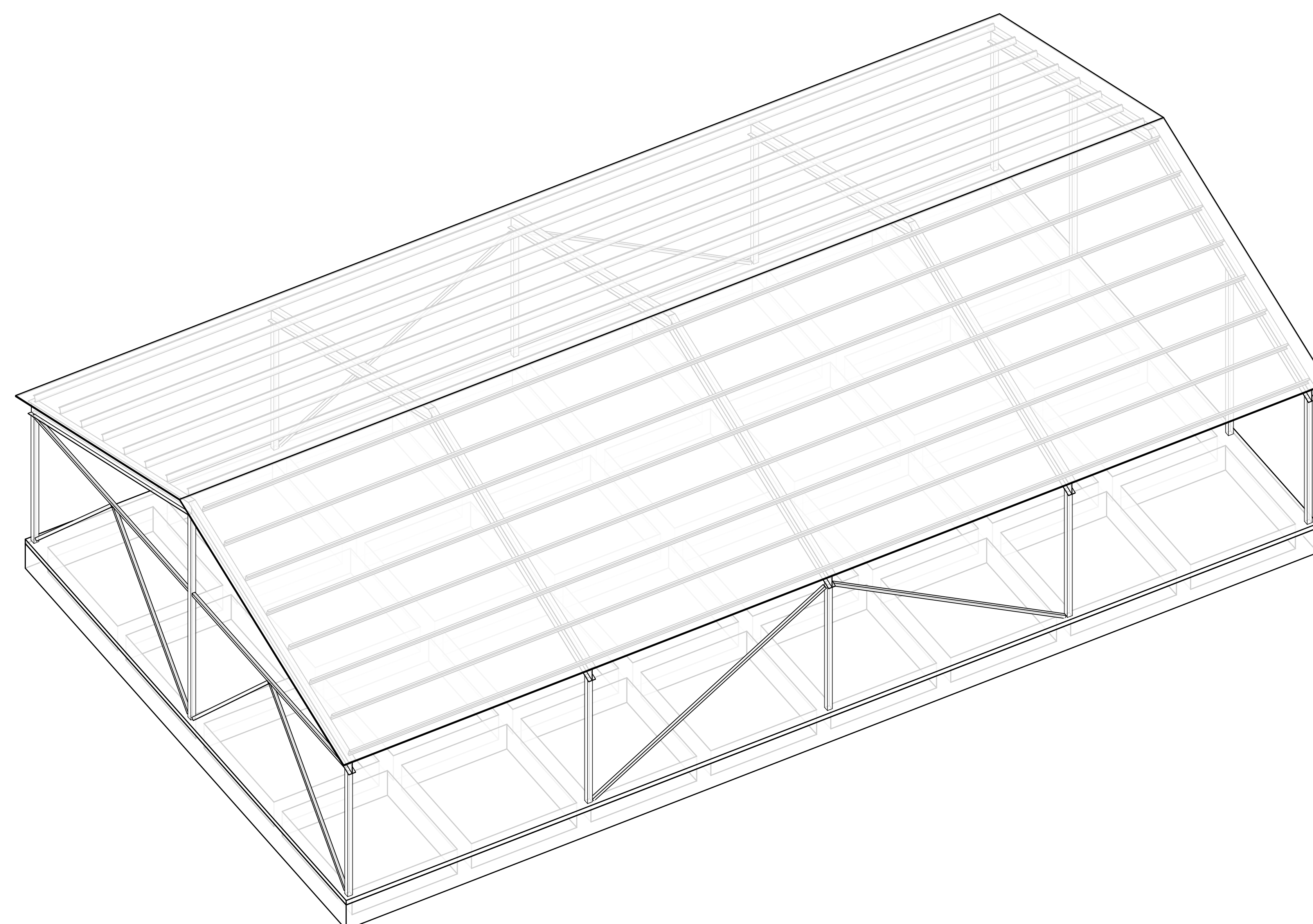
**ISOMETRIC VIEW NOTES:**  
ISOMETRIC VIEWS ARE GENERAL REPRESENTATION OF PRIMARY STRUCTURAL SYSTEM.  
NOT ALL STRUCTURAL ELEMENTS ARE SHOWN. REFER TO PLANS AND DETAILS FOR  
SPECIFIC STRUCTURAL CONDITIONS.



**WRA Architects, Inc.**  
12377 Merit Drive  
Suite 1800  
Dallas, Texas 75251  
214.750.0077 voice  
214.750.5931 fax  
[www.wraarchitects.com](http://www.wraarchitects.com)



1 ISOMETRIC-WEST  
SCALE :



2 ISOMETRIC-EAST  
SCALE :

**Woodrow Wilson HS - Batting Cages**  
100 S Glasgow Dr, Dallas, TX - 75214

REVISIONS:	
No.	Date
JOB NO.	22
DATE:	05.12.2022
PERSPECTIVES	
S1.2	



Alpha Consulting Engineers  
4975 Preston Park Blvd  
Suite 640W, Plano, TX 75075  
O 469.209.0762  
Alpha Project No. D2206  
F-1010

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1/13/2022 9:20:17 AM

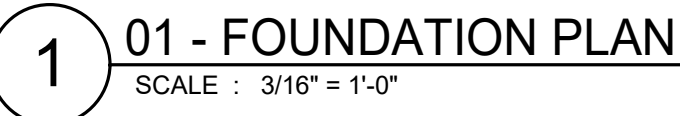
CA212-398(I VO)<sup>5/</sup>

C-1-Application for Certificate of Appropriateness

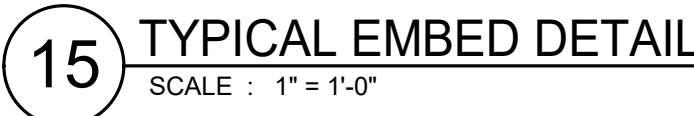
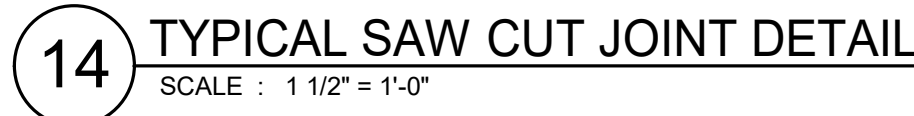
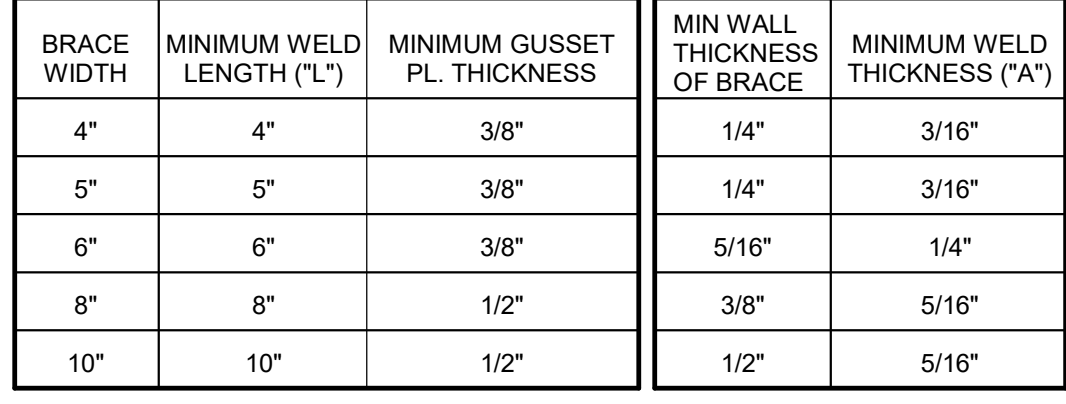
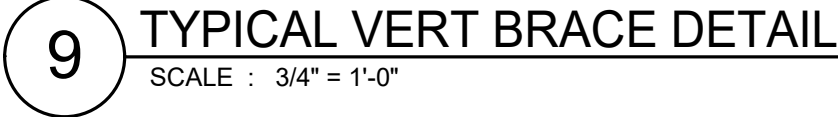
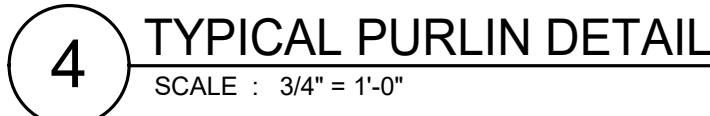
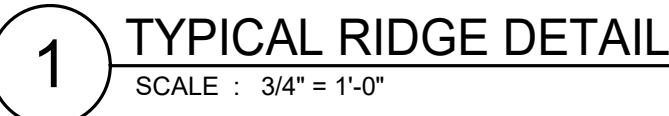
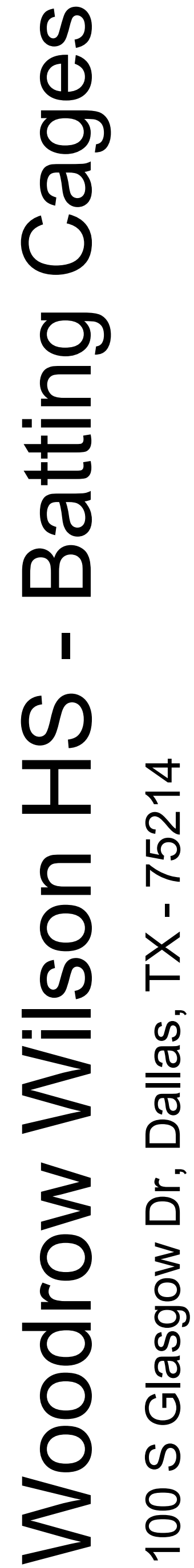




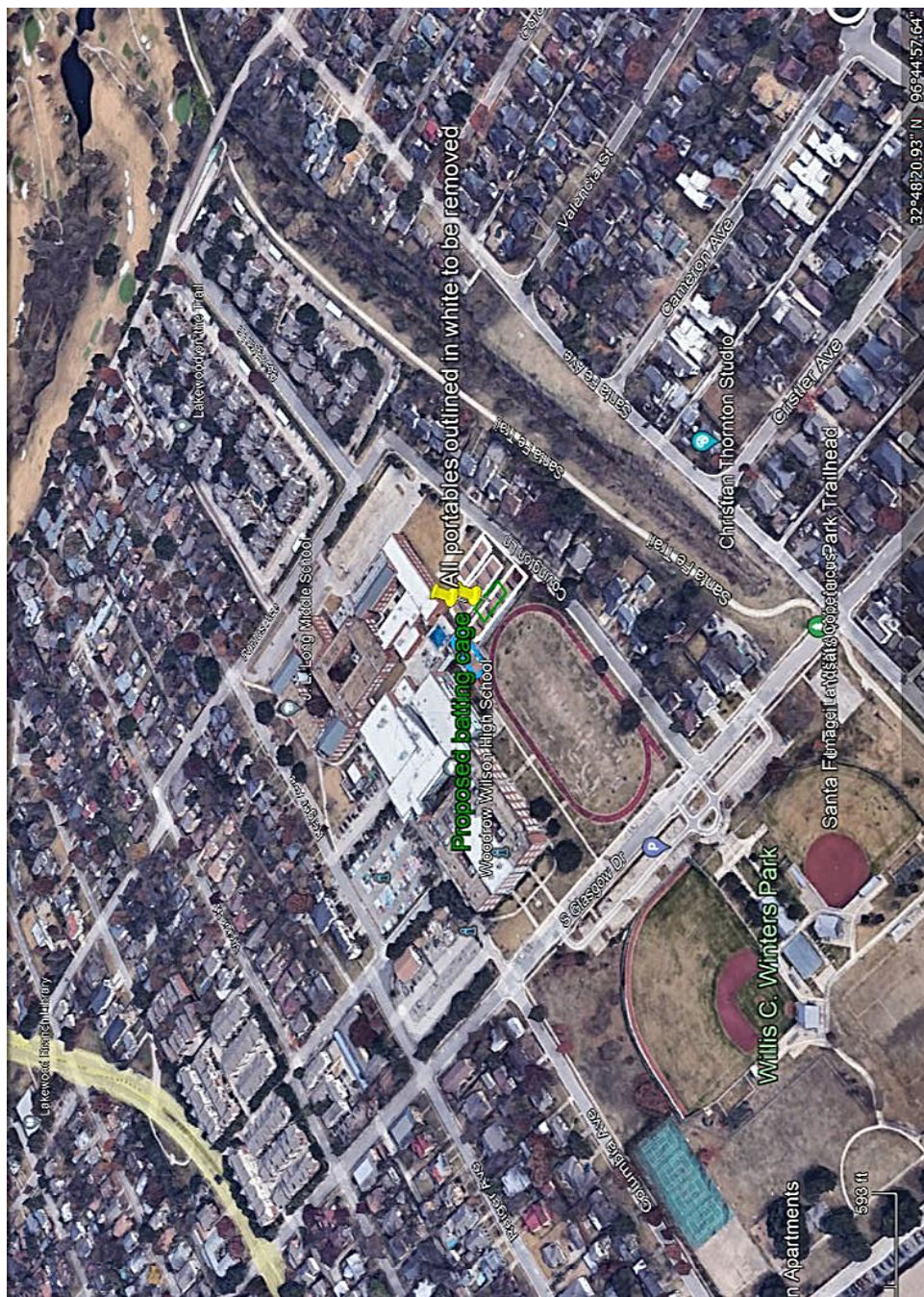
REVISIONS:	
No.	Date
JOB NO.	221
DATE:	05.12.2022
STRUCTURAL PLANS	
S2.1	
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CA212-398(LVO)



C1-Application for Certificate of Appropriateness





CA212-398(LVO)



C1-Application for Certificate of Appropriateness





CA212-398(LVO)




C1-Application for Certificate of Appropriateness



# COMMERCIAL/INDUSTRIAL COLOR CHART

## ❖ SIGNATURE® 200 Standard Colors SILICONIZED POLYESTER Polar White is a Straight Polyester. 26-GAUGE MATERIAL

- Final color selection should be made from a dual color chips.
- For the most current information available, visit our website at [www.ssgsteel.com](http://www.ssgsteel.com).
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- Signatube is a registered trademark of BNS Group, Inc. KYNAR 500® is a registered trademark of Arkema, Inc. HYLAR 5000 is a registered trademark of Solvay Solenis.

			
HAWAIIAN BLUE* SR .32 SR135	CRIMSON RED* SR .33 SR134	FERN GREEN* SR .28 SR129	BURNISHED SLATE* SR .28 SR129
			
ASH GRAY* SR .48 SR156	SADDLE TAN* SR .48 SR156	DESERT SAND* SR .42 SR148	KOKO BROWN* SR .28 SR130
			
CHARCOAL GRAY* SR .28 SR130	POLAR WHITE** SR .38 SR169	RUSTIC RED* SR .36 SR140	LIGHT STONE* SR .50 SR158
			
GALLERY BLUE* SR .28 SR130			

COOL ROOF COLORS

## ❖ SIGNATURE® 300 Standard Colors KYNAR 500\* HYLAR 5000\* LOW GLOSS 26-GAUGE MATERIAL PBR, PBU, PBA, PBC, PBD Panels only

- Also available in 24-gauge

			
MEDIUM BRONZE* SR .33 SR136	SNOW WHITE* SR .65 SR179	SLATE GRAY* SR .37 SR141	ALMOND* SR .63 SR176
			
CLASSIC GREEN* SR .28 SR130	BROWNSTONE** SR .47 SR154	BRITE RED SR .40 SR155	HARBOR BLUE* SR .28 SR130

★ ENERGY STAR  
Qualified Color



Dallas, TX 800-214-6224  
Greenville, TX 972-442-3178

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-402(CVO)  
LOCATION: 3535 Grand Ave  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 7  
ZONING: CR,CS,IM,MF-2(A),NS(A),PD-288

PLANNER: Carlos van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Fair Park (H-33)  
MAPSCO: 46-K, 46-L, 46-P, 46-Q, 46-R, 46-U  
CENSUS TRACT: 0203.00

**APPLICANT:** ALSTON NORMAN**REPRESENTATIVE:** N/A**OWNER:** DALLAS CITY OF**REQUEST:**

A Certificate of Appropriateness to replace existing ground-mounted sign with new sign.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to replace existing ground-mounted sign with new sign be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with the Fair Park preservation criteria; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

No quorum - Comments only. Task Force is supportive of proposed sign. Existing sign was confirmed to be not historic and proposed font matches current signage standard. For future signage, a comprehensive approach to signage at Fair Park is strongly recommended.

















# TASK FORCE RECOMMENDATION REPORT

## FAIR PARK

DATE: 06/08/22

TIME: 11:00 am

MEETING PLACE: 3809 Grand Ave (Tower  
Building Conference Room/Virtual Meeting

Applicant Name: Norman Alston, FAIA

Address: 3535 GRAND AVE

CA Request:

### RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

No quorum - Comments only. Task Force is supportive of proposed sign. Existing sign was confirmed to be not historic and proposed font matches current signage standard. For future signage, a comprehensive approach to signage at Fair Park is strongly recommended.

### Task force members present

<input type="checkbox"/> Ann Piper	<input type="checkbox"/> David Chase	<input type="checkbox"/> Jennifer Picquet-Reyes	<input type="checkbox"/> Nancy McCoy
<input checked="" type="checkbox"/> Jason Hays	<input checked="" type="checkbox"/> Dee Ann Hirsch	<input checked="" type="checkbox"/> Julia Rapport	
<input checked="" type="checkbox"/> Brian Luallen	<input type="checkbox"/> Gary Skotnicki	<input type="checkbox"/> Matt Wood	

RECUSED:

Brian Luallen; Dee Ann Hirsh

Ex Officio staff members Present ☒ Carlos van Onna

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

ABSENT

DATE 06/08/22

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, with a staff briefing at a time to be determined at a later date.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA

Office Use Only

Name of Applicant: Norman Alston, FAIA/Fair Park FirstMailing Address : 506 Monte Vista Dr.City, State and Zip Code: Dallas, Texas 75223Daytime Phone: 214 826-5466 Alternate Phone: 214 563-0684Relationship of Applicant to Owner : Architect**OFFICE USE ONLY**

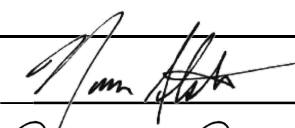

Main Structure:

☐ Contributing☐ Non-contributing**PROPERTY ADDRESS:** 3535 Grand Ave., Dallas, Texas 75210**Historic District:** Fair Park**PROPOSED WORK:**

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Natural History Museum/Fair Park Visitor Center:

Replace existing ground-mounted sign with new sign to express the new use of the building and for listing of major tenants, as shown on attached drawings.

Signature of Applicant: Date: 5/5/2022Signature of Owner: 

(IF NOT APPLICANT)

Date: 5/26/22**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

**Memorandum to the Building Official, a Certificate of Appropriateness has been:**

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

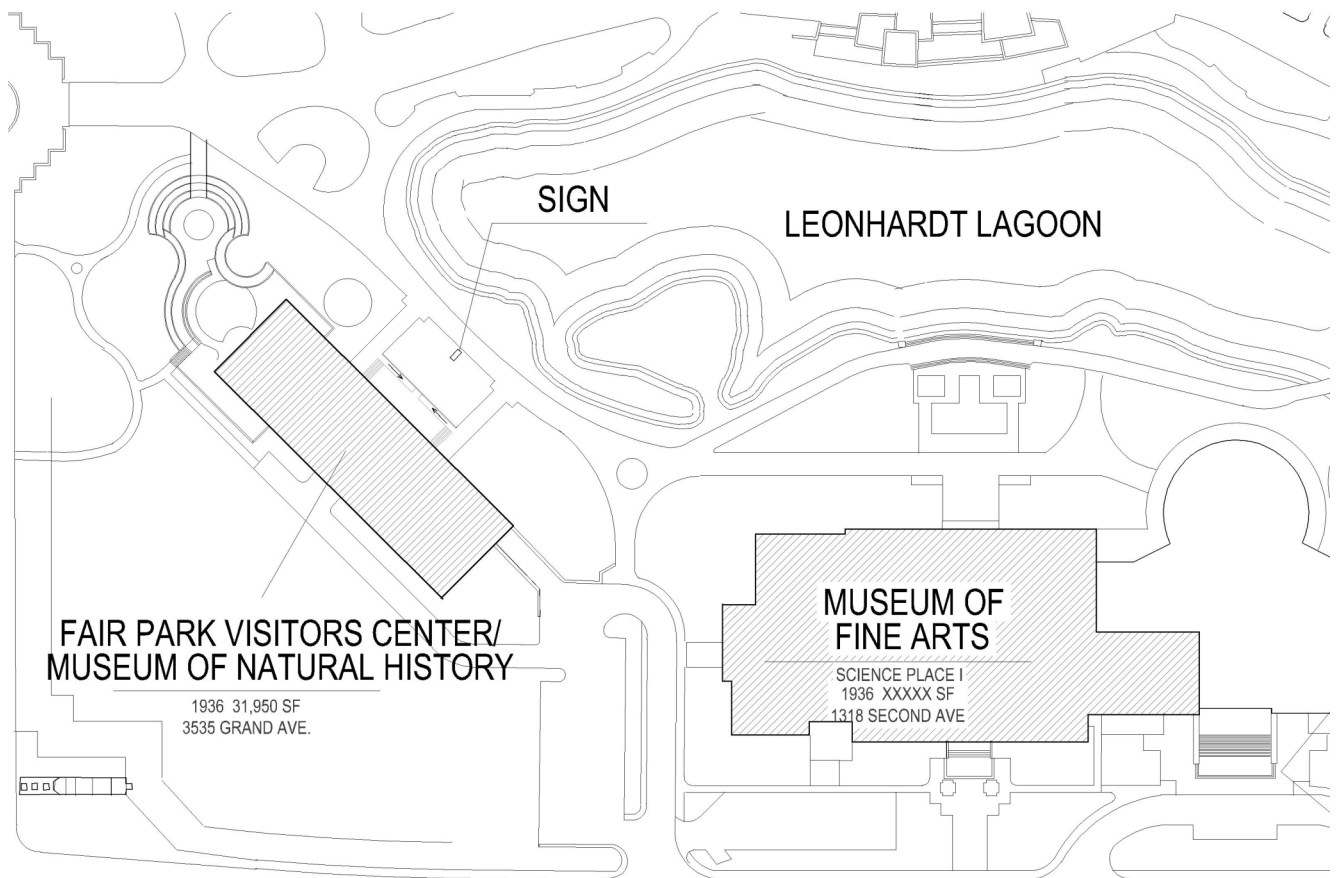
Office of Historic Preservation

Date





Context , with sign in the foreground.



Location map

## Fair Park—Certificate of Appropriateness

### Ground Sign Replacement at the Museum of Natural History/Fair Park Visitors Center

5/5/2022



**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-403(CVO)  
LOCATION: 5526 Tremont St  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-397

PLANNER: Carlos van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Junius Heights (H-128)  
MAPSCO: 46-C  
CENSUS TRACT: 0013.02

**APPLICANT:** GUTIN JOHN WILLIAM

**REPRESENTATIVE:** N/A

**OWNER:** GUTIN JOHN WILLIAM

**REQUEST:**

1. A Certificate of Appropriateness to rehabilitate front and side yard landscaping.
2. A Certificate of Appropriateness to rehabilitate rear landscaping and construct wood arbor in rear yard.

**STAFF RECOMMENDATION:**

1. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with the Junius Heights preservation criteria Section 3.5 for Landscaping; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
2. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with preservation criteria Section 3.5 for Landscaping, Section 9 for Accessory Structures; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

1. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved as presented.
2. That the request for a Certificate of Appropriateness to rehabilitate front and side yard landscaping be approved as submitted.







# A TASK FORCE RECOMMENDATION REPORT

Junius Heights

DATE: 06/09/2022

TIME: 5:30pm

MEETING PLACE: Virtual & Wilson House

APPLICANT NAME: John W. Gutin & Dinesh Kalwani

PROPERTY ADDRESS: 5526 Tremont St

DATE of CA / CD REQUEST: 06/02/2022

## RECOMMENDATION:

☒ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1. Approve front & side as presented. Noel / Vanessa  
Unanimous

2-3 Approve as submitted #203 Aaron / Eric

## Task force members present

☒ Rene Schmidt

☐ Mary Mesh

☒ Eric Graham

☒ Noel Aveton

☒ Vanessa McElroy

☐ Jennifer Szklarski

☒ Aaron Trecartin

☐ Carlos Gomez

☒ Patrick Morais

Ex Officio staff members present ☒ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/09/2022

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ ( )  
Office Use Only

Name of Applicant: JOHN W GUTIN & DINESH KALWANI

Mailing Address : 5526 TREMONT STREET

City, State and Zip Code: DALLAS, TEXAS 75214

Daytime Phone: 469-690-3391 Alternate Phone: 312-404-6137

Relationship of Applicant to Owner : CO-OWNERS

**PROPERTY ADDRESS:** 5526 Tremont St, Dallas, TX 75214

**Historic District:** JUNIUS HEIGHTS

### OFFICE USE ONLY

Main Structure:

\_\_\_\_ Contributing

\_\_\_\_ Non-contributing

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

(1) Front/Side Yard Landscape - Rehab and replant existing boxwood shrubs, and new shrubs on front and side

yards. Add second row of small boxwood shrubs to create beds of flowers (angelonia and salvia). Drip irrigation


(2) Rear Yard Landscape - replace existing old grass/mud with new feathered grass and plantings listed in plans

(3) Rear Yard Hardscape - 12ft x 12ft detached wood arbor for shade, set 11ft back from rear, 5 ft+ from fences

Same height as garage wall, lower height than main rear house. Plan dimensions follow ordinance section 9.-->

Signature of Applicant:  Dinesh Kalwani

Date: 5/29/22

Signature of Owner:  Dinesh Kalwani  
(IF NOT APPLICANT)

Date: 5/29/22

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

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### OTHER:

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Please review the enclosed Review and Action Form

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- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_\_ Yes \_\_\_\_ No

Office of Historic Preservation

Date

**Certificate of Appropriateness Application**

5526 TREMONT STREET, DALLAS, TX 75214  
JUNIUS HEIGHTS HISTORIC DISTRICT

**Applicants: John W. Gutin and Dinesh Kalwani (owners)**

**PROPOSED WORK (contd.)**

**(3) Rear Yard Hardscape** – Hardscape paving will be broom finish concrete.

**Landscaping Plants and Materials (also listed in plan with dimensions)**

BOXWOOD wintergreen 3g

TAXUS densiformis

ANGELONIA 4"

SALVIA perennial

ROCK – Tejas black

GRASS – Mexican feather

MAPLE – Autumn blaze (rear yard)

Yucca Filamentosa

Jasminum



# (1) Front and Side Yard Landscape – Current View 5526 TREMONT STREET





# (1) Front and Side Yard Landscape – PROPOSED 5526 TREMONT STREET

Replant and fill out existing boxwood shrubs, add second layer of shrubs to create two front flower beds; add gravel along the side for better drainage and cleaner look





## (2) Rear Yard Landscape – Current View 5526 TREMONT (NOT VISIBLE FROM TREMONT ST)



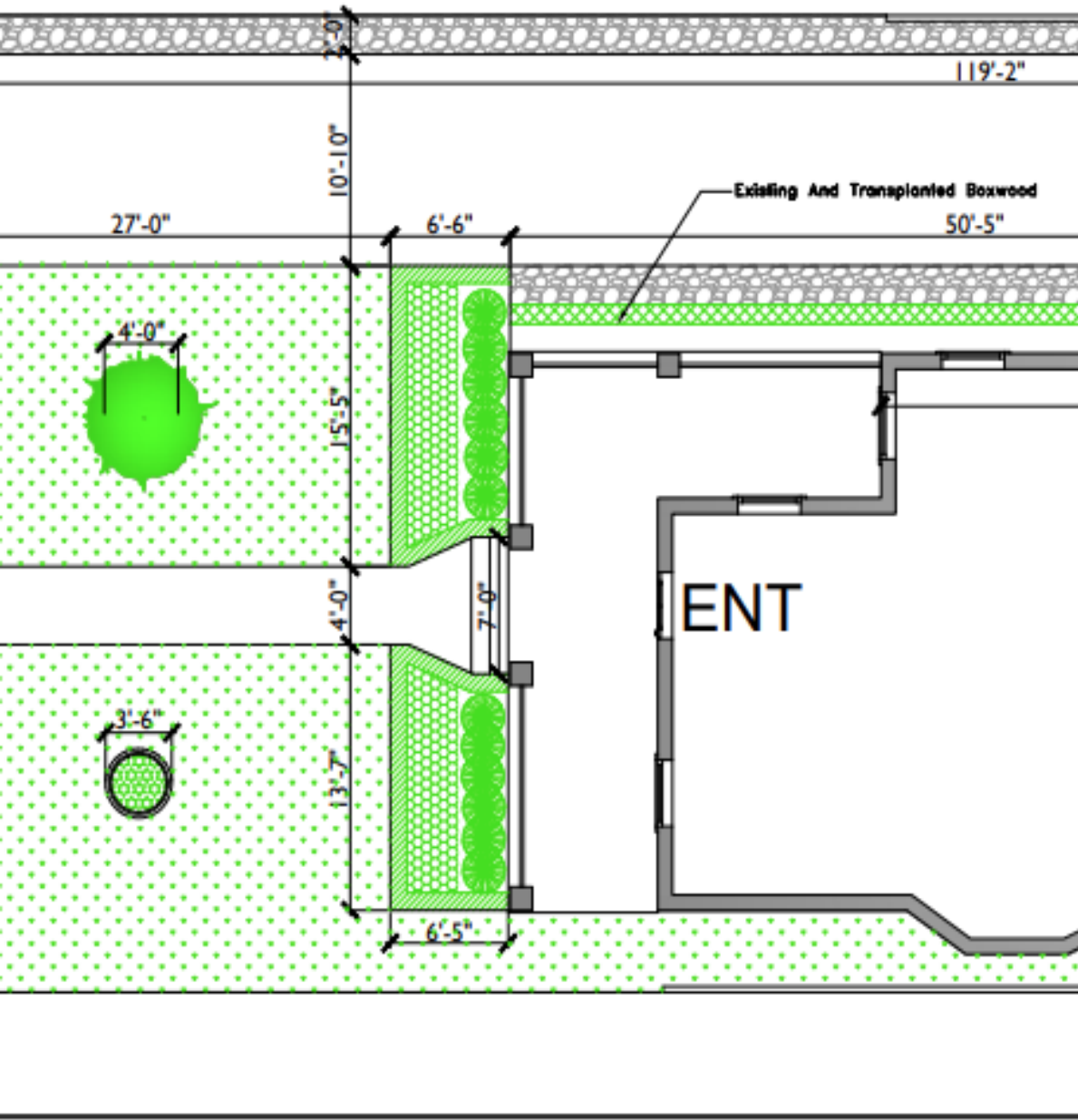


## (2) And (3) – Rear Yard Landscape and Hardscape Proposed

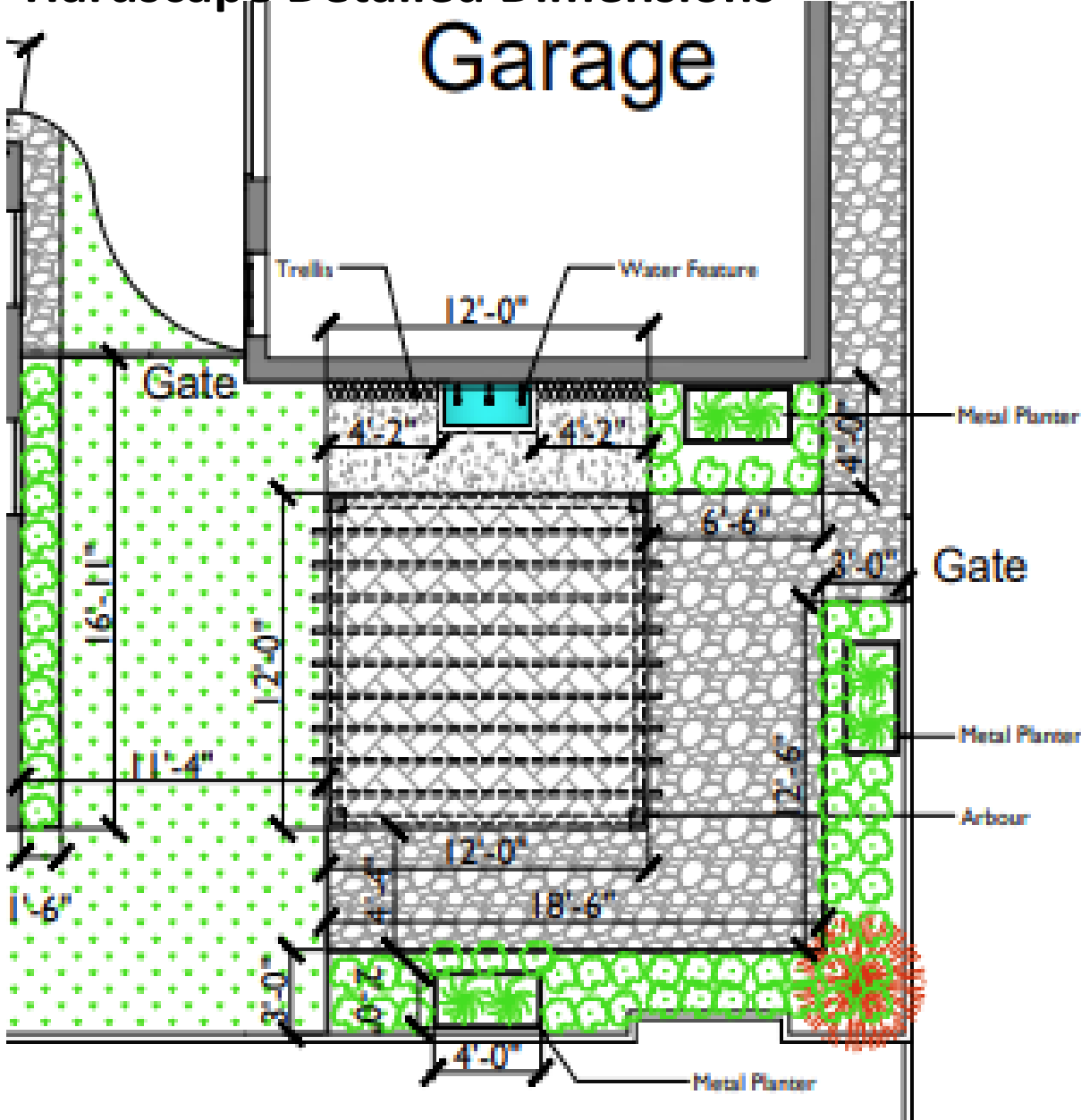





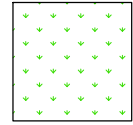
(1) Front and Side Yard Landscape Dimensions

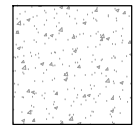


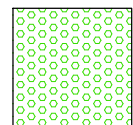
(2) And (3) Rear Yard Landscape and Hardscape Detailed Dimensions

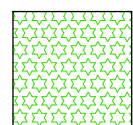


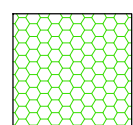
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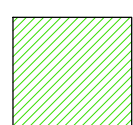
Trellis
- 

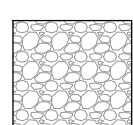
Grass
- 

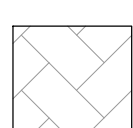
Beach Pebble
- 

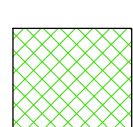
Seasonal Color
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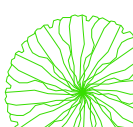
Angelonia
- 


Salvia (36)
- 

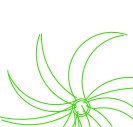
Boxwood
- 

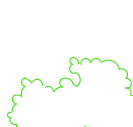
Tejas Gravel
- 


Random Travertine Tile
- 

Existing And Transplanted Boxwood
- 

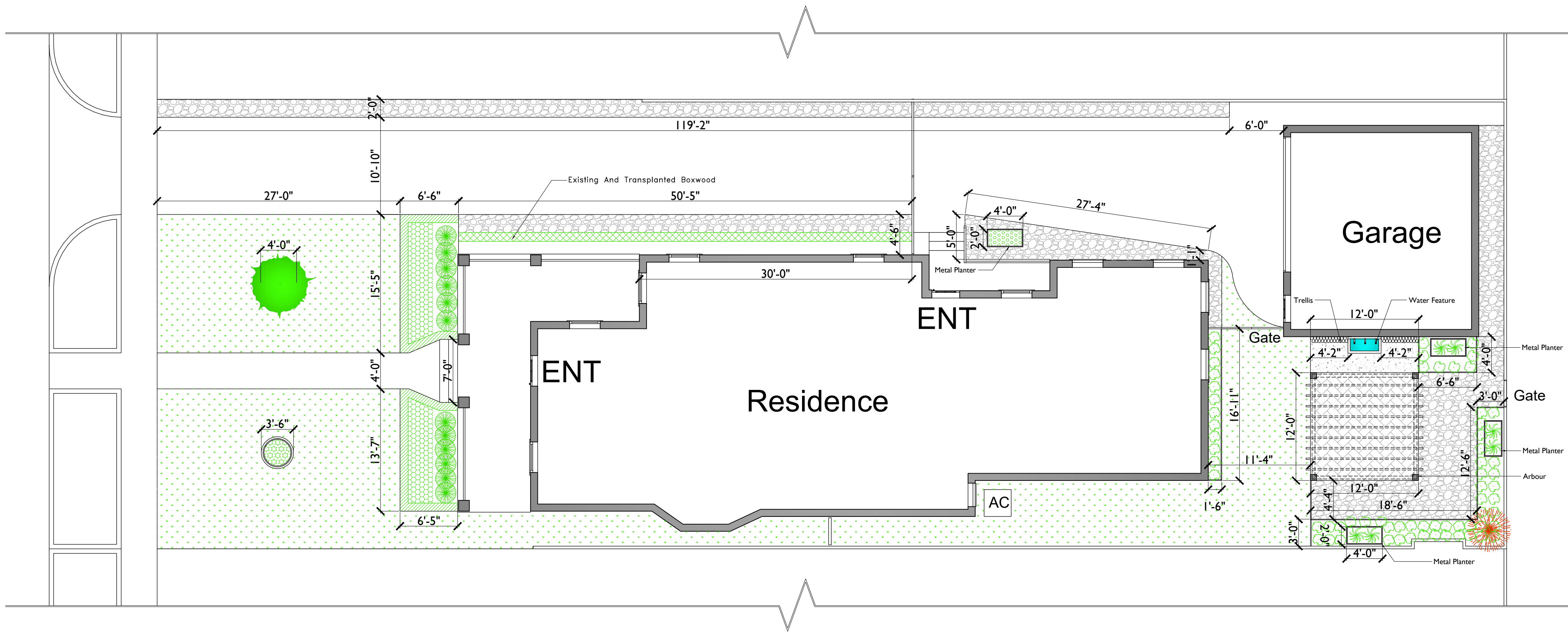
Taxus Densiformis (12)
- 

Autumn blaze (1)
- 

color guard yucca (6)
- 

Feather Grass (64)
- 

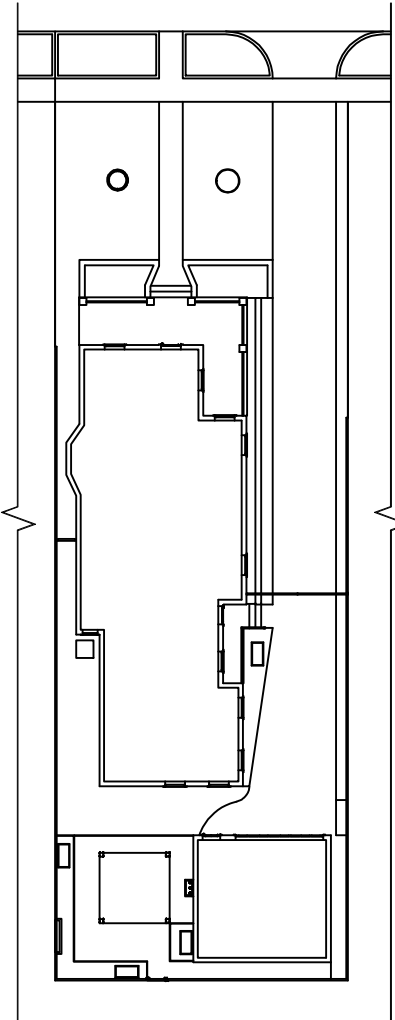
Existing Tree



Gutin & Kalwani Residence

SCALE: 1/8" = 1'-0"

key Plan



Notes  
Dimension Plan

Client Approval

Name

Signature

Date05-24-2022



SCAPES  
INCORPORATED

Technical Designer:  
Ben Tarighie

Design Manager:  
Reza Paziresh

North

Approved  
Checked:  
Drawn:  
Date:05-24-2022

Gutin & Kalwani Residence

Project  
5526 Tremont - Dallas - Tx

Plot No/Area:

Drawing Description:

Drawing Scale1/8" = 1'-00"

Project No:

Drawing number



**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-404(CVO)  
LOCATION: 5530 Worth St  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-397

PLANNER: Carlos van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Junius Heights (H-128)  
MAPSCO: 46-C  
CENSUS TRACT: 0013.02

**APPLICANT:** SOLIS VERONICA

**REPRESENTATIVE:** N/A

**OWNER:** VILLALPANDO BAUDELIO

**REQUEST:**

A Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: that the finished side of the fence must face out as it can be seen from the public right-of-way. The proposed work is consistent with Junius Heights preservation criteria Section 3.6 for Fences; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to replace existing interior side yard fencing to match property boundary be approved with the condition that the finished side needs to face neighbor's driveway.















# A TASK FORCE RECOMMENDATION REPORT

Junius Heights

DATE: 06/09/2022

TIME: 5:30pm

MEETING PLACE: Virtual & Wilson House

APPLICANT NAME: Veronica Solis

PROPERTY ADDRESS: 5530 Worth St

DATE of CA / CD REQUEST: 06/02/2022

## RECOMMENDATION:

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

Approve with Conditions - Gas Side needs to face neighbor's driveway 3.6 c.y. Vanessa/Eric -

## Task force members present

☒ Rene Schmidt

☐ Mary Mesh

☒ Eric Graham

☒ Noel Aveton

☒ Vanessa McElroy

☐ Jennifer Szklarski

☒ Aaron Trecartin

☐ Carlos Gomez

☒ Patrick Morais

Ex Officio staff members present ☒ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker: Vanessa

2nd: Eric

Task Force members in favor:

Task Force members opposed: All

Basis for opposition:

CHAIR, Task Force

DATE 06/09/2022

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: Veronica Solis  
Mailing Address: 11136 Quail Run  
City, State and Zip Code: Dallas, TX 75238  
Daytime Phone: 214-934-9930 Alternate Phone: 214-738-2663  
Relationship of Applicant to Owner: Niece

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

PROPERTY ADDRESS: 5530 Worth St., Dallas, TX 75214  
Historic District: Junius Heights

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

Move existing wooden fence to the <sup>survey</sup> stakes from recent survey boundary. Remove the concrete - broke pieces and redo with cement.

Signature of Applicant: Veronica Solis

Date: 5/1/22

Signature of Owner: X B. G. [Signature]

Date: 5/1/22

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date

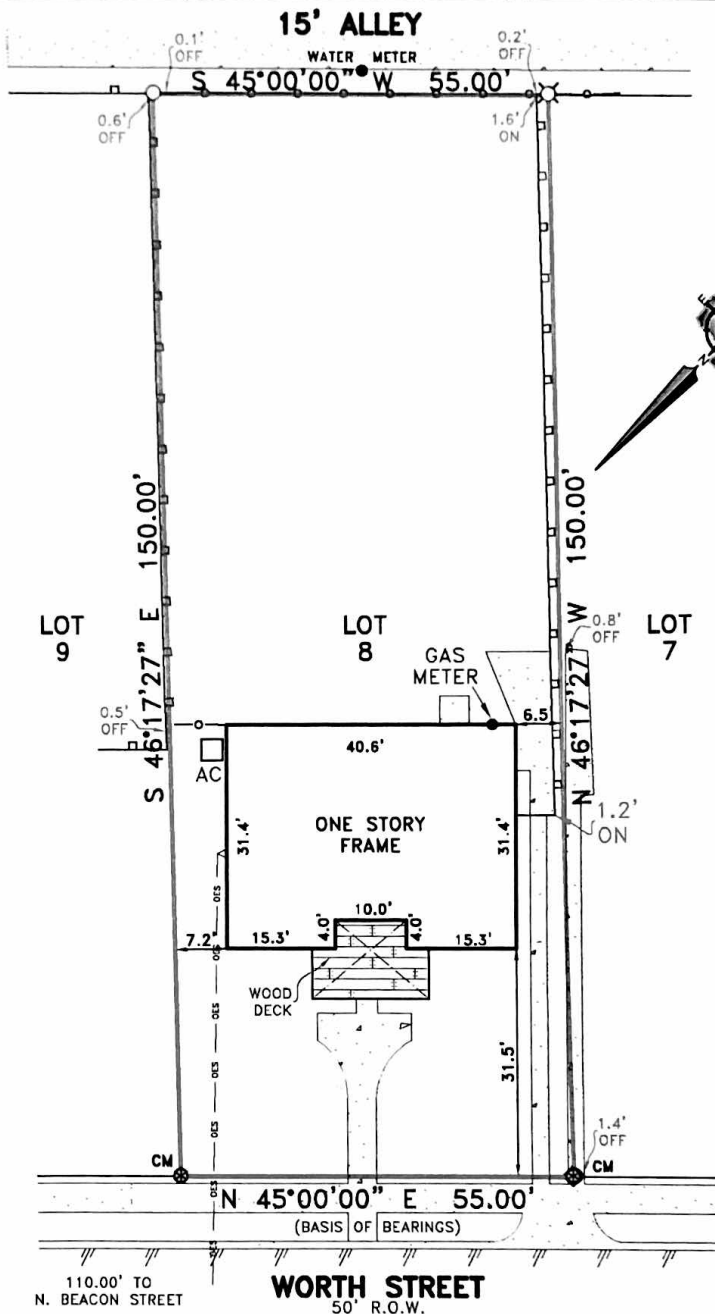


## 5530 Worth Street

Lot 8 in Block 10/1592 of Junius Heights, an addition to the City of Dallas, Texas according to the plat thereof recorded in Volume 1, Page 114, Map Records of Dallas County, Texas, to which map reference is hereby made for a more particular description of said property; otherwise known municipally as 5530 Worth Street.

### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 3/8" ROD FOUND
- ★ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- TEL TELEPHONE PEDESTAL
- BL BUILDING LINE
- AE AERIAL EASEMENT
- SSE SANITARY SEWER EASEMENT
- GM GAS METER
- WM WATER METER
- LP LIGHT POLE
- UE UTILITY EASEMENT
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- W— WOOD FENCE 0.5' WIDE TYPICAL
- I— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



### EXCEPTIONS:

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48113C0345J, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by The Client. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JM/EGR

Scale: 1" = 30'

Date: 03/25/2022

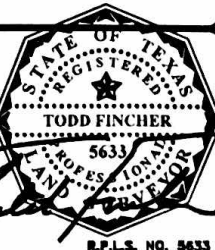
GF No.:

N/A

Job No. 2205599



**CBG**  
SURVEYING TEXAS, LLC



419 Century Plaza Dr., Ste. 210  
Houston, TX 77073  
P 281.443.9288  
F 281.443.9224  
Firm No. 10194280  
www.cbgtxllc.com

R.P.L.S. NO. 5633

Accepted by:

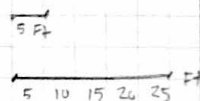
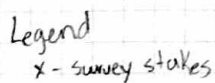
Purchaser

Date:

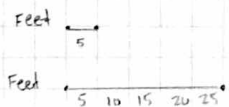
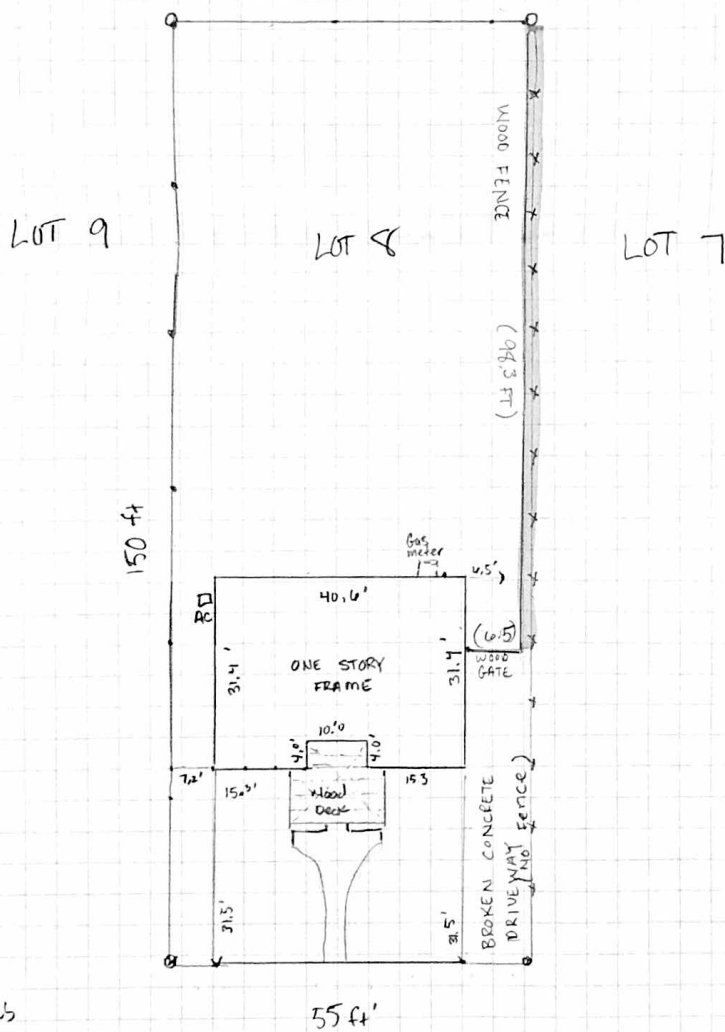
Purchaser



5530 WORTH STREET - LOT 8 in Block 10/1592, Junius Heights



5530 North Street - Lot 8 in Block 10/1592, Junius Heights





LOT  
7

LOT  
8

Backyard

Allen  
↓ ↓





Lot 8

LOT 7









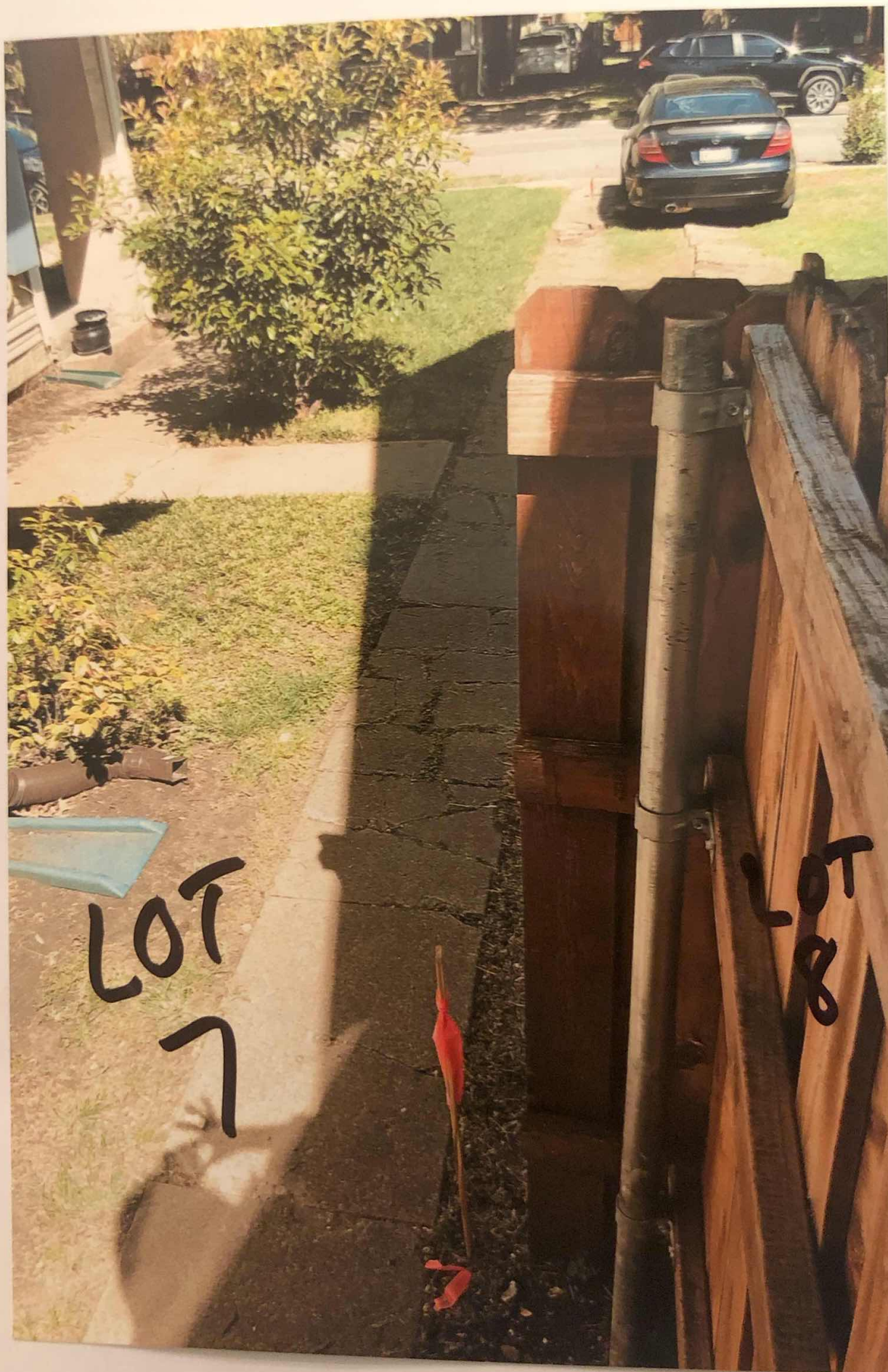












LOT  
7

LOT  
8





Plan to  
move  
fence over

Lot 8

Lot 1





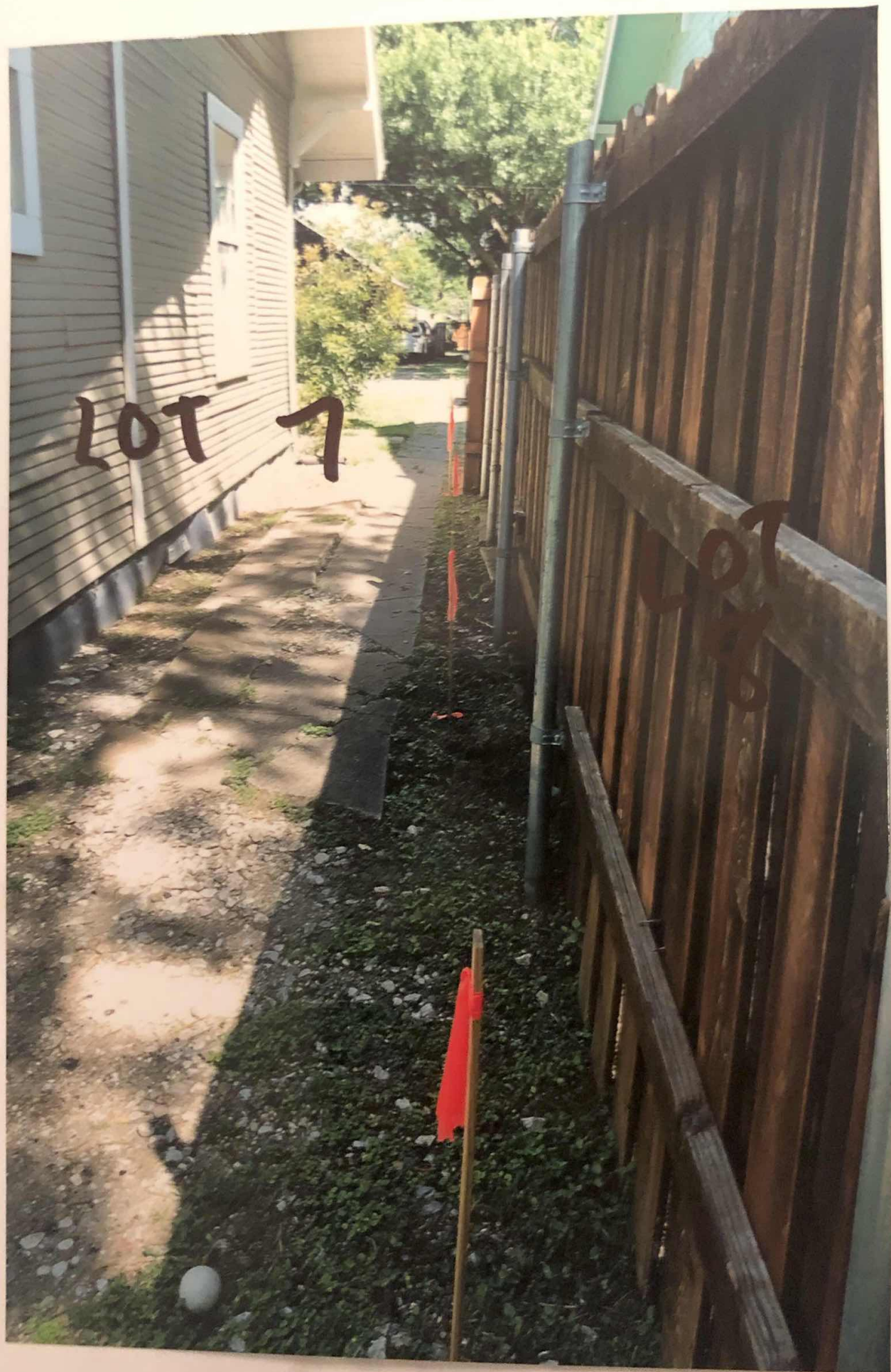
LOT  
7

LOT  
8















**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-397(LVO)  
LOCATION: 4936 Junius St  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-97 (Tract A)

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Munger Place (H-11)  
MAPSCO: 46-B  
CENSUS TRACT: 0013.02

**APPLICANT:** John Gormley

**REPRESENTATIVE:** N/A

**OWNER:** FLORIAN ROBERT J & JOHN W GORMLEY

**REQUEST:**

A Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District.

**BACKGROUND / HISTORY:**

1. 4936 Junius St is a residence listed as contributing to the Munger Place Historic District.
2. On April 3, 2017, a Certificate of Appropriateness (CA) for rehabilitation was approved by the Landmark Commission. Records do not indicate other requests for a CA outside of routine maintenance.
3. In April 2022, the Munger Place Historic District Association first contacted Staff regarding proposed placement of monument neighborhood markers at the intersections of N Collett Ave & Junius St and N Collett Ave & Reiger Ave on existing medians. The current proposal, also reviewed by City of Dallas Department of Transportation, is submitted by John Gormley who resides near one of the subject intersections on behalf of the Association.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Munger Place preservation criteria Sections 51P-97.111(c)(1) for building, placement, form, and treatment and (2) for landscaping; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to install monument neighborhood markers in Munger Place Historic District be approved.



# **TASK FORCE RECOMMENDATION(S)**

# TASK FORCE RECOMMENDATION REPORT

## SWISS AVENUE/MUNGER PLACE

DATE: 06/07/2022

TIME: 5:30 pm

MEETING PLACE: Hybrid Virtual/2922 Swiss Ave

Applicant Name: John Gormley

Address: N Collett Ave at Junius St and Reiger Ave

Date of CA/CD/CR Request: 06/02/2022

### RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

### Task force members present

<input type="checkbox"/> Emily Stevenson (Chair)	<input type="checkbox"/> Kari Houston Osborn	<input checked="" type="checkbox"/> Aaron Trecartin
<input type="checkbox"/> VACANT (Prof)	<input checked="" type="checkbox"/> Bob Cox (Swiss Res)	<input type="checkbox"/> Richard Catron
<input checked="" type="checkbox"/> Greg Johnston		
<input checked="" type="checkbox"/> Sharon van Buskirk	<input type="checkbox"/> VACANT (Swiss alt)	

Ex Officio staff members present: ☒ Laura Groves van Onna

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: *Sharon van Buskirk*

2nd: *Bob Cox*

Task Force members in favor: *all in favor*

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *Sharon van Buskirk*

DATE 06/07/2022

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022, via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: John W. Gortley  
Mailing Address: 4936 Junius St  
City, State and Zip Code: Dallas, Tx 75214  
Daytime Phone: 214-629-7569 Alternate Phone: \_\_\_\_\_  
Relationship of Applicant to Owner: \_\_\_\_\_

### OFFICE USE ONLY

Main Structure:

\_\_\_\_ Contributing

\_\_\_\_ Non-contributing

PROPERTY ADDRESS: Junius St @ Collett, Reiger @ Collett  
Historic District: Munger Place

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Build neighborhood markers in medians newly constructed  
at Junius @ Collett and Reiger @ Collett.  
Land scape medians.  
Continued

Signature of Applicant: [Signature]

Date: 6.1.22

Signature of Owner: \_\_\_\_\_

Date: \_\_\_\_\_

(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_\_ Yes \_\_\_\_ No

Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



## **RELOCATION OF A STRUCTURE**

- ☐ Photograph of structure on current site.
- ☐ Reason for request to move building.
- ☐ Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2).
- ☐ Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street.
- ☐ Images of structures within vicinity of new site.

## **SIGNS**

- ☒ Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan).
- ☒ Image and specifications for proposed sign

## **DEMOLITION**

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact Staff for the Certificate of Demolition application or visit our website to download the application.

### **GENERAL NOTES:**

- Note 1: Minimum scale of  $1/8" = 1'0"$  on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at  $1/2" = 1'$ .
- Note 2: When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.
- Note 3: When material descriptions are required, materials to be used must be designated on the elevation drawings.



**SUBMITTAL CRITERIA CHECKLIST**  
(Customer use only, do not submit)

The documentation listed below must be submitted with the application for a Certificate of Appropriateness. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

**ALL APPLICATIONS**

- ☐ Images of front façade of the structure and all sides where work is proposed.

**REMODELING, ADDITIONS, AND NEW CONSTRUCTION**

- ☐ Applications for new construction and major remodels must be reviewed by the respective Staff member for the district prior to the submittal deadline.
- ☒ Scaled and dimensioned elevation and plan drawings (see Note 1) indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures (see Note 2).
- ☒ Site plan showing: 1) dimensions of lot, 2) location and dimensions of the structure and addition (if applicable), and 3) location of all exterior, ground and roof mounted equipment.
- ☒ Official site survey.
- ☐ Specifications/cut-sheets/images for all proposed exterior materials including siding, doors, windows, lighting, and roof shingles. (See Note 3).
- ☐ Paint chips or specifications (brand, color name) and placement on the structure.
- ☐ New Construction Form required for proposed main and accessory structures.

*Note: All submitted information should also be emailed as a PDF to the respective Staff contact. Do not send large files (over 10 MB) without contacting staff first.*

**WINDOWS AND DOORS**

**REPAIR ONLY**

- ☐ Images of window(s)/door(s) that illustrate existing condition.
- ☐ Detailed description of repair work needed.

**REPLACEMENT**

- ☐ Window survey – contact respective Staff member for survey form.
- ☐ Images of window(s)/door(s) that illustrate existing condition
- ☐ Specification/cut-sheet/image for proposed replacement window(s)/door(s).



Design of neighborhood markers is an adaptation of the columns with urns on houses in the original Munger Place;

Swiss at Collett, Gaston at Collett, Junius at Collett, and Rieger at Collett. The height and width of the markers are within the maximum allowed by the traffic department of the city and dictated the dimensions.

#### Brick

The neighborhood wanted a neutral brick which would not clash with that of surrounding houses, especially the brick houses at Junius and Collett. The proposed brick match in color and textured the brick at 4928 Junius (200 ft from the intersection with Collett).

C.D. Hill, architect of the original Munger Place gates, use the Roman shaped brick on a residence he designed in 1910 just outside the original boundaries of Munger Place (4721 Gaston). He also designed the 1914 Dallas City Hall as well as a residence for his family, still extant at one of the proposed marker locations (Junius at Collett).

#### Cast Stone

Cast stone is slated to match the color of the existing original limestone plaques. The panel within the proposed marker design will be engraved "Munger Place", duplicating the type style used in the original.

#### Urns

An urn tops each marker, the bowl of which will be cast from an original urn found on a column on C.D. Hill's house.

#### Landscape

Plantings comprise masses of dwarf red yucca, which naturally do not grow beyond height allowed. This plant is appropriate for early 20th century Dallas. It is a suggested plant in "Gardening in the South and West", by Marianne Scruggs, 1939 Texas Federation of Garden Clubs. Ms. Scruggs founded the Dallas Garden Club, which now bears her name. Brick pavers in landscape design will be similar in color to that used in the markers and will be engraved with donors' names.





# GASTON AND COLLETT

← Search

≡ 16

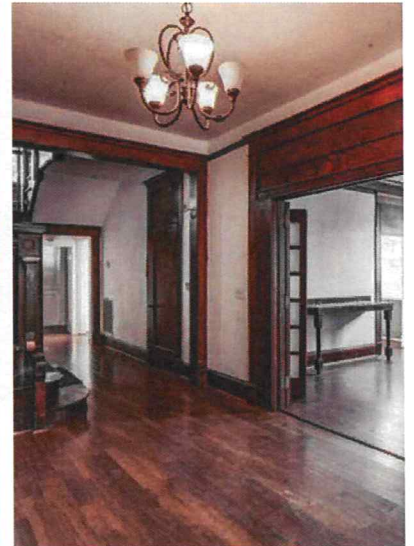
← Search

Overview

Property Details

Sale & Tax History

Schools



PENDING

4721 Gaston Ave, Dallas, TX 75246

**\$850,000**

Est. \$5,603/mo [Get a custom quote](#)

**4**

Beds

**5.5**

Baths

**3,824**

Sq Ft



## About This Home

300 days on Redfin | 2,417 views | 83 favorites | 1 Redfin tour

A great opportunity for investors or those interested in living in a Dallas historic district. This two-story house, built in 1910, is located in the Peak's Suburban Addition Historic District in Old East Dallas. Renovation work is necessary to get it move-in ready. The house includes a rare full

[Continue reading](#) ▼

Listed by Allen Loehr • TREC #0739419 • Keller Williams Urban Dallas

Redfin last checked: [1 minute ago](#) | Last updated May 23, 2022

• Source: NTREIS #14586431

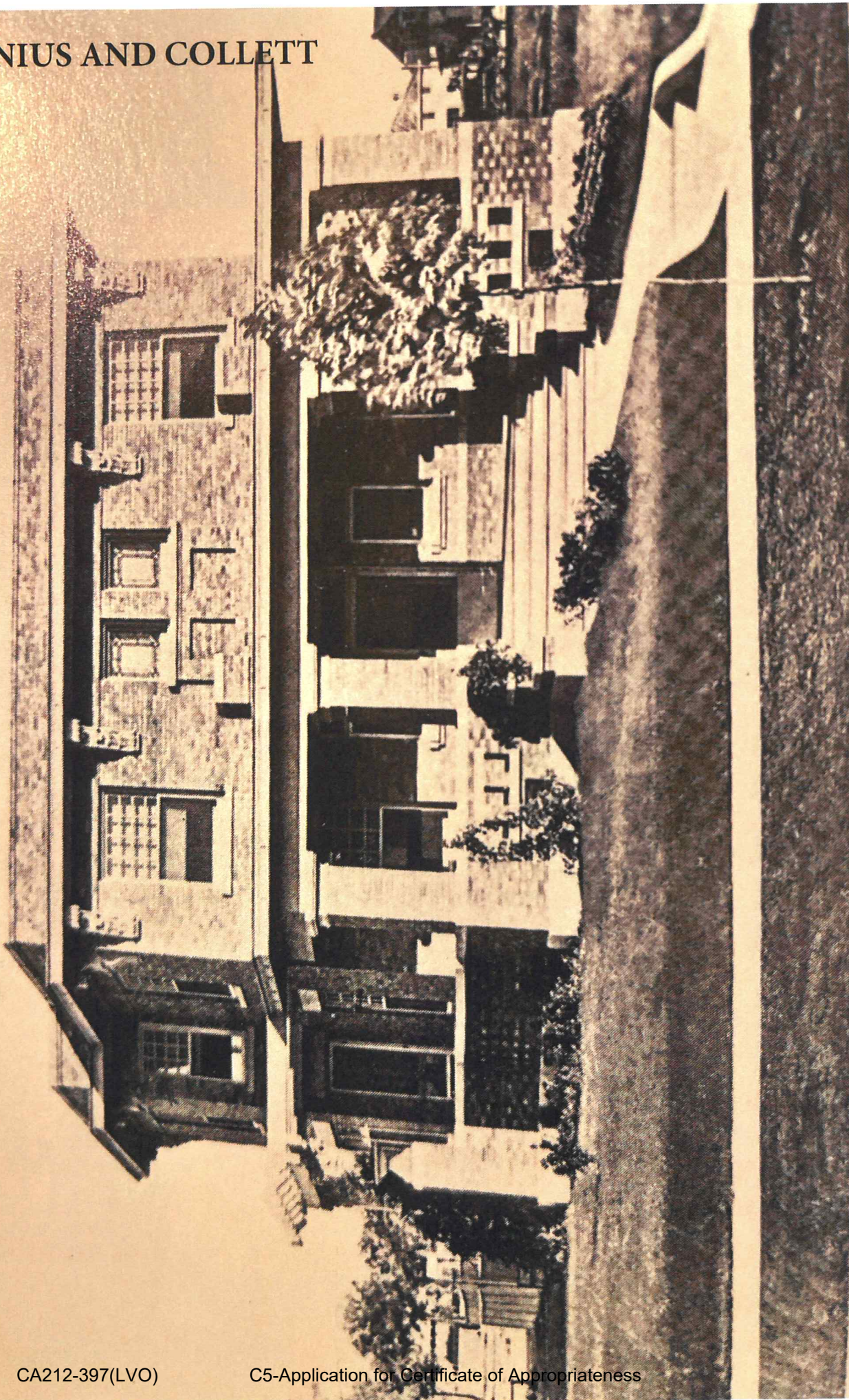
## Home Facts

CA212-397(LVO)

C5-Application for Certificate of Appropriateness



# JUNIUS AND COLLETT

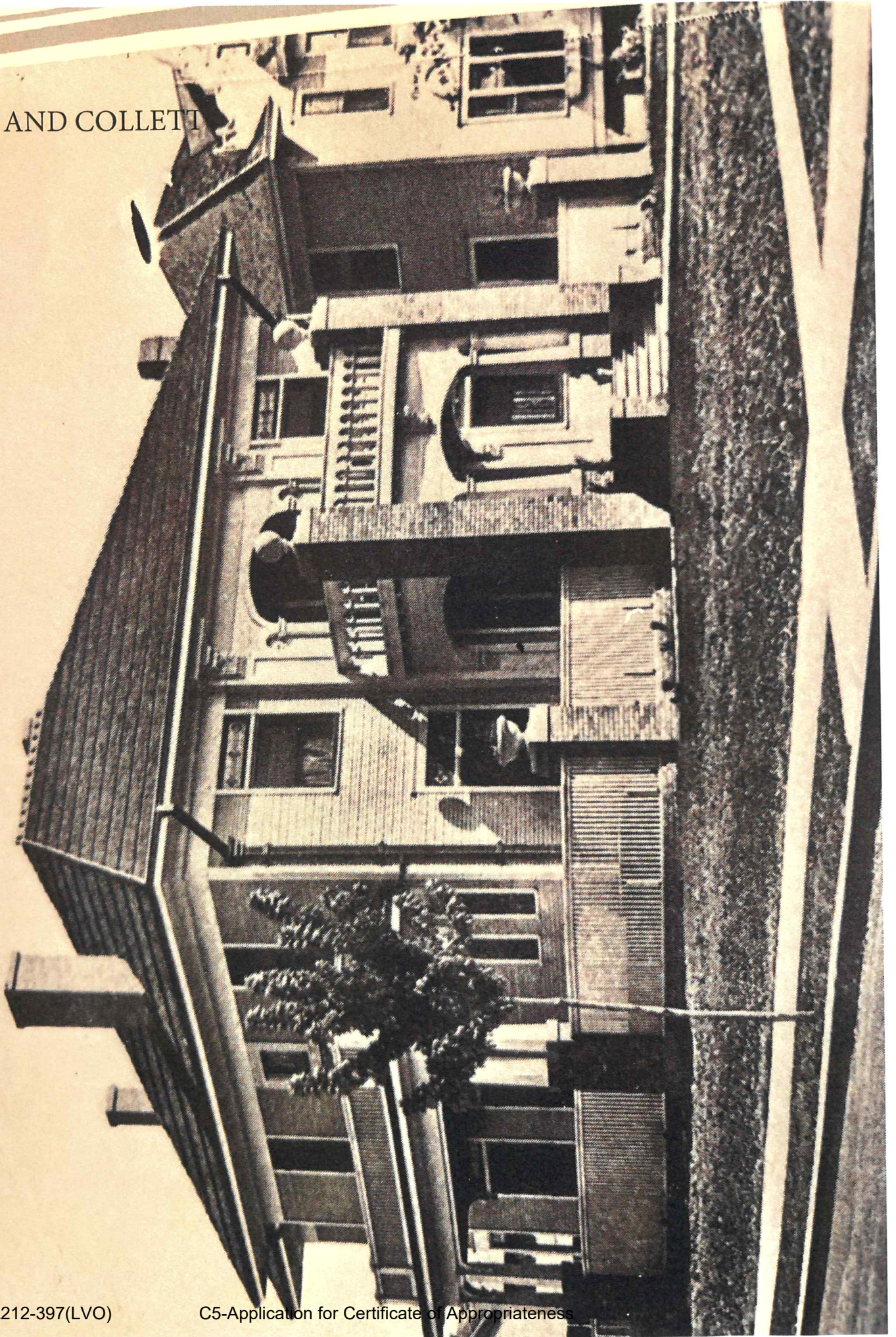




REIGER AND COLLETT

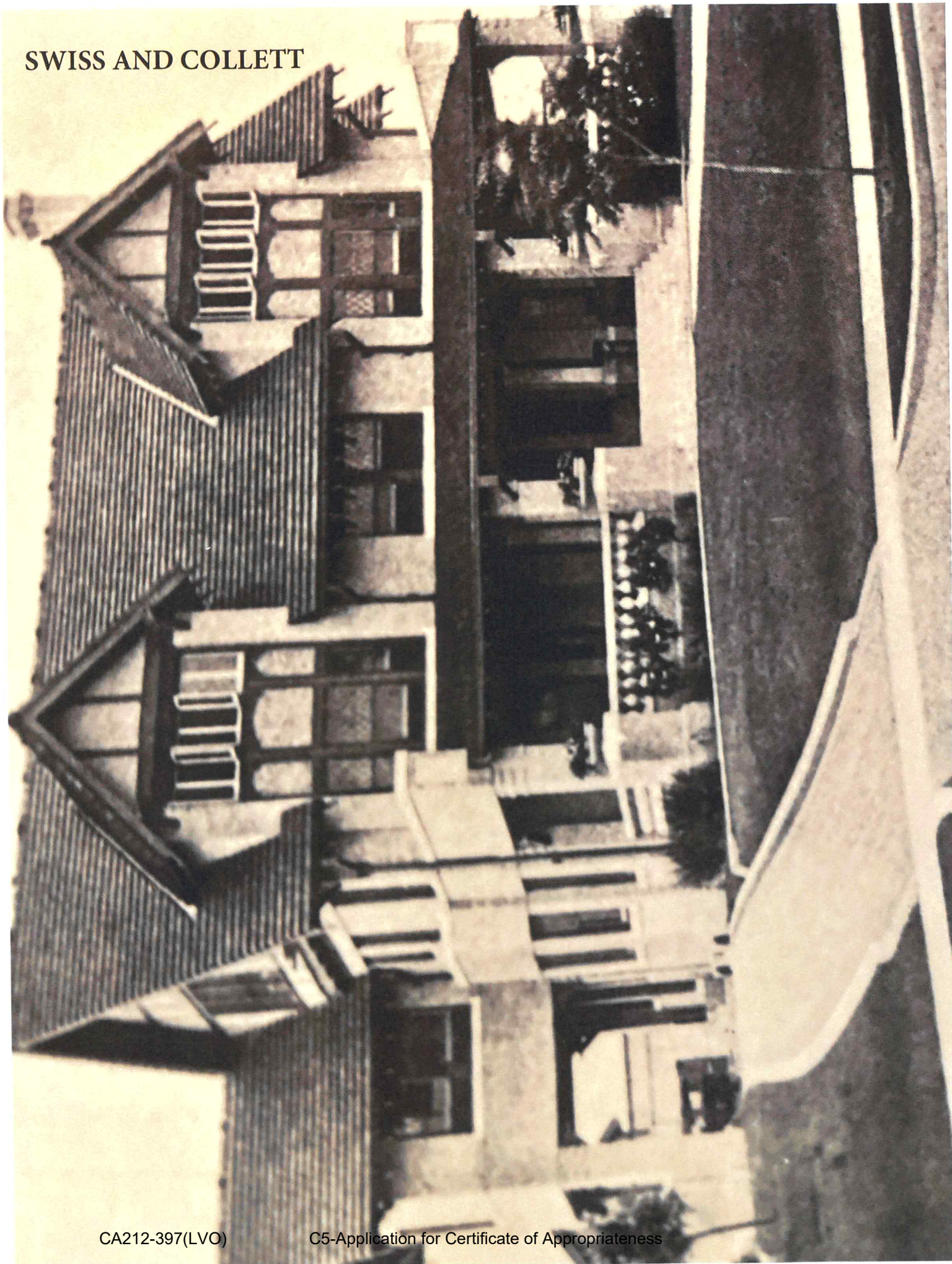
CA212-397(LVO)

C5-Application for Certificate of Appropriateness





SWISS AND COLLETT



CA212-397(LVO)

C5-Application for Certificate of Appropriateness



# Matching Brick at 4928 JUNIUS





# BRICK





# ORIGINAL MP LIMESTONE PLAQUE















## Hesperaloe parviflora subsp. bechtoldii – Dwarf Red Yucca

*Dwarf Red Yucca*

-  Hardiness Zone: 5-11
-  Evergreen/Deciduous: Evergreen
-  Height: 1-2'
-  Spread: 1-2'
-  Sun Exposure: Full Sun
-  Foliage: Gray Green
-  Flower: Red
-  Water Usage: Low

Dwarf Red Yucca is a smaller subspecies of the original, with narrow grass like leaves and bright spires of red flowers. Tough as nails, Dwarf Red Yucca is excellent in exposed, dry, hot, challenging locations. Perfect for dry rock gardens, planters and full sun areas with reflected heat, these carefree plants ask for very little. Favored by hummingbirds, Dwarf Red Yucca is spineless, drought tolerant and cold hardy. Thrives in full sun and prefers well drained soil with infrequent watering.

Categories: [Drought Tolerant](#), [Evergreen](#), [Perennial Shrubs](#), [Sun](#)

Share

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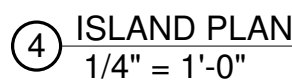
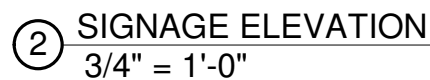
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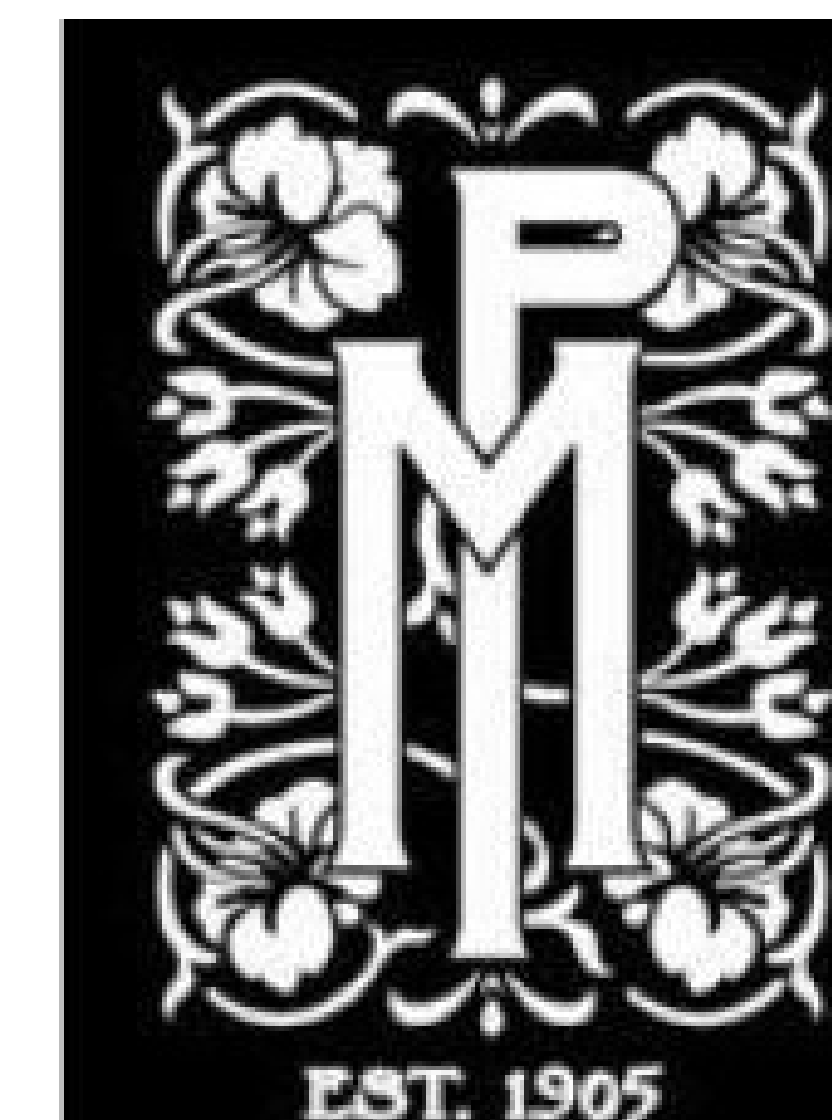
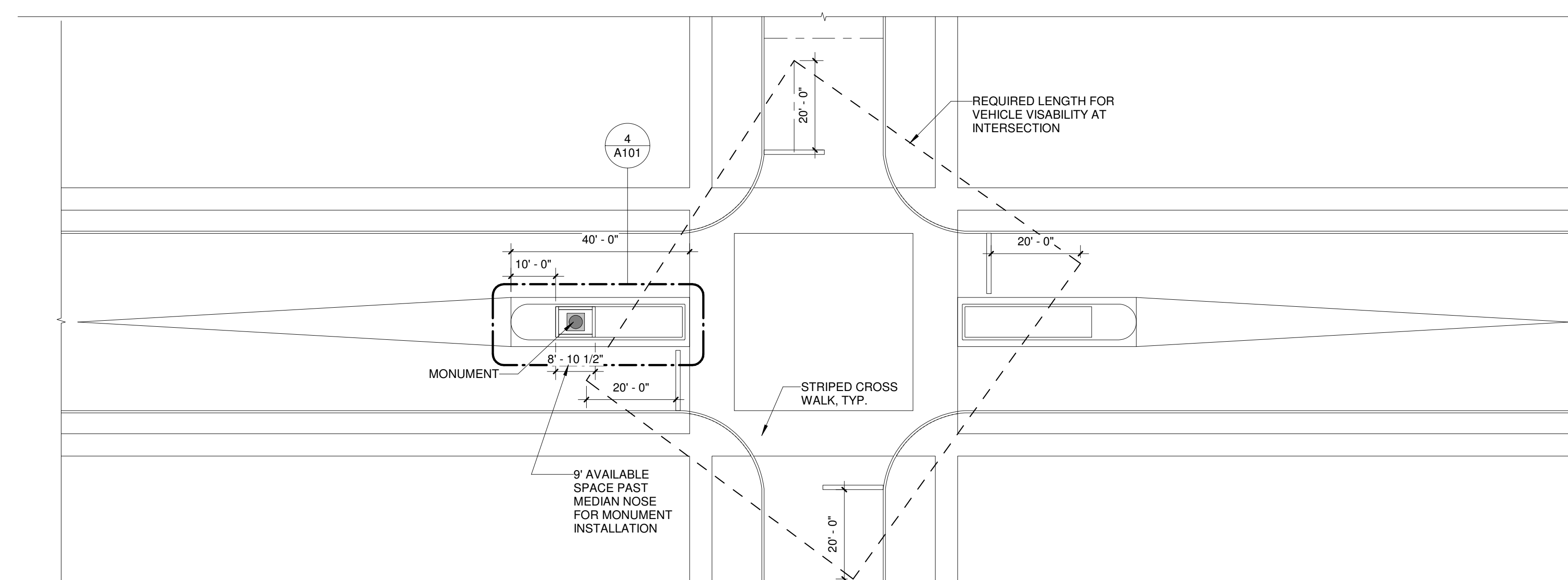
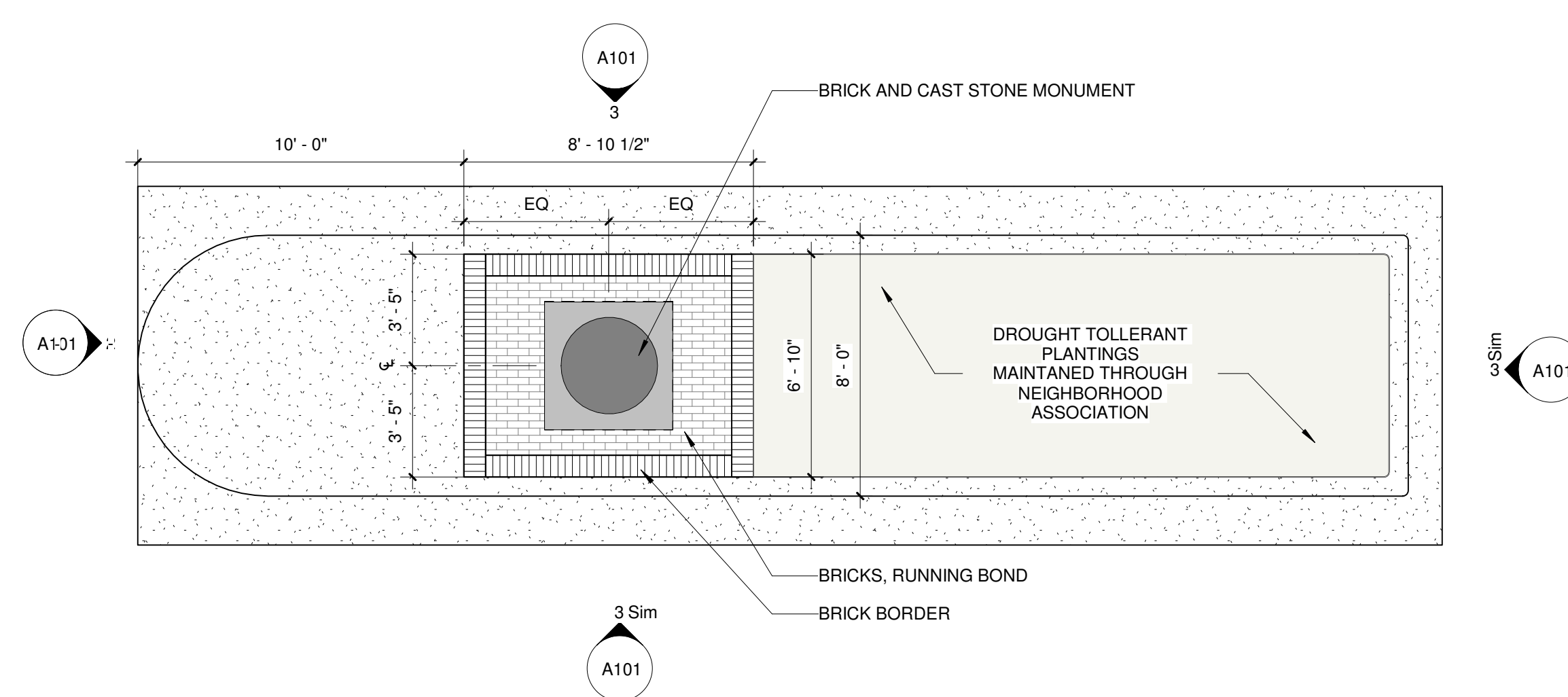
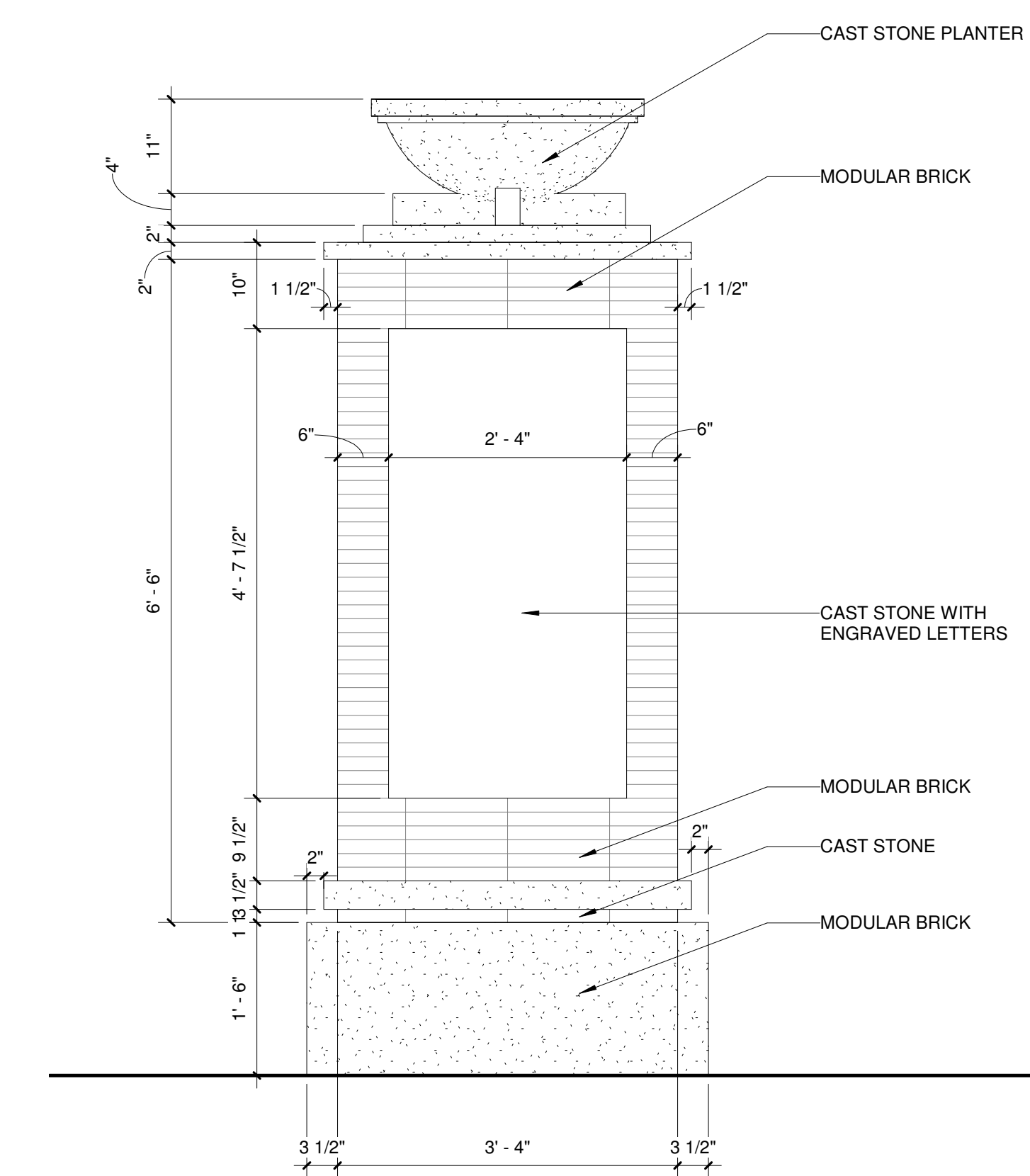
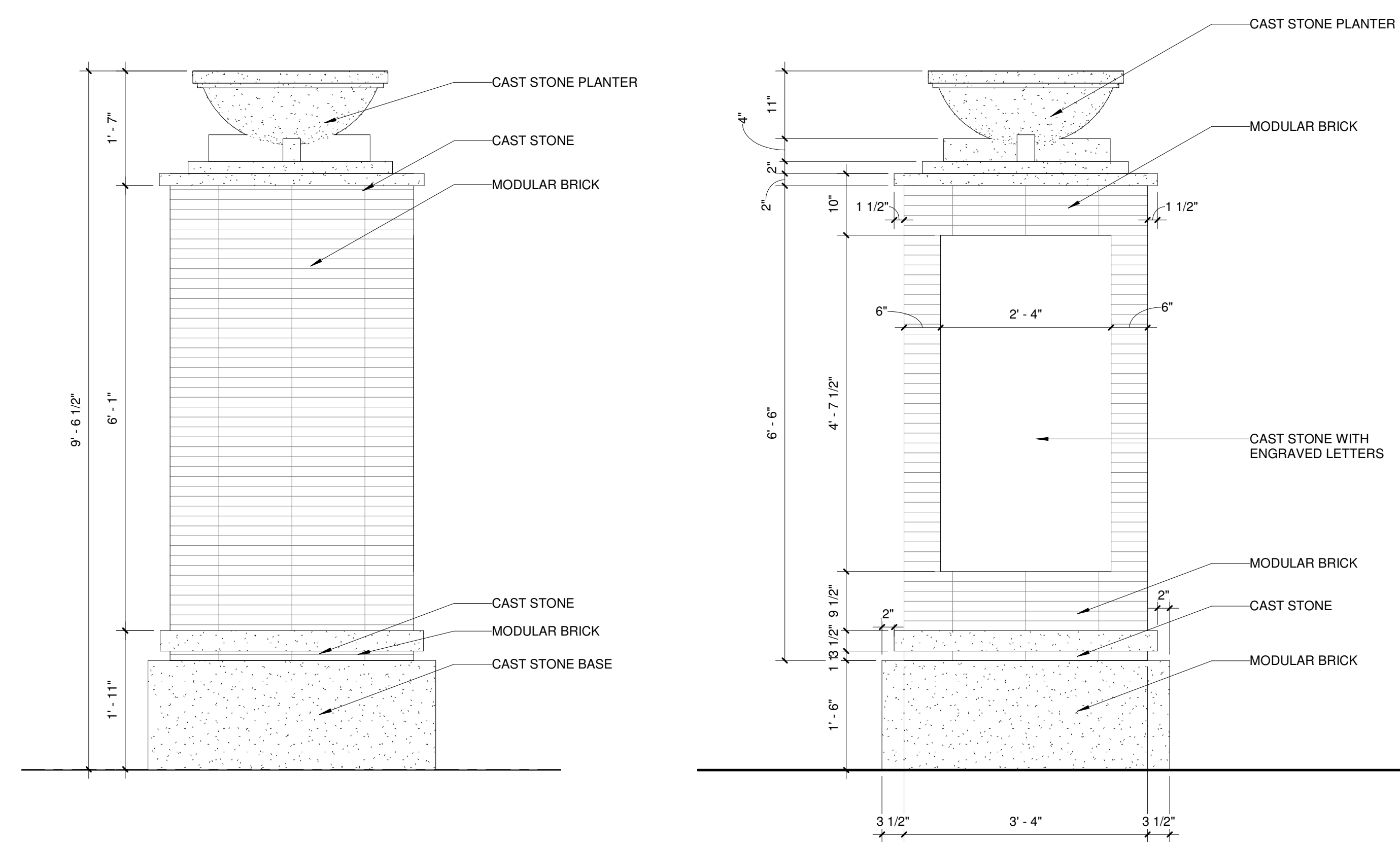
Project Number	JOB NO. 19035
Date	ISSUE DATE
Drawn By	Author
Checked By	Checker

# A101

Scale As indicated







WWW.MUNGERPLACE.COM

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# MUNGER PLACE MONUMENTS

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## PLANS AND ELEVATIONS

Project Number	JOB NO. 19035
Date	ISSUE DATE
Drawn By	Author
Checked By	Checker

A101

Scale	As indicated
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NOTE: ALL STOP SIGNS ARE EXISTING

## C5-Application for Certificate of Appropriateness



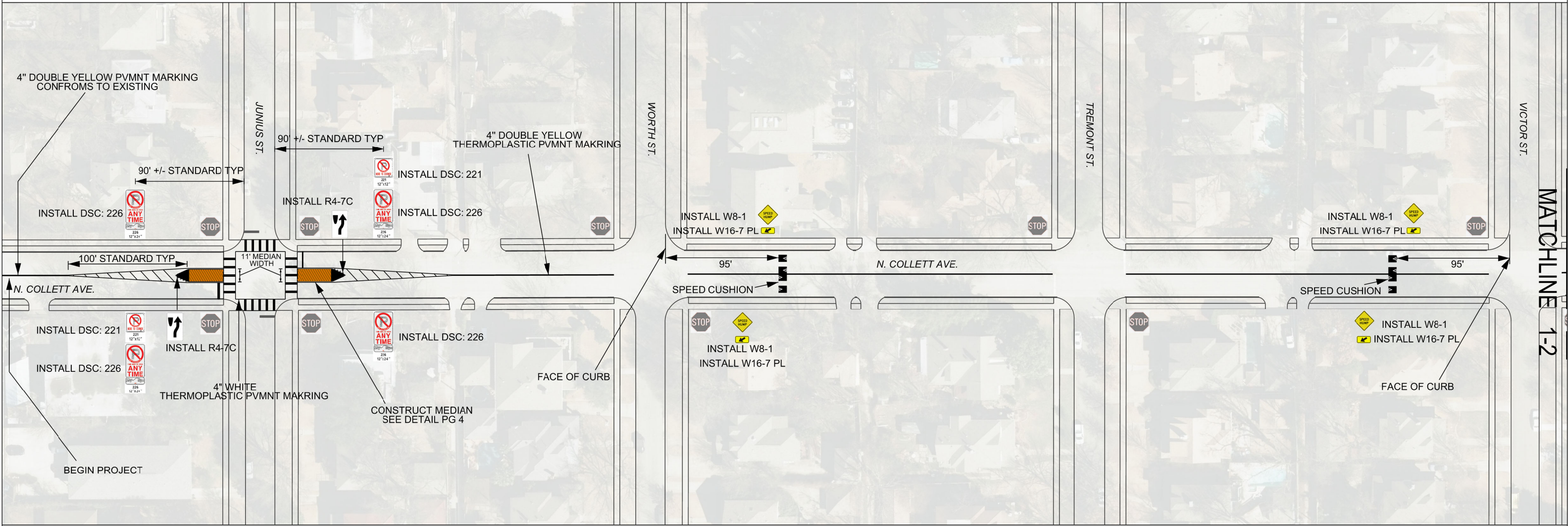
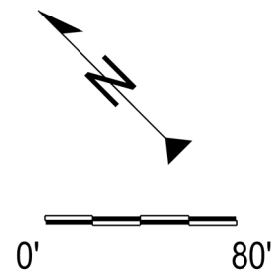
ENGINEER: Y.A.

SCALE: 1":160'

DATE: 07/06/2021

PAGE 1






NOTE: ALL STOP SIGNS ARE EXISTING

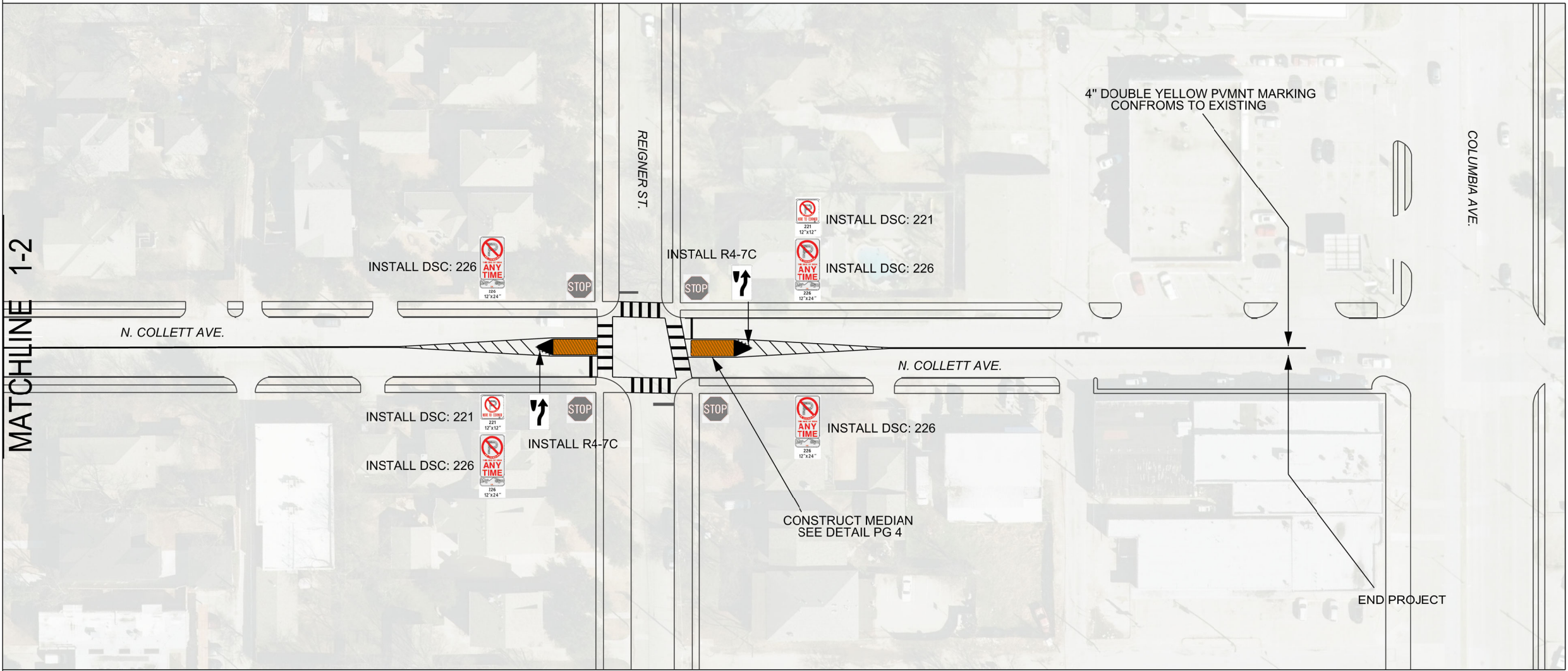
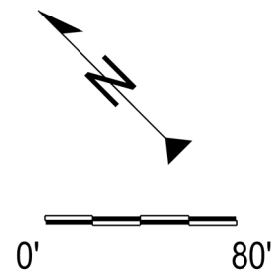
CA212-397(LVO)

**N COLLETT AVE TRAFFIC CALMING PLAN**  
SCALE: 1":80'

C5-Application for Certificate of Appropriateness

 CITY OF DALLAS DEPARTMENT OF TRANSPORTATION	
<b>N. COLLETT AVE. TRAFFIC CALMING PLAN</b>	
ENGINEER: Y.A.	SCALE: 1":80'
DATE: 07/06/2021	PAGE 2






**N COLLETT AVE TRAFFIC CALMING PLAN**

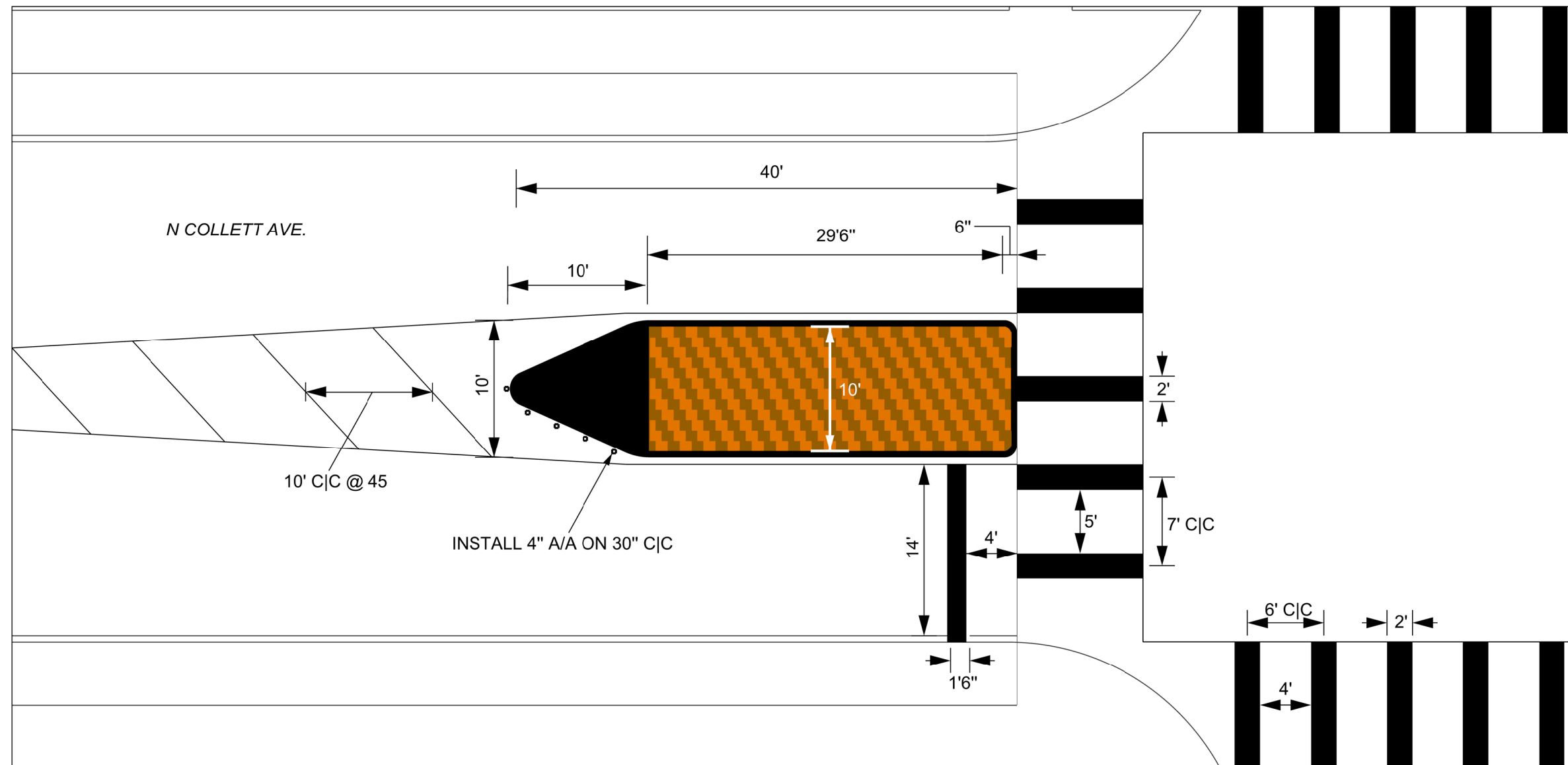
SCALE: 1":80'

NOTE: ALL STOP SIGNS ARE EXISTING

CA212-397(LVO)

C5-Application for Certificate of Appropriateness

 CITY OF DALLAS DEPARTMENT OF TRANSPORTATION	
N. COLLETT AVE. TRAFFIC CALMING PLAN	
ENGINEER: Y.A.	SCALE: 1":80'
DATE: 07/06/2021	PAGE 2



## MEDIAN/CROSSWALK DETAIL

SCALE: 1":10'

NOTE: MEDIAN AND CROSSWALK DIMENSIONS ARE MIRRORED AT INTERSECTIONS

CA212-397(LVO)

C5-Application for Certificate of Appropriateness



CITY OF DALLAS  
DEPARTMENT OF TRANSPORTATION

## MEDIAN/CROSSWALK DETAIL

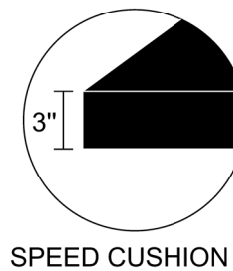
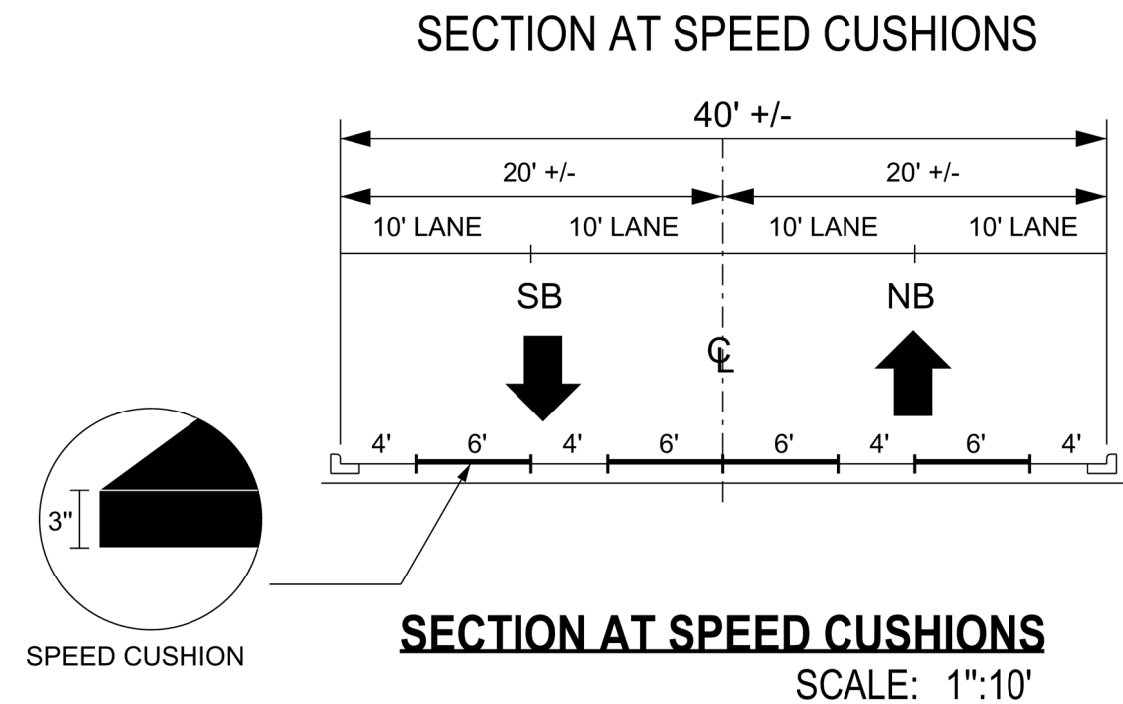
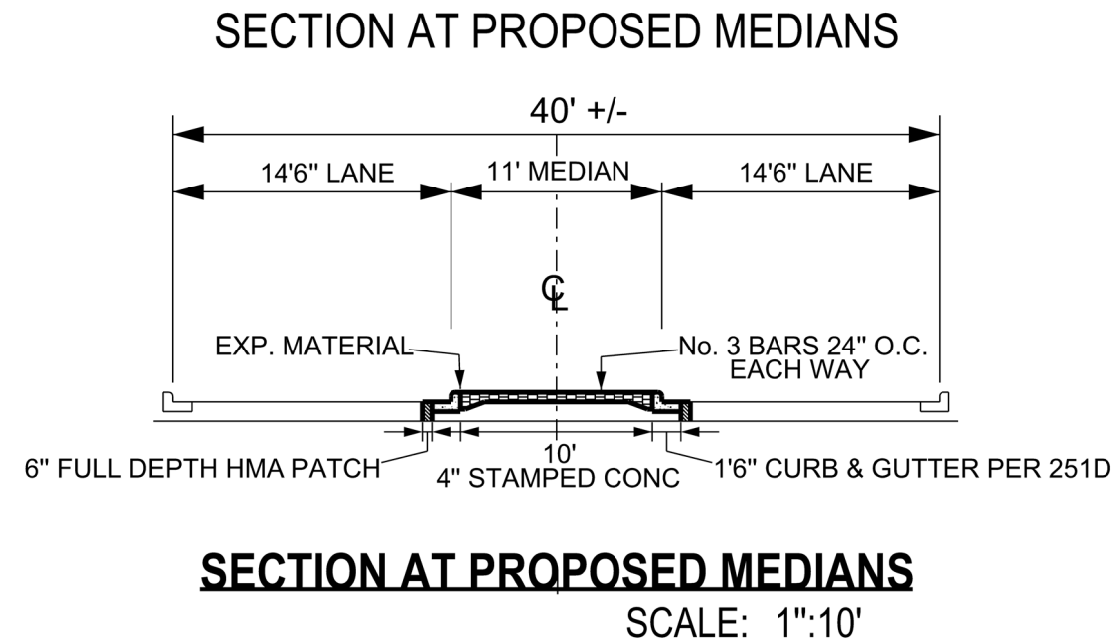
ENGINEER: Y.A.

SCALE: 1":10'

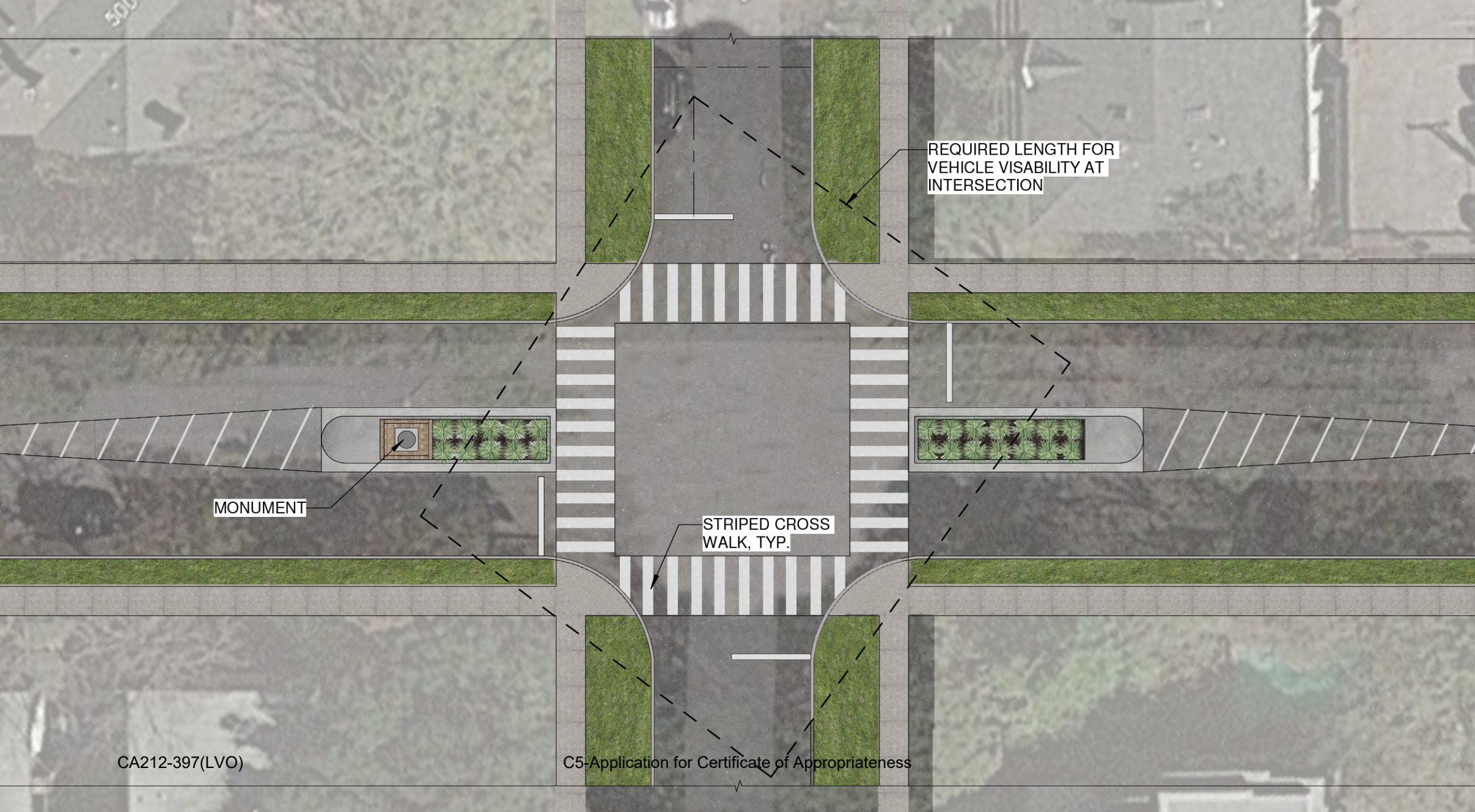
DATE: 07/06/2021

PAGE 3









MONUMENT

REQUIRED LENGTH FOR  
VEHICLE VISIBILITY AT  
INTERSECTION

STRIPED CROSS  
WALK, TYP.





CA212-397(LVO)

C5-Application for Certificate of Appropriateness

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-396(LVO)  
LOCATION: 5115 Reiger Ave  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-97 (Tract A)

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Munger Place (H-11)  
MAPSCO: 46-B  
CENSUS TRACT: 0013.02

**APPLICANT:** Aaron Trecartin

**REPRESENTATIVE:** N/A

**OWNER:** KUERS MARVIN M JR

**REQUEST:**

A Certificate of Appropriateness to construct one-story rear addition.

**BACKGROUND / HISTORY:**

1. 5115 Reiger Ave is a residence listed as contributing to the Munger Place Historic District.
2. Records do not indicate previous requests for a Certificate of Appropriateness (CA) outside of routine maintenance.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct one-story rear addition be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Munger Place preservation criteria Section 51P-97.111(c)(1)(B) for additions; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct one-story rear addition be approved.



# **TASK FORCE RECOMMENDATION(S)**

**TASK FORCE RECOMMENDATION REPORT**  
**SWISS AVENUE/MUNGER PLACE**

DATE: 06/07/2022

TIME: 5:30 pm

MEETING PLACE: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Aaron Trecartin

Address: 5115 Reiger Ave

Date of CA/CD/CR Request: 06/02/2022

**RECOMMENDATION:**

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments / basis:

**Task force members present**

<input type="checkbox"/> Emily Stevenson (Chair)	<input type="checkbox"/> Kari Houston Osborn
<input type="checkbox"/> VACANT (Prof)	<input checked="" type="checkbox"/> Bob Cox (Swiss Res)
<input checked="" type="checkbox"/> Greg Johnston	<input type="checkbox"/> VACANT (Swiss alt)
<input checked="" type="checkbox"/> Sharon van Buskirk	

*recessing himself*  
☒ Aaron Trecartin  
☒ Richard Catron  
*presenting*

Ex Officio staff members present: ☒ Laura Groves van Onna

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Greg Johnston*

2nd: *Bob Cox*

Task Force members in favor: *all*

Task Force members opposed:

Basis for opposition:

*passed*

CHAIR, Task Force

*[Signature]*

DATE 06/07/2022

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022, via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: Aaron Trecartin

Mailing Address : 721 Ridgeway St

City, State and Zip Code: Dallas, TX 75214

Daytime Phone: 214-577-4654 Alternate Phone: --

Relationship of Applicant to Owner : Architect

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

**PROPERTY ADDRESS:** 5115 Reiger Ave

**Historic District:** Munger Place

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Single-story screened porch addition to the rear of house.

Signature of Applicant: [Signature]

Date: 6/1/2022

Signature of Owner: [Signature]

(IF NOT APPLICANT)

Date: 6/1/2022

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date

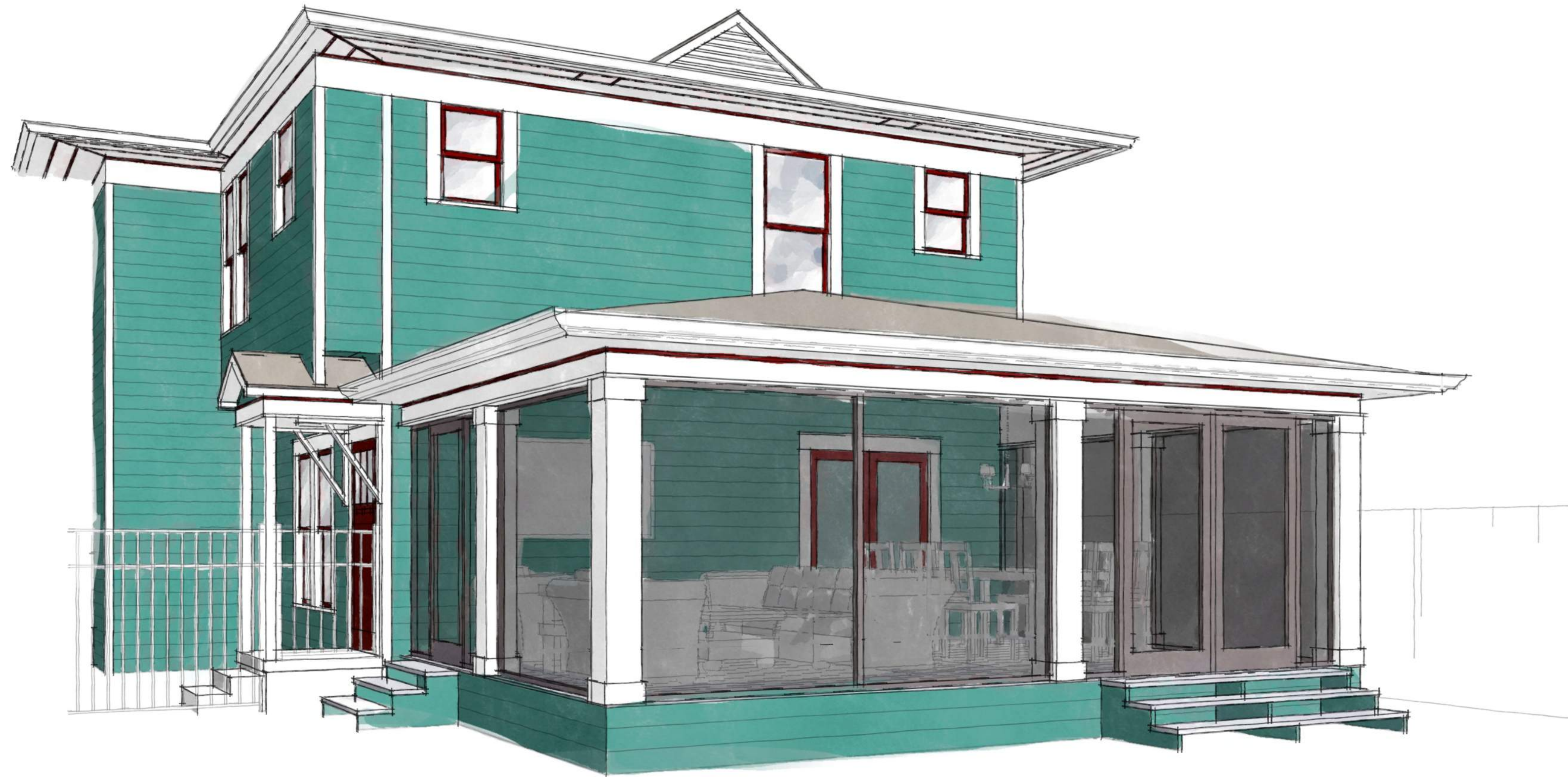
Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



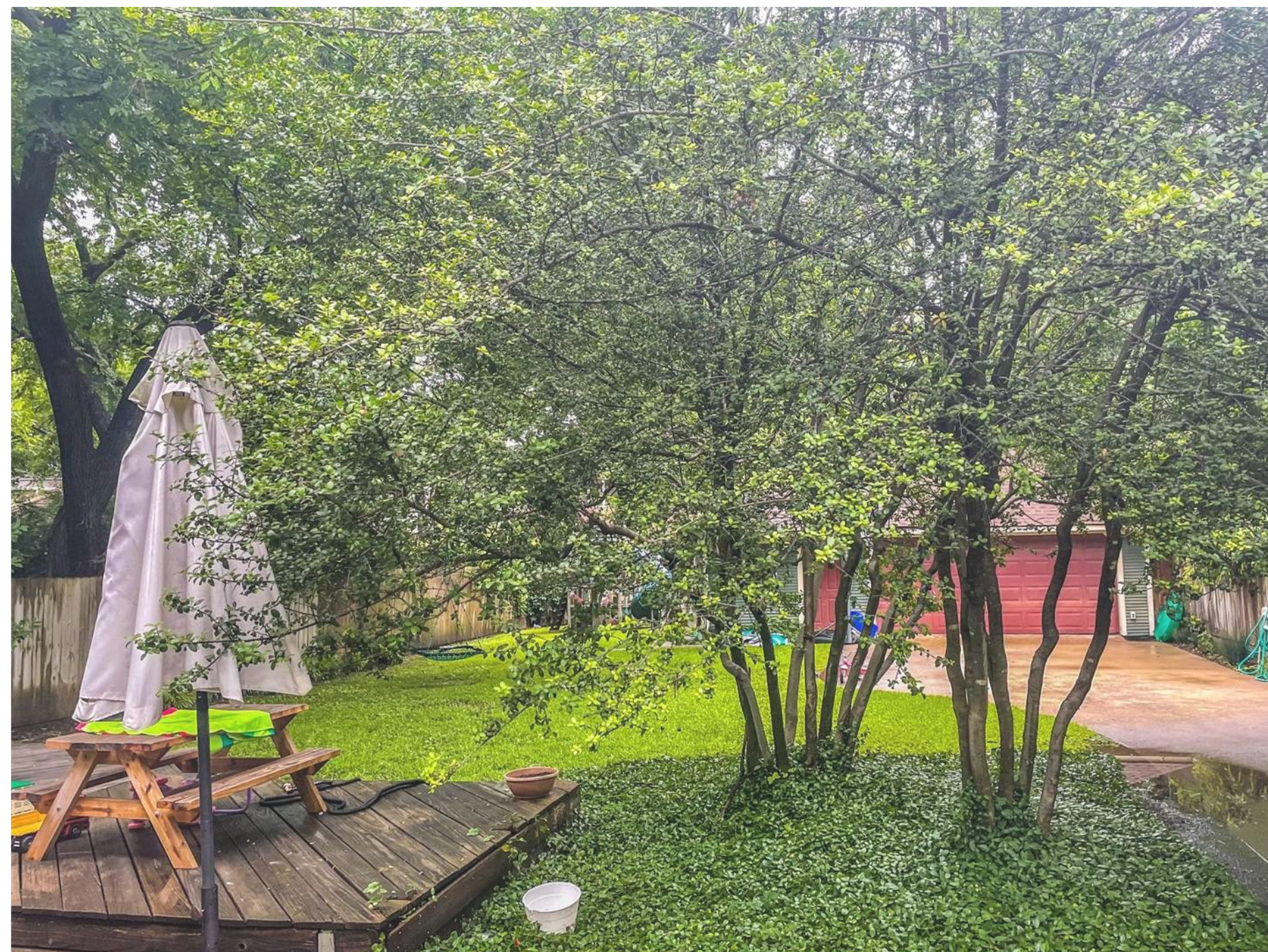


ARTISTIC RENDERING OF  
SCREENED PORCH ADDITION

Screened Porch Addition  
5115 Reiger Ave, Dallas, TX 75214



FRONT ELEVATION OF HOUSE



BACKYARD LOOKING TOWARDS ALLEY



REAR ELEVATION OF HOUSE

JUN. 2, 2022  
ISSUE FOR PERMIT

COVER

A0





Screened Porch Addition  
5115 Reiger Ave, Dallas, TX 75214

JUN. 2, 2022  
ISSUE FOR PERMIT

SITE PLAN

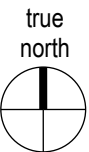
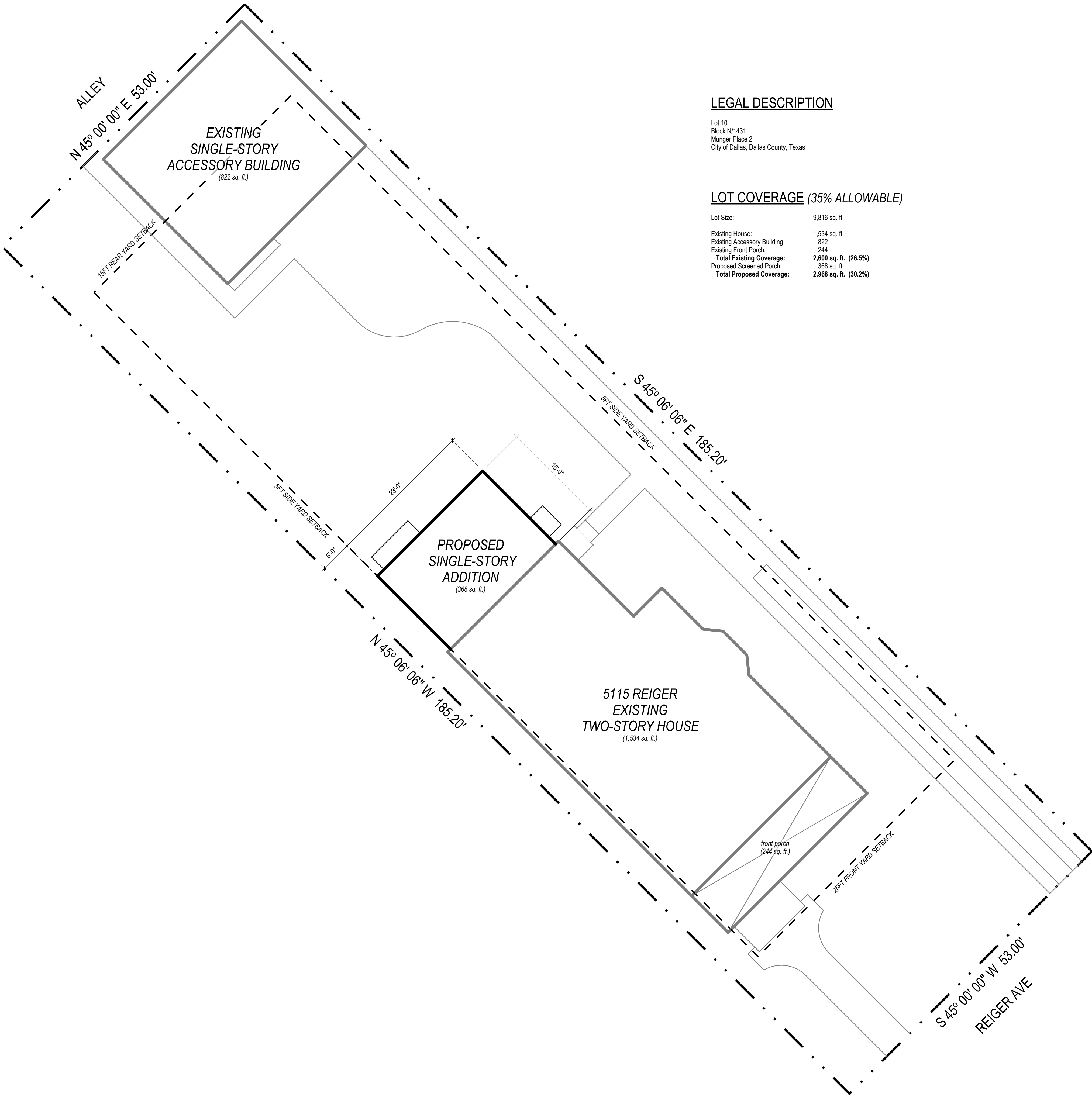
A1

LEGAL DESCRIPTION

Lot 10  
Block N/1431  
Munger Place 2  
City of Dallas, Dallas County, Texas

LOT COVERAGE (35% ALLOWABLE)

Lot Size:	9,816 sq. ft.
Existing House:	1,534 sq. ft.
Existing Accessory Building:	822
Existing Front Porch:	244
Total Existing Coverage:	2,600 sq. ft. (26.5%)
Proposed Screened Porch:	368 sq. ft.
Total Proposed Coverage:	2,968 sq. ft. (30.2%)



SITE PLAN  
scale: 1/8" = 1'-0"



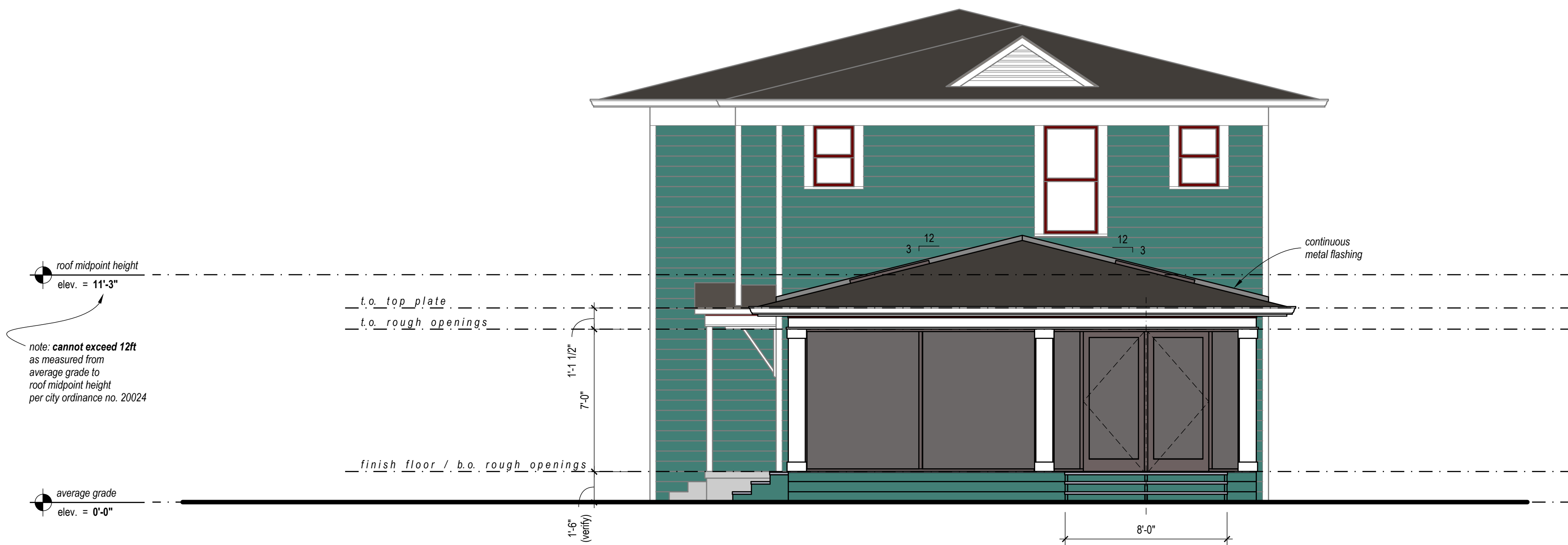


Screened Porch Addition  
5115 Reiger Ave, Dallas, TX 75214

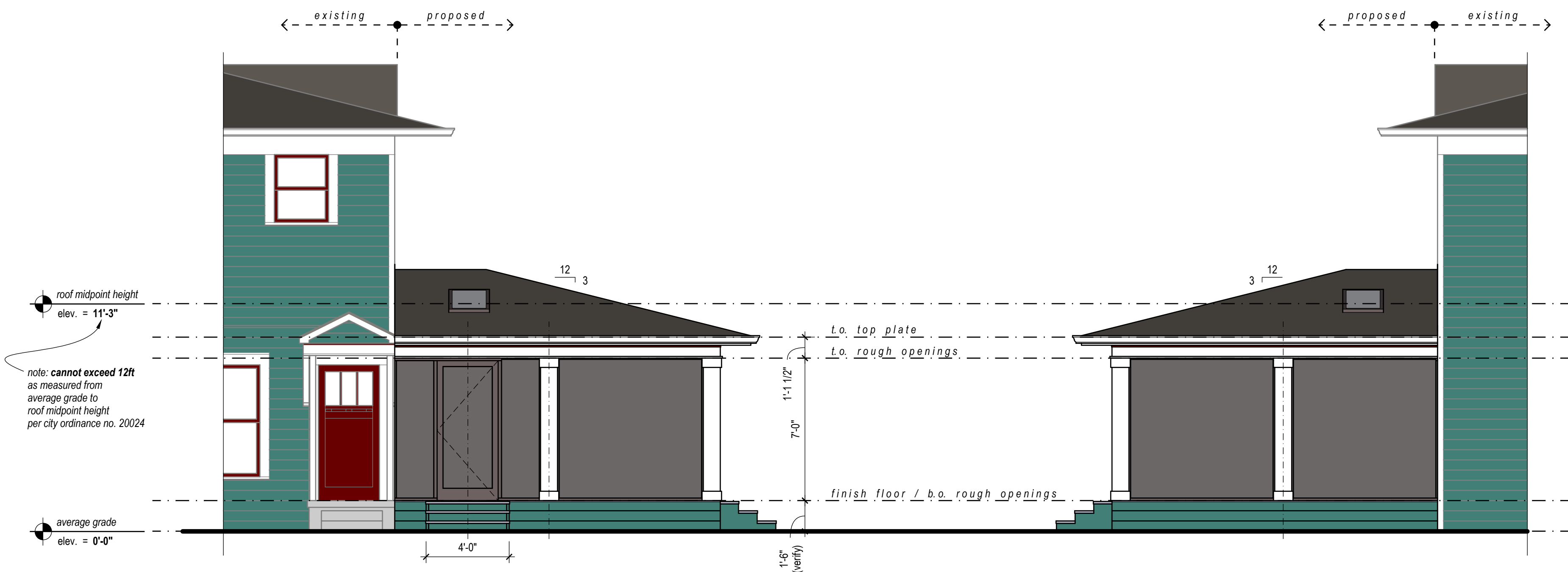
JUN. 2, 2022  
ISSUE FOR PERMIT

PLANS &  
ELEVATIONS

A2

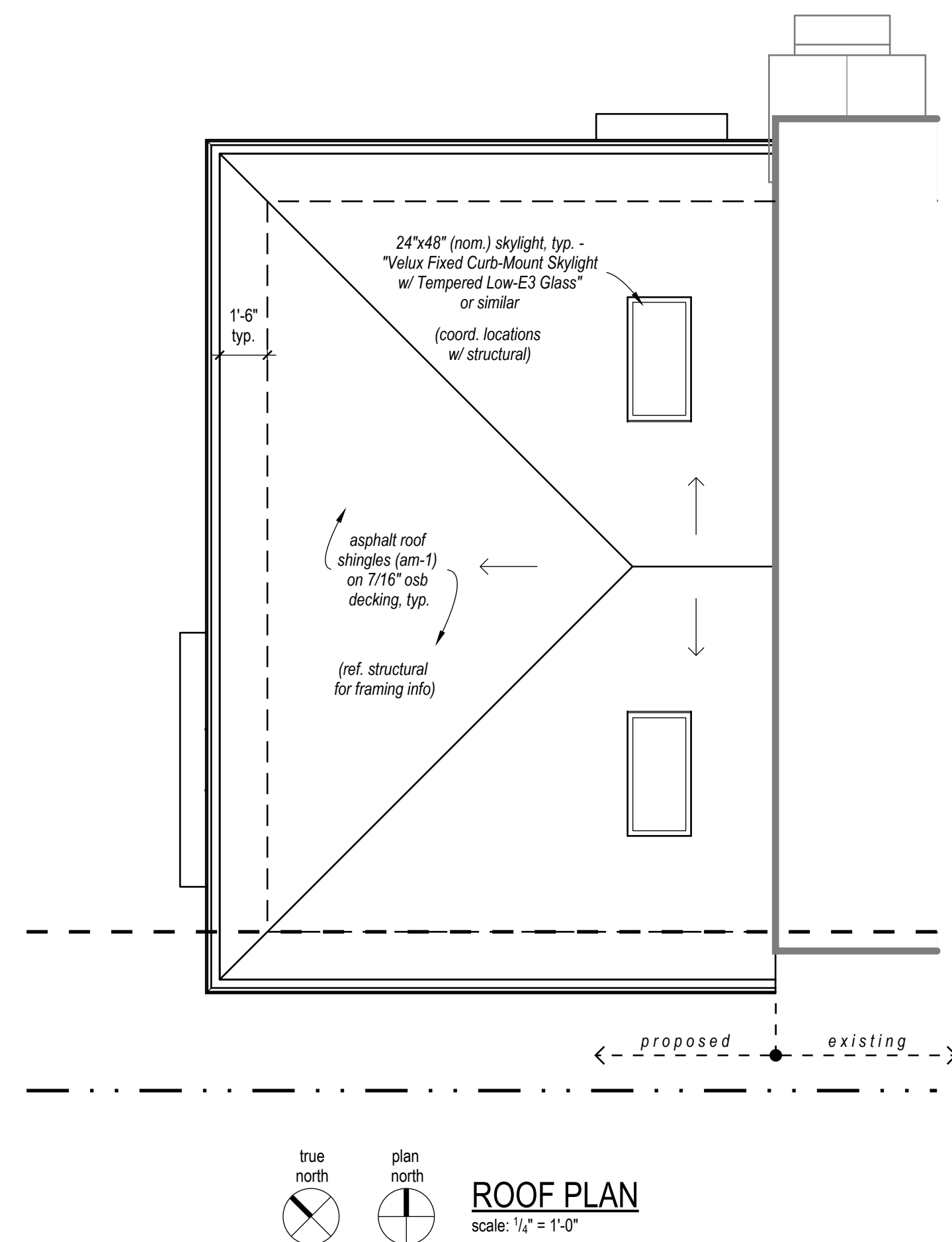


REAR ELEVATION  
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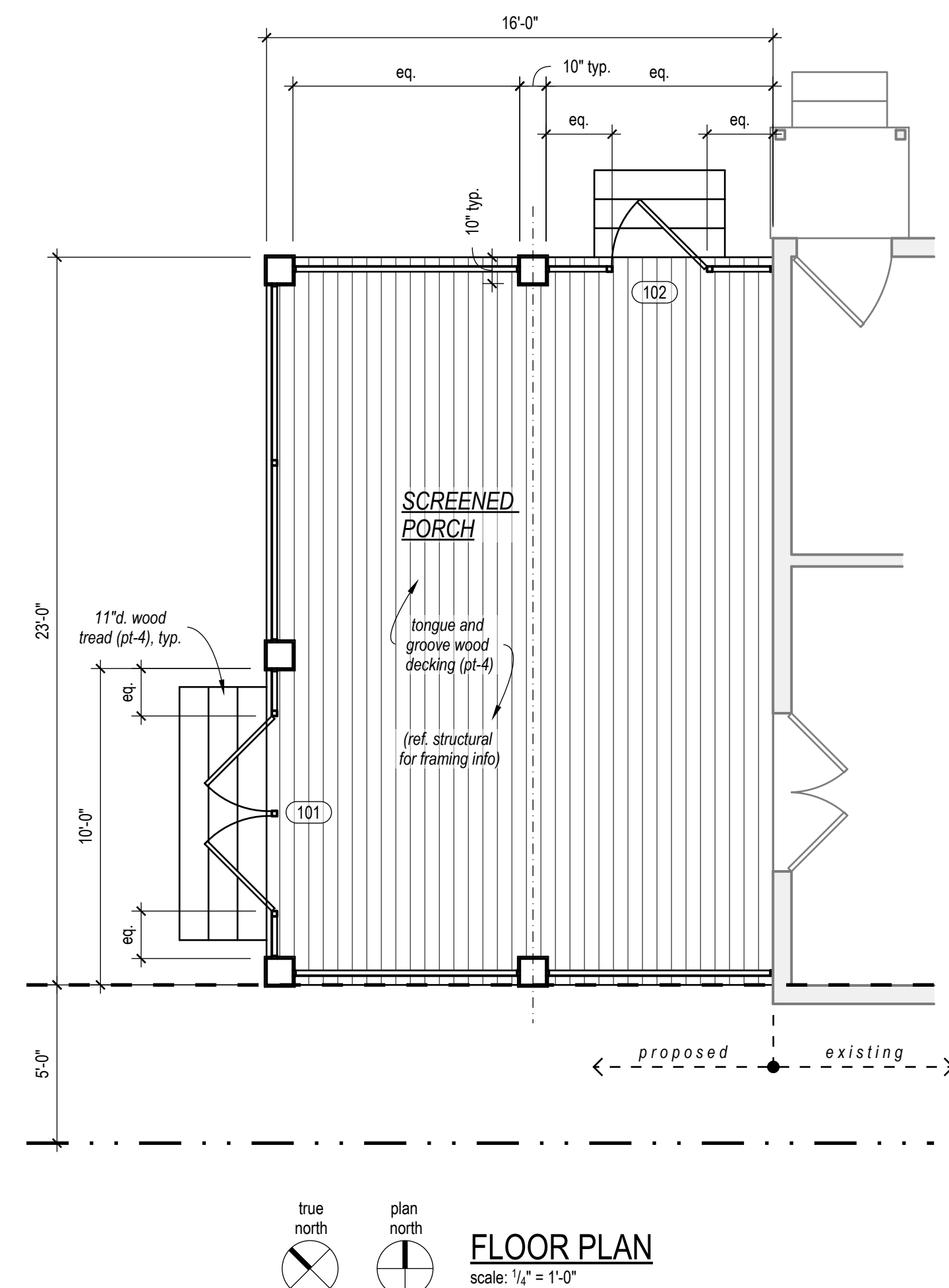


SIDE ELEVATION (RIGHT)  
scale: 1/4" = 1'-0"

SIDE ELEVATION (LEFT)  
scale: 1/4" = 1'-0"



ROOF PLAN  
scale: 1/4" = 1'-0"

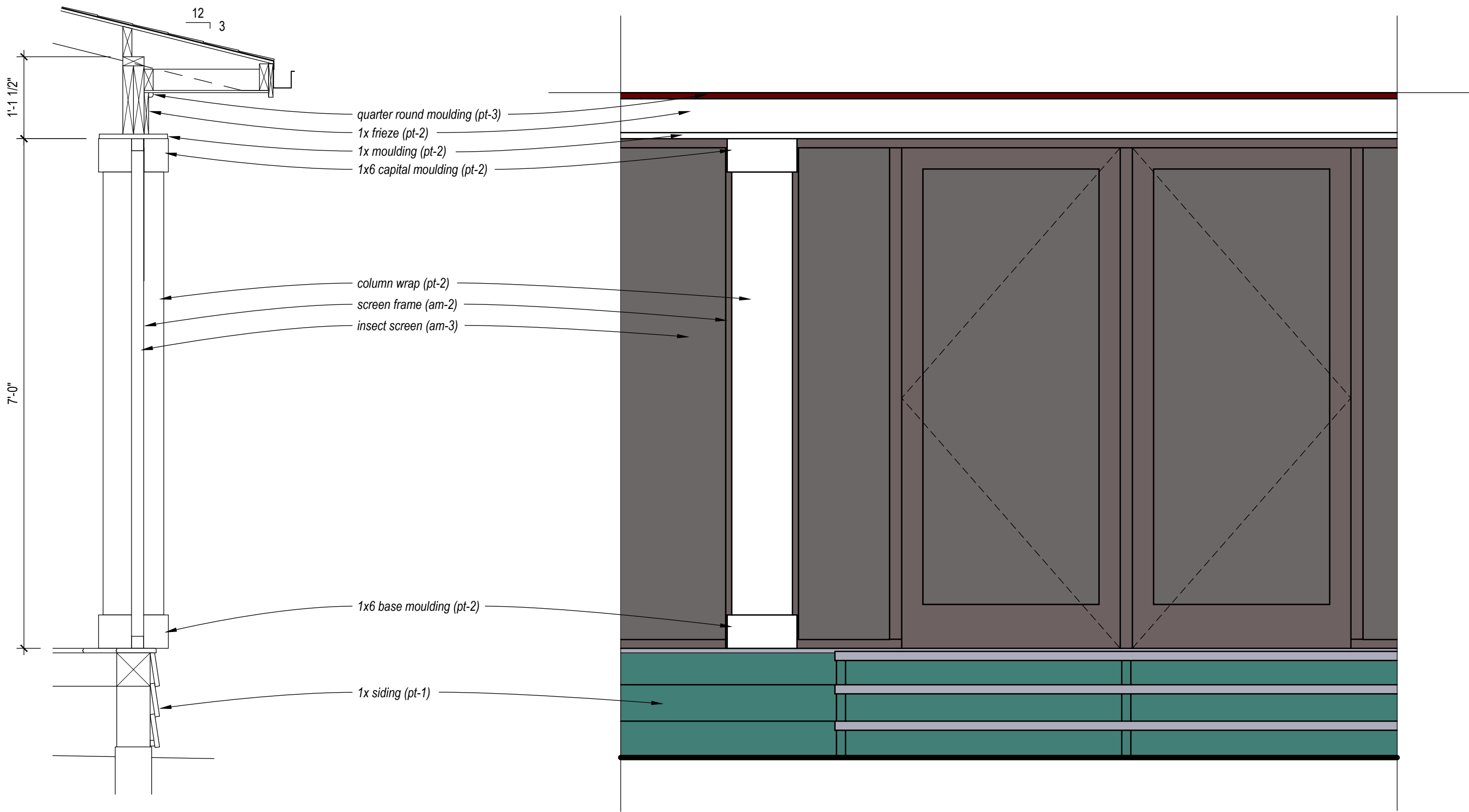


FLOOR PLAN  
scale: 1/4" = 1'-0"



.....

DOOR SCHEDULE							
NO.	TYPE	SIZE	MATERIAL	MANF./ PRODUCT	COLOR/ FINISH	GLAZING	NOTES
101	double swing	72x84	fir wood	full lite screen door	PT-5	(none)	(screen to be AM-3)
102	single swing	36x84	"	"	"	"	"
MATERIAL/ FINISH SCHEDULE							
NO.	TYPE	LOCATION	MANF./ PRODUCT	COLOR/ FINISH	NOTES		
AM-1	asphalt shingles	roof	Owens Corning	Oakridge Teak	(intended to match existing house; GC to verify)		
AM-2	screen frame	screen walls	"EZ Screen Room" aluminum extrusions (Home Depot)	bronze			
AM-3	screen	"	"Phifer TuffScreen" 84in (Home Depot)	black			
PT-1	paint	porch skirting & stair stringers	Sherwin Williams	SW 9135 Whirlpool	(intended to match existing house's siding color; GC to verify)		
PT-2	"	(accent color #1)	"	SW 7005 Pure White	(intended to match existing house's accent color; GC to verify)		
PT-3	"	soffit moulding (accent color #2)	"	SW 6300 Burgundy	(intended to match existing house's fenestrations color; GC to verify)		
PT-4	"	decking & treads	"	SW 6813 Wishful Blue	(intended to match existing house's front porch color; GC to verify)		
PT-5	"	doors	"	SW 9183 Dark Clove	(intended to match AM-2; GC to verify)		



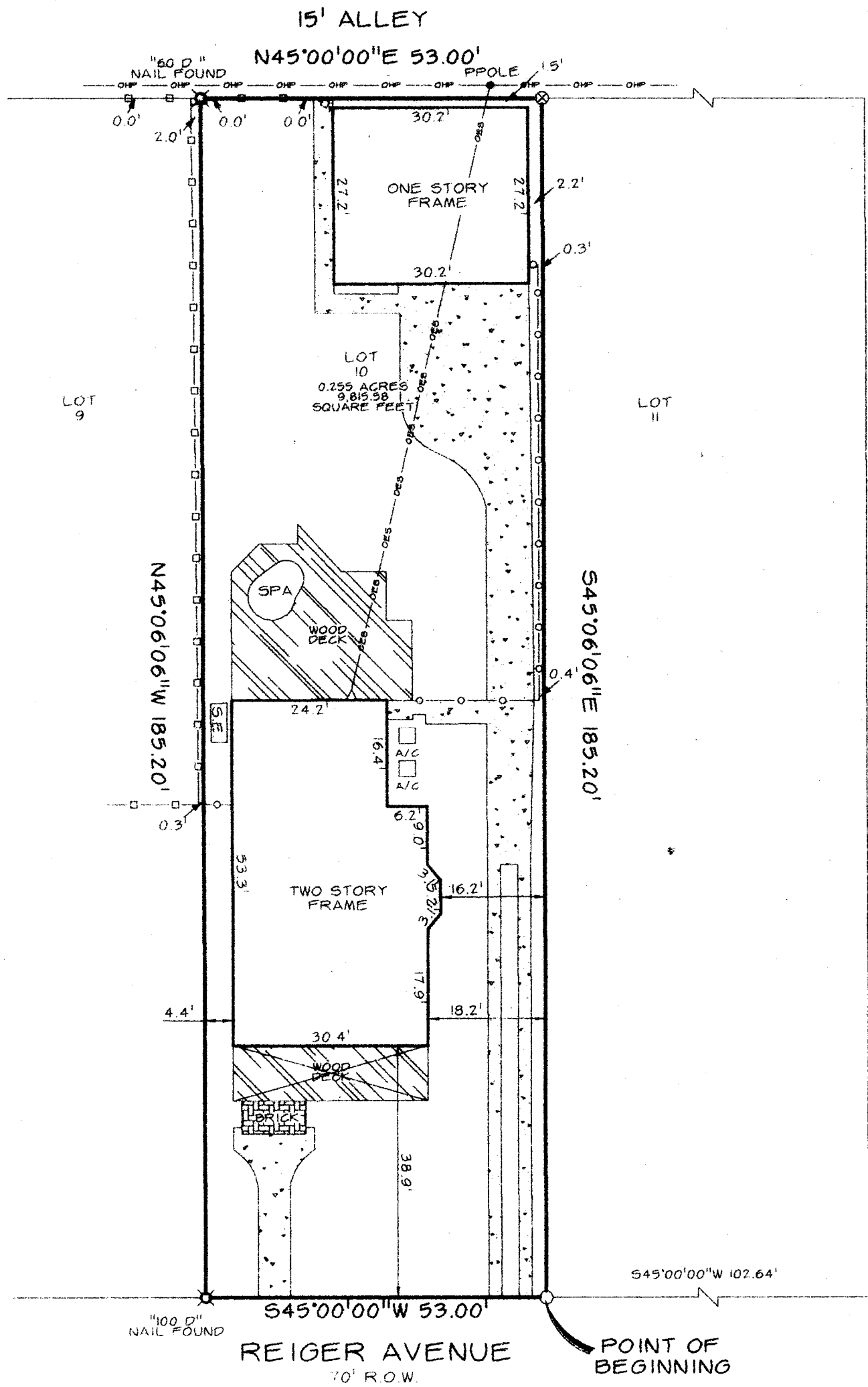
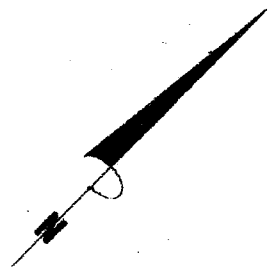
**PARTIAL SECTION**  
scale: 3/4" = 1'-0"

**PARTIAL ELEVATION**  
scale: 3/4" = 1'-0"

**Screened Porch Addition**  
**5115 Reiger Ave, Dallas, TX 75214**

.....  
JUN. 2, 2022  
ISSUE FOR PERMIT  
.....  
DETAILS &  
SPECIFICATIONS  
.....





MUNGER BOULEVARD  
100' R.O.W.

Note: According to the F.I.R.M. in Cc and does not lie within the 100

REVISIONS	
DATE	BY

LEGEND	
○ 3/8" IRON ROD FOUND	● POWER POLE
⊗ 5/8" IRON ROD SET	■ BRICK COLUMN
○ 1" IRON PIPE FOUND	A/C - AIR CONDITIONING
□ FENCE POST CORNER	SE - SPA EQUIPMENT
⊗ "X" FOUND IN CONCRETE	COV
▲ UNDERGROUND ELECTRIC	— OES — OES —
△ OVERHEAD ELECTRIC	— OHP — OHP —
///	ASPHALT PAVING



**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-409(LVO)  
LOCATION: 4713 Worth St  
STRUCTURE: Non-Contributing  
COUNCIL DISTRICT: 2  
ZONING: PD-98

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Peak's Suburban Addition  
(H-72)  
MAPSCO: 46-F  
CENSUS TRACT: 0015.02

**APPLICANT:** Ercan Kilicer

**REPRESENTATIVE:** N/A

**OWNER:** HUNT DEBORAH SUE

**REQUEST:**

A Certificate of Appropriateness to install new fencing as amended – initial work done without CA.

**BACKGROUND / HISTORY:**

1. 4713 Worth St is a residence listed as non-contributing to the Peak's Suburban Addition Historic District.
2. On May 7, 2018, a Certificate of Appropriateness (CA) to construct new single-family home on vacant lot was approved by the Landmark Commission.
3. Records do not indicate other requests for a CA.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to install new fencing as amended – initial work done without CA be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Peak's Suburban Addition preservation criteria Sections 2.9, 2.11, 2.13, 2.14, and 2.15 for site and site elements; City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to install new fencing – initial work done without CA be denied without prejudice. Ordinance requires that fence must be within the rear 50% of the front facade of the house. Recommend fence on the left side



be within the rear 50%. Propose to allow for fence on the right to be 5' back from the front facade on the as the A/C units are on this side and additional screening is required. Wrought iron gate on driveway side (left) and wrought iron fence on the right side to comply with the ordinance.

*After the Task Force meeting, the applicant revised the proposed fencing to be in accordance with the Ordinance and consistent with Task Force recommendation.*

# **TASK FORCE RECOMMENDATION(S)**



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN ADDITION/ EDISON – LA VISTA**

DATE: 06/09/22

TIME: 5:30 pm

MEETING PLACE: Virtual or 2922 Swiss Avenue (Wilson House)

Applicant Name: Ercan Kilicer

Address: 4713 Worth St

Date of **CA**/CD Request: 06/02/2022

**RECOMMENDATION:**

☐ Approve      ☐ Approve with conditions      ☐ Deny      ☒ Deny without prejudice

Recommendation / comments/ basis:

Ordinance requires that fence must be within the rear 50% of the front façade of the house.

- Recommend fence on the left side be within the rear 50%.
- Propose to allow for fence on the right to be 5' back from the front façade on the as the A/C units are on this side and additional screening is required

Wrought iron gate on driveway side(left) and wrought iron fence on the right side to comply with the ordinance.

**Task force members present**

<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	<input type="checkbox"/> Ricardo Munoz
<input checked="" type="checkbox"/> Patricia Simon	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Richard Catron
<input checked="" type="checkbox"/> Paul Sanders	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)	
<input type="checkbox"/> VACANT (Edison/LaVista Res)		

Ex Officio staff members present ☒ Laura Groves van Onna

Simple Majority Quorum: ☒ yes      ☐ no (three makes a quorum; no more than seven can vote)

Maker: Paul Sanders

2<sup>nd</sup>: Richard Catron

Task Force members in favor: Simon, Sanders, Finch, Catron

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force Patricia A. Simon

DATE: 06/09/22

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:30 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

CA212-409(LVO)

C7-Application for Certificate of Appropriateness

# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ ( )  
Office Use Only

Ercan Kilicer

Name of Applicant: \_\_\_\_\_

Mailing Address : 18748 Lloyd Circle, Dallas, TX 75252

City, State and Zip Code: \_\_\_\_\_

Daytime Phone: 972-743-8725/972-658-6098 Fax: \_\_\_\_\_

Relationship of Applicant to Owner: \_\_\_\_\_

PROPERTY ADDRESS: 4713 Worth St, Dallas, TX 75246

Historic District: Peak Suburban Addition

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_\_ No \_\_\_\_

Planner's Initials

### PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Fence Installation to a new house. 8' high, board on board, 5,5" X8' Treated Pine and 1x4 pine wood trim on top with the galvanize metal Fence post.

Signature of Applicant: \_\_\_\_\_

Date: 05/19/2022

Signature of Owner: \_\_\_\_\_

Date: 05/19/2022

(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

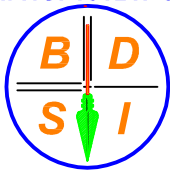
Sustainable Construction and Development

Date



**B & D  
SURVEYING, INC.**

FIRM NO. 101247-00



P.O. BOX 293264  
LEWISVILLE, TEXAS 75029  
PHONE: 972-221-2838  
bd@bandsurveying.com

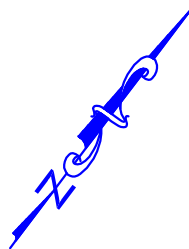
**LEGEND**

CONCRETE	WOOD FENCE
BRICK	CHAIN LINK FENCE
ASPHALT	R.R. TIE RETAINING WALL
WOOD	BRICK WALL
STONE	STONE WALL
GRAVEL	OVERHEAD ELECTRIC LINE
"B&D" = RED CAP STAMPED "B&D SURVEYING" O.P.R.D.C.T. = OFFICIAL PROPERTY RECORDS DALLAS COUNTY, TEXAS	IRF(S) = IRON ROD FOUND (SET) W/YC = WITH YELLOW CAP CM = CONTROLLING MONUMENT FD. = FOUND MON.

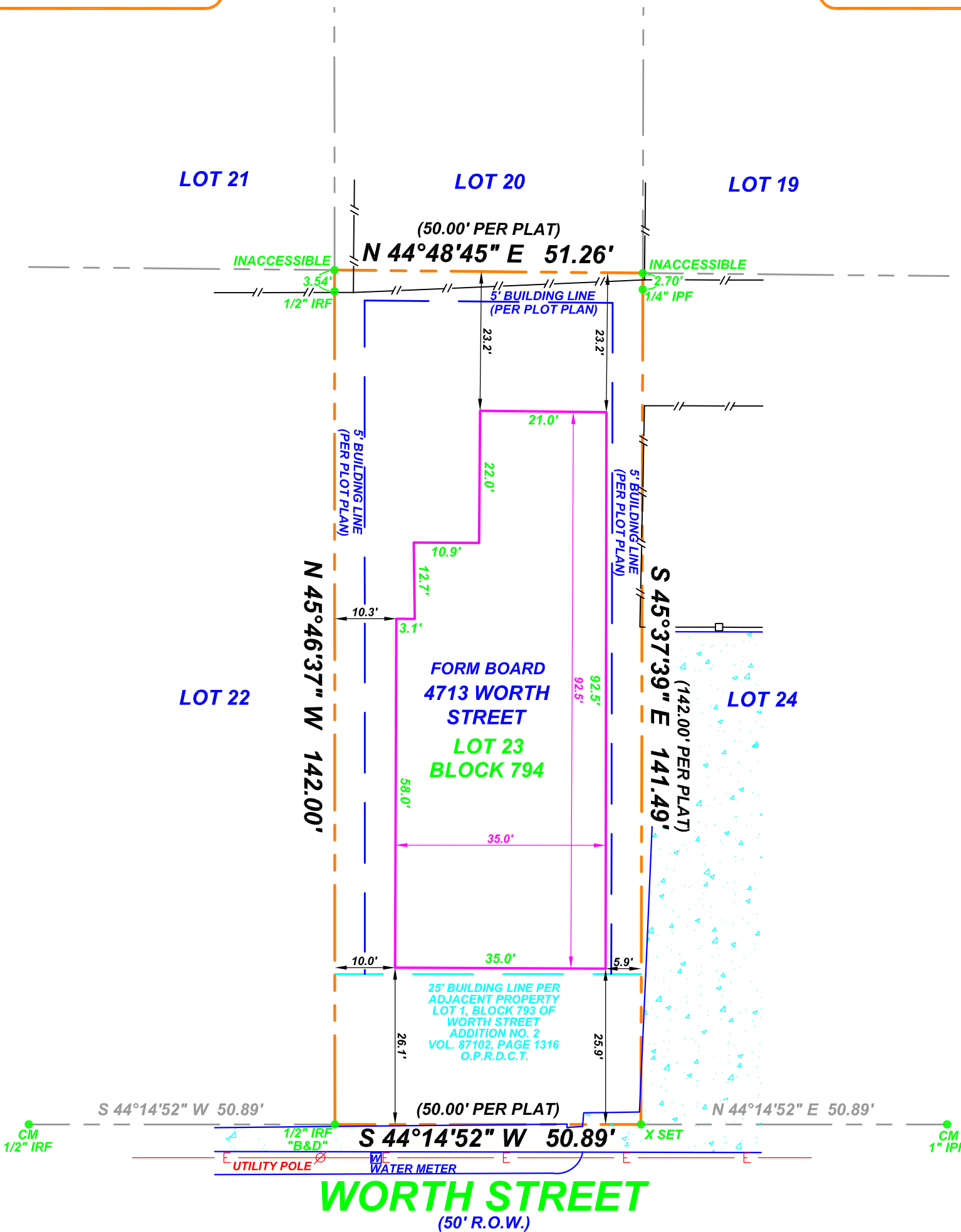
**FORM SURVEY**

COPYRIGHT © 2021 B & D SURVEYING INC. ALL RIGHTS RESERVED

DATE: 3/26/2021  
B & D JOB #: 2101098C  
TECH: AF  
BUILDER: JOHN KILICER



SCALE: 1"=20'



**PROPERTY DESCRIPTION**

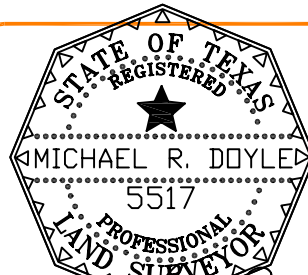
4713 WORTH STREET, BEING LOT 23, BLOCK 794, OF T. J. ROGERS SUBDIVISION, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 219, PAGE 362, OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS.

**SURVEYORS CERTIFICATION**

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON IS CORRECT AND TO THE BEST OF MY KNOWLEDGE THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS AND EASEMENTS OF RIGHT-OF-WAY THAT I HAVE BEEN ADVISED OF EXCEPT AS SHOWN HEREON. SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY.

**GENERAL NOTES**

- 1.) THE BASIS OF BEARING FOR THIS SURVEY WAS DERIVED FROM DATA PROVIDED ON THE RECORDED PLAT.
- 2.) THE BUILDER / DEVELOPER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD THAT MAY NOT BE NOTED IN THE RECORDED PLAT.
- 3.) THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN INK.
- 4.) B & D SURVEYING, INC. IS NOT RESPONSIBLE FOR ANY EASEMENTS OR MISCELLANEOUS REQUIREMENTS THAT THEY HAVE NOT BEEN ADVISED OF.
- 5.) BEFORE STARTING ANY CONSTRUCTION, CALL DIGTESS TO LOCATE ANY POSSIBLE UNDERGROUND LINES. "CALL 811 BEFORE YOU DIG, ITS THE LAW."
- 6.) THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF TITLE COMMITMENT; THEREFORE, NO SEARCH OF RECORDED EASEMENTS WAS PERFORMED.



Michael R. Doyle  
FIELD SURVEY DATE: 03/26/2021  
THIS SURVEY IS VALID ONLY WITH THE  
ORIGINAL SIGNED HARD COPIES.



8' H BOARD ON BOARD TREATED PINE 5.5" PICKETS WITH GALVANIZE FENCE POLES

90.5' FENCE LINE

141.50' PROPERTY LINE

5' BACK FROM THE FRONT FACADE

5'-0" SETBACK

70% OPEN IRON DOOR

5' 8' H FENCE DOOR

FRONT SETBACK TO ALIGN WITH ADJACENT PROPERTIES

25.9' TO R.O.W

4' SIDEWALK

17'-0" (FIELD VERIFY)

26.1' TO R.O.W

WORTH STREET

23.2' PROPERTY TO REAR PROPERTY LINE

SEWER LINE

49.5' FENCE LINE

8' H TREATED PINE 5.5" BOARD ON BOARD FENCE

SEWER LATERAL

SEWER LATERAL

16'-3"

16'-0"

MOTOR COURT

GARAGE

STORAGE

MUDROOM

NOOK

KITCHEN

PANTRY

DINING ROOM

PORCH DEPTH 8'

PORCH DEPTH 8'

COVERED PORCH

ENTRY

FAMILY ROOM

CL. 1

CL. 2

CL. 3

CL. 4

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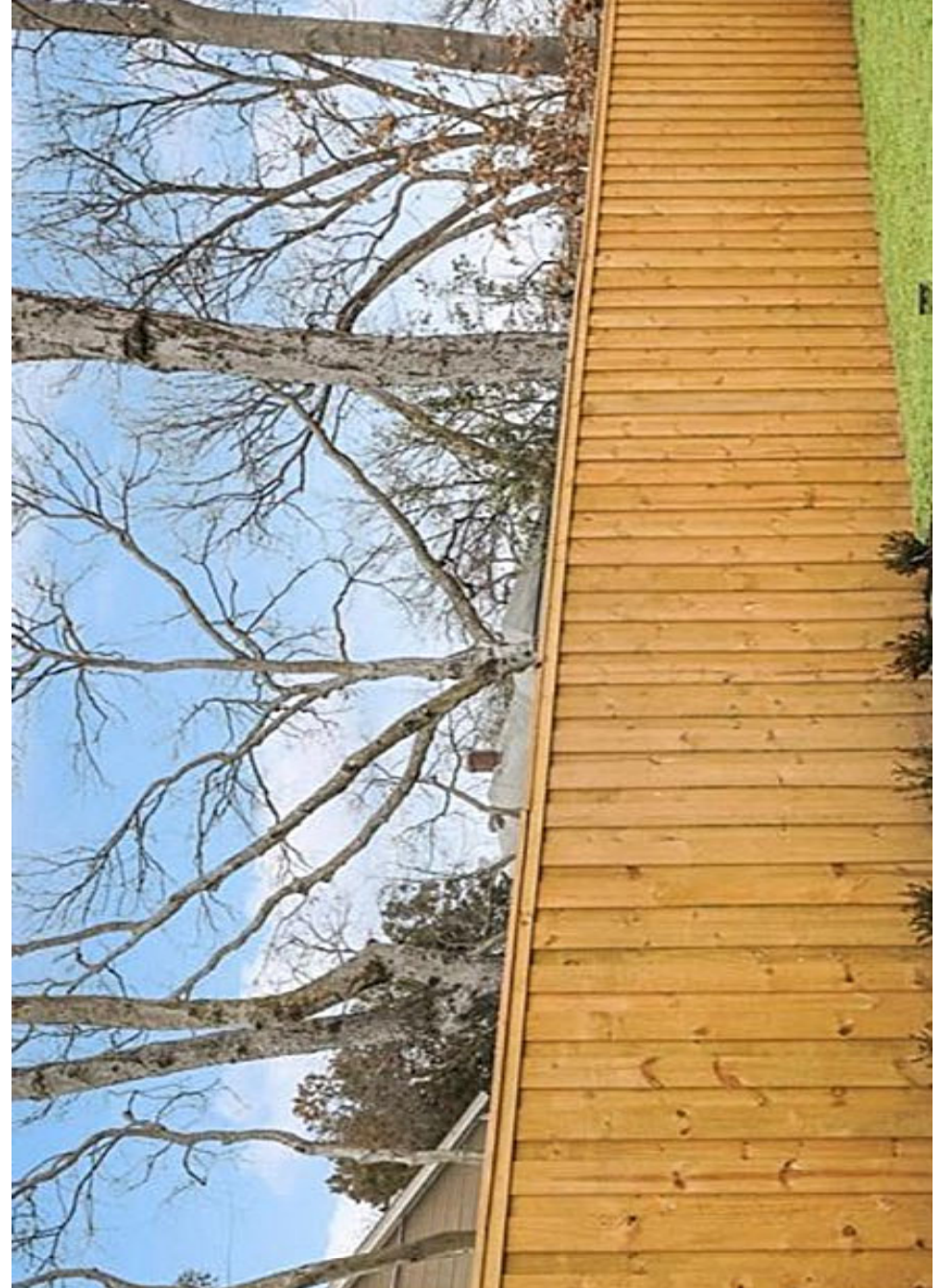
CL. 273







CA212-409(LVO)



C7-Application for Certificate of Appropriateness







PROPOSED LOCATION OF THE GATE  
AT 50% OF FACE DE





THE IMAGINARY RED LINE REPRESENTS THE  
PROPOSED  
FENCE LOCATION AT 50% OF THE FACADE





THE PROPOSED FENCE LOCATION  
5' BACK AT RIGHT BEHIND THE WINDOWS

THE RED LINE REPRESENTS THE  
PROPOSED  
LOCATION OF THE FENCE



THE PROPOSED FENCE DOOR AT NW  
NOTE: THIS IS A DOOR EXAMPLE,  
THEREFORE, THE ACTUAL DESIGN OF  
THE PROPOSED DOOR MAY NOT BE  
THE SAME DESIGN AS IT IS IN THE  
IMAGE









**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-395(LVO)  
LOCATION: 5305 Swiss Ave  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-63 (Area A)

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Swiss Avenue (H-1)  
MAPSCO: 46-B  
CENSUS TRACT: 0014.00

**APPLICANT:** John Buser

**REPRESENTATIVE:** N/A

**OWNER:** BUSER JOHN P & ANN J

**REQUEST:**

A Certificate of Appropriateness to replace non-compliant fencing in kind.

**BACKGROUND / HISTORY:**

1. 5305 Swiss Ave is a residence listed as contributing to the Swiss Avenue Historic District.
2. On March 11, 1976, a Certificate of Appropriateness (CA) for work within the rear portion of the property entailing installation of fencing and brick wall was approved by the City Plan Commission.
3. On December 5, 2000, a CA for a rear addition was approved by the Landmark Commission (Commission).
4. On March 1, 2004, a CA for exterior paint, repair of gutter, and landscape was approved by the Commission.
5. On April 8, 2004, a CA for rehabilitation of rear portion of property was approved with conditions by the Commission.
6. On June 6, 2005, a CA for relocation of outdoor pavilion was approved by the Commission.
7. On August 6, 2018, a CA for rehabilitation of accessory structure was approved by the Commission.
8. On September 4, 2018, a CA for rehabilitation of main and accessory structures was approved with conditions by the Commission.
9. Records do not indicate other requests for a CA outside of routine maintenance.

**STAFF RECOMMENDATION:**



That the request for a Certificate of Appropriateness to replace non-compliant fencing in kind be approved in accordance with drawings and specifications dated 7/5/22 with the following condition: 1) The height of the proposed fencing will be equal in height to the brick wall that extends from the side (northeast) elevation. The proposed work is consistent with Swiss Avenue preservation criteria Section 51P-63.116(2)(B)(ii), (iii), (iv)(ee), and (v) for fences; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to replace non-compliant fencing in kind be approved.



# **TASK FORCE RECOMMENDATION(S)**



# TASK FORCE RECOMMENDATION REPORT

## SWISS AVENUE/MUNGER PLACE

DATE: 06/07/2022

TIME: 5:30 pm

MEETING PLACE: Hybrid Virtual/2922 Swiss Ave

Applicant Name: John Buser

Address: 5305 Swiss Ave

Date of CA/CD/CR Request: 06/02/2022

### RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

### Task force members present

<input type="checkbox"/> Emily Stevenson (Chair)	<input type="checkbox"/> Kari Houston Osborn	<input checked="" type="checkbox"/> Aaron Trecartin
<input type="checkbox"/> VACANT (Prof)	<input checked="" type="checkbox"/> Bob Cox (Swiss Res)	<input type="checkbox"/> Richard Catron
<input checked="" type="checkbox"/> Greg Johnston		
<input checked="" type="checkbox"/> Sharon van Buskirk	<input type="checkbox"/> VACANT (Swiss alt)	

Ex Officio staff members present: ☒ Laura Groves van Onna

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: Bob Cox

2nd: Sharon van Buskirk

Task Force members in favor: all

Task Force members opposed:

Basis for opposition:

parsed

CHAIR, Task Force

Sharon

DATE 06/07/2022

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022, via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA _____ - _____ [ _____ ]
Office Use Only

Name of Applicant: John Buser

Mailing Address : 5305 Swiss Ave.

City, State and Zip Code: Dallas, TX 75214

Daytime Phone: 214-354-5469 Alternate Phone: \_\_\_\_\_

Relationship of Applicant to Owner : Owner

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

PROPERTY ADDRESS: \_\_\_\_\_

Historic District: \_\_\_\_\_

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

1. Replace existing wooden fence to match exactly, like for like- 8 foot board on board wooden fence. Color to match existing fence (medium brown, natural stain)

Note- Please see previously approved CA 034-093(JA) attached with reference to a 1976 CA approval of location of fence and brick wall.

Signature of Applicant: John Buser Date: May 11, 2022

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

**Memorandum to the Building Official, a Certificate of Appropriateness has been:**

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



## Certificate of Appropriateness

**Details**

**Documents**

### Property

Street Address

DCAD Info

[View](#)

5305 SWISS AVE

[Go](#)

Historic District Name: Swiss Avenue

Status: Complete

Date Filed:

Feb 5, 2004

Date Completed:

Mar 1, 2004

### Meetings

Date and Time

Type of Meeting

Location

No meeting information is available.

Planner Name: Jim Anderson

Standard of Demolition: (None)

Application Type: Standard

Structure Type: ☐ Contributing

☐ Noncontributing

Applicant: Ann and John Buser

Representative: Ann and John Buser

Tax Parcel Legal: 1498 00Q 00500 1001498 00Q

Block: Lot:

### Owner

Owner: Ann and John Buser  
5305 SWISS AVE  
DALLAS TEXAS 75214-5243

Owner Is Applicant: ☐

Owner Is Representative: ☐

### Additional Information

CA Number: CA034-093(JA)

### Requests

Background/History: Brick walls located at front left and right sides are shown in a 1979 Photo. A 1976 CA application was approved for a fence and brick walls.

Base Zoning:

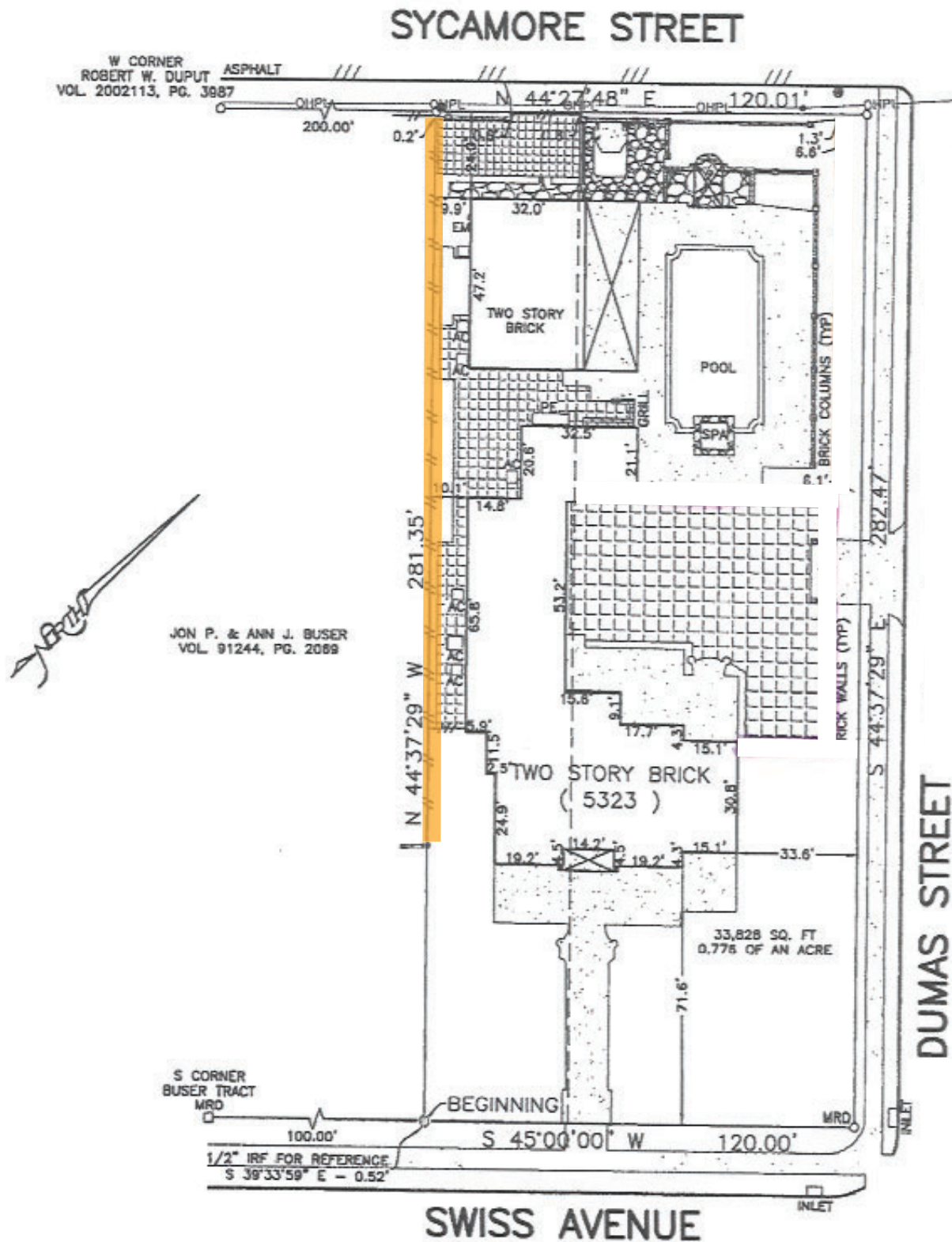
Council District: 14

MAPSCO:











# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

Name of Applicant: Ann: John Buser  
Mailing Address: 5305 SWISS AVENUE 75214  
Daytime Phone: 214 826-6018 Fax: 214 821-5491  
Relationship of Applicant to Owner: Same

Property Address: 5305 SWISS AVENUE  
Historic District: SWISS AVENUE  
Routine Maintenance: Yes ☒ No

Building  
Inspection:  
Please see  
signed drawings  
before issuing  
permit:

Yes ☐

No ☐  
Planner's Initials

### Proposed Work

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

See attached

Signature of Applicant: John Buser Date: 2/05/04

### Application Deadline:

Application material must be **completed and submitted by the first Thursday of each month, 5:00 p.m.**, before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201. You may also fax this form to 214/670-0728. Please do not fax paint colors or color photographs.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

### Other:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 2:00 pm in Council Chambers of City Hall. Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5CN of City Hall.

### Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☒ **Approved.** Please release the building permit.  
☐ **Approved with Conditions.** Please release the building permit in accordance with any conditions.  
☐ **Denied.** Please do not release the building permit or allow work.

[Signature]  
Department of Development Services

Certificate of Appropriateness

City of Dallas

3/8/09  
Date

Historic Preservation  
Rev. 3/27/01, 2-11-02, 1-29-03



We would like to rejuvenate the exterior of our home by repainting, re-landscaping and adding architectural interest and security with iron gates. The house was painted 12 years ago and is once again in need- wood gutters will be repaired and the existing color (gray green and cream) will be used for all trim. Landscaping will include removing the existing dead and dying azaleas (which we planted 12 yrs ago) and replacing with a variety of interesting textures and colors. Plans are included. We also propose a gate in the right wing wall for access to the back yard (without going down the drive). We would install stepping-stones to the gate, through the cedars and new plantings. On the drive, we would install a matching iron gate, automatic and simple. Plans included. The driveway wing wall is leaning and will be up righted.



**LANDMARK COMMISSION****3/1/2004**

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<b>FILE NUMBER:</b>	CA034-093(JA)	<b>PLANNER:</b>	Jim Anderson
<b>LOCATION:</b>	5305 Swiss Avenue	<b>DATE FILED:</b>	2/5/2004
<b>COUNCIL DISTRICT:</b>	14	<b>DISTRICT:</b>	Swiss Avenue
<b>ZONING:</b>		<b>MAPSCO:</b>	46B
	<b>Subtype:</b>	<b>CENSUS TRACT:</b>	
	Discussion		

---

**APPLICANT:** Ann and John Buser**REPRESENTATIVE:** Ann and John Buser**OWNER:** Ann and John Buser**REQUEST:**

1. Paint: Trim Color Gray Green and Accent Cream.
2. Repair wood gutters and paint existing trim Gray Green and accent Cream.
3. Landscaping: Remove the existing dead and dying azaleas and replace with a variety of interesting textures and colors (plans attached).
4. Gate: Propose a gate in the right wing wall for access to the back yard (without going down the drive). Install stepping-stones to the gate, through the cedars and new plantings. On the drive, install a matching iron gate, automatic and simple (plans attached). The driveway wing wall is leaning and will be righted.

**SUMMARY:****ANALYSIS / STAFF RECOMMENDATION:**

Approval.

1. and 2. Recommend approval of routine maintenance such as painting, etc.
3. Landscaping - approved as submitted, stone edging not to exceed 6" in height. Foundation plants not to exceed 2'.
4. Recommend denial without prejudice of wrought iron gate as proposed. Swiss Avenue Ordinance No. 18563, Section 14(b)(2)(D) (ii) The Landmark Commission may allow a fence to be located in the rear 75% of the side yard if it does not screen significant architectural elements. Submit site plan showing fence location.

**BACKGROUND/HISTORY:**

Brick walls located at front left and right sides are shown in a 1979 Photo. A 1976 CA application was approved for a fence and brick walls.

**TASK FORCE COMMENTS:**

rev. 09/03



Approval.

1. and 2. Recommend approval of routine maintenance such as painting, etc.
3. Landscaping - approved as submitted, stone edging not to exceed 6" in height. Foundation plants not to exceed 2'.
4. Recommend approval of two existing wing walls to be altered as submitted with iron gates.

**LANDMARK COMMISSION ACTION:**

I move that we approve the Paint Trim Color Gray Green, repair wood gutters as routine maintenance, and gate based on the Preservation Criteria: the iron gate as proposed in the right and left sides of the house are not detrimental to the district or the structure. With the Findings of Facts: Wing walls were approved prior by this commission for a Certificate of Appropriateness and that existing wings imply a gate existed here previously. I move that we approve with conditions the landscaping, noting that stone edging not to exceed 6" in height and foundation plantings be maintained and shall not exceed 24" in height.



**3/1/2004**

---

Landmark Commission Chair

---

Date

rev. 09/03







**SURVEY PLAT**

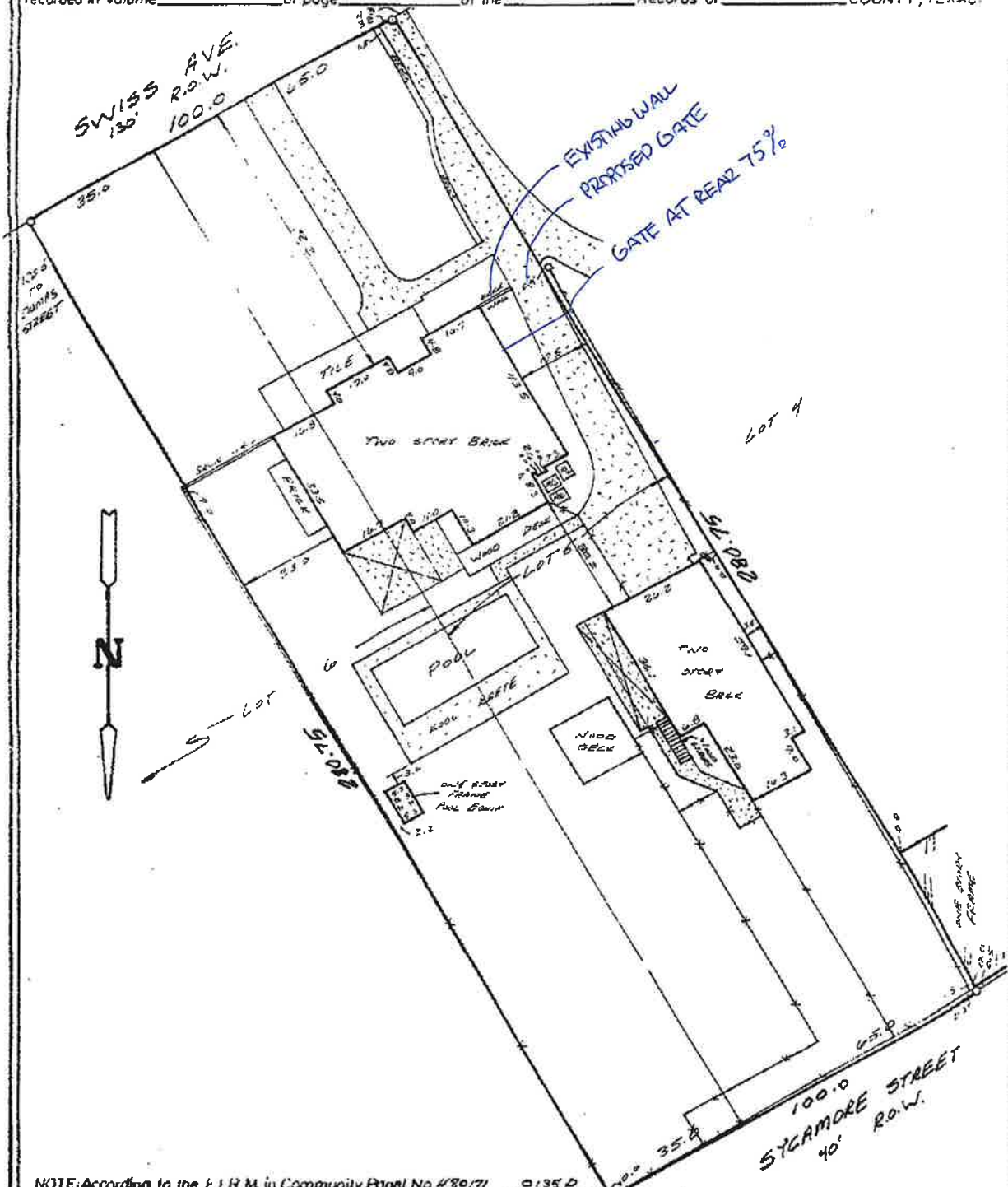
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located

at No. 5305 SWISS AVENUEin the city of DALLAS

Texas,

Lot No. 5 AND THE WEST 35' OF LOT 6Block No. 0/1478of MUNGER PLACE

on addition

to the City of DALLAS, DALLAS COUNTYTexas, according to the MAP THEREOFrecorded in Volume 1 at page 266 of the MAP Records of DALLAS COUNTY, TEXAS.

NOTE: According to the F.I.R.M. in Community Panel No. 430/71 01350  
lie within the 100 year flood zone this property does lie in Zone C and does not

To SAFE CO. LAND

Title Company in connection with the transaction described in G.F. No. 102254 W.W.

Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. And the plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Drawn by: S.L.Scale: 1" = 30'Date: 12-9-91

Borrower:

Job No: 91 2919**LEGEND**

- Iron rod found
- ⊙ Iron rod set
- Iron pipe found
- ⊙ Fence post corner
- ⊙ Underground Electric
- ⊙ Overhead Electric
- ⊙ Covered Porch, Deck or Carport
- ⊙ Overhead Electric Service Line
- ⊙ Overhead Power Line
- ✱ Chain link fence
- ⊙ Wood fence
- ⊙ Concrete
- ⊙ A/C
- ⊙ Air Conditioner
- ⊙ Power pole
- ⊙ Brick Column



*Doug Connally*  
DOUG CONNALLY & ASSOC., INC.  
11837 JUDD COURT #122  
DALLAS, TEXAS 75243  
PHONE: (214) 437-0191  
FAX: (214) 437-2842



# Task Force Recommendation Report

Swiss Munger

DATE: FEBRUARY 9, 2004

TIME: 5:15 pm

MEETING PLACE: 4501 SWISS AVE

ADDRESS:

5305 SWISS AVE.

APPLICANT'S NAME:

BUSER, John & Ann

DATE of CA / CE REQUEST:

2-05-04

Task Force Site Visit?

## RECOMMENDATION:

☒ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

Landscaping: Approval as submitted, stone edging not to exceed 6" in height. Foundation plants not to exceed 2'. Recommend approval of two existing wing walls to be altered as submitted with IRON gates. Recommend approval of routine maintenance such as painting etc.

Task force members present

☐ Andrews

☐ Keith

☒ Rogers

☐ Bebeau

☒ Moran

☐ Bourn

☒ Poss

Ex Officio staff members Present ☒ Jim Anderson ☐ Other: \_\_\_\_\_

Simply Majority Quorum: ☒ yes ☒ no (four makes a quorum) - Comments only.

Task Force members in favor: 100%

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

Kevin Rogers

DATE

2-9-04

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:30 with a staff briefing.

The landmark commission public hearing begins at 2:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



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<b>FILE NUMBER:</b>	CA034-093(JA)	<b>PLANNER:</b>	Jim Anderson
<b>LOCATION:</b>	5305 Swiss Avenue	<b>DATE FILED:</b>	2/5/2004
<b>COUNCIL DISTRICT:</b>	14	<b>DISTRICT:</b>	Swiss Avenue
<b>ZONING:</b>		<b>MAPSCO:</b>	46B
	<b>Subtype:</b>	<b>CENSUS TRACT:</b>	
	Discussion		

---

**APPLICANT:** Ann and John Buser

**REPRESENTATIVE:** Ann and John Buser

**OWNER:** Ann and John Buser

**REQUEST:**

1. Paint: Trim Color Gray Green and Accent Cream.
2. Repair wood gutters and paint existing trim Gray Green and accent Cream.
3. Landscaping: Remove the existing dead and dying azaleas and replace with a variety of interesting textures and colors (plans attached).
4. Gate: Propose a gate in the right wing wall for access to the back yard (without going down the drive). Install stepping-stones to the gate, through the cedars and new plantings. On the drive, install a matching iron gate, automatic and simple (plans attached). The driveway wing wall is leaning and will be righted.

**SUMMARY:**

**ANALYSIS /STAFF RECOMMENDATION:**

Approval.

1. and 2. Recommend approval of routine maintenance such as painting, etc.
3. Landscaping - approved as submitted, stone edging not to exceed 6" in height. Foundation plants not to exceed 2'.
4. Recommend denial without prejudice of wrought iron gate as proposed. Swiss Avenue Ordinance No. 18563, Section 14(b)(2)(D) (ii) The Landmark Commission may allow a fence to be located in the rear 75% of the side yard if it does not screen significant architectural elements. Submit site plan showing fence location.

**BACKGROUND/HISTORY:**

Brick walls located at front left and right sides are shown in a 1979 Photo. A 1976 CA application was approved for a fence and brick walls.

**TASK FORCE RECOMMENDATIONS:**

Approval.

1. and 2. Recommend approval of routine maintenance such as painting, etc.
3. Landscaping - approved as submitted, stone edging not to exceed 6" in height. Foundation plants not to exceed 2'.
4. Recommend approval of two existing wing walls to be altered as submitted with iron gates.

rev. 05/03



# CERTIFICATE OF APPROPRIATENESS REVIEW : Swiss Avenue Historic District ( P.D. 63-H )

## Case Description

Applicant:	J. C. Patterson	Filed at Building Inspection:	1-29; 2-16
Owner:	same	Received at Urban Planning:	2-2; 2-6
Site location:	5305 Swiss	Final processing deadline:	3-14; 4-1

### Nature of work:

original application for swimming pool in rear yard; lacked proper fencing required; second application filed

### Case Log:

approval of pool application pending proper fencing;  
applicant desired lattice fence plan; Ed Beran of Task Force  
provided detailed plan that applicant accepted. Task Force  
voted to approve application based on agreed upon plan.

Fence color to be beige to match building trim.

## Preservation Criteria

A. QUALITIES OF THE BLOCK : (must satisfy both requirements)	1 Landscaping	X	X
	2 Rhythm of spacing	X	X
B. QUALITIES OF THE BUILDING FORM : (must satisfy two)	1 Height/width ratio	X	X
	2 Shape of facade	X	X
	3 Multiplicity of roof forms	X	X
C. QUALITIES OF BUILDING TREATMENT : (must satisfy one of the first two, and one of the last two)	1 Color	X	X
	2 Material	X	X
	3 Horizontal projections	X	X
	4 Facade opening distribution	X	X
D. QUALITIES OF FACADE ACCENTUATION : (must satisfy two)	1 Porch & entrance projections	X	X
	2 Detailing	X	X
	3 Embellishment	X	X
NOTE: Preservation criteria review and evaluation by the Historic Land- mark Preservation Committee.	TOTAL	12	12
	NEEDED SCORE	8	8



Staff Recommendation

HLPC Recommendation

approval

Date: 2-24

approval

Date: 2-24

subject to following conditions: X

Alan Mason  
Preservation Planner, D.U.P.

Reinold W. Kalm ms: 95  
Chairman, Swiss Ave. Design Task Force

W. J. [Signature]  
Asst. Director, D.U.P.

Reinold G. Steinhat  
Vice Chairman, H.L.P.C.

Conditions and/or Comments

lattice fence to meet specifications outlined in attached plan  
pool to have adequate fencing

City Plan Commission

The request for the Certificate of Appropriateness has been reviewed by the City Plan Commission and is:

Approved

Date: 3/11/76

Chae Shapiro  
Chairman, City Plan Commission

Memorandum

The Certificate of Appropriateness has been: approved

To: J. Tom Jones,  
Building Inspection

Date: 3/11/76

Therefore, please release  
the building permit.

Subject to the above conditions:

J. Tom Jones  
Director, Department of Urban Planning



# PERMIT APPLICATION

SUBMIT IN DUPLICATE

76 FEB 16 P12: CITY OF DALLAS



2/16 DPAD

APPLICANT TO COMPLETE ALL ITEMS WITHIN  
HEAVY LINES - PLEASE PRINT OR TYPE

TYPE OF APPLICATION

DATE 2/16/76	USE Fence	JOB ADDRESS 5305 SWISS AVE
DESCRIPTION OF WORK Fence & Brick Wall to be built.		
OWNER OR TENANT JC PATTERSON	ADDRESS OF OWNER OR TENANT IF DIFFERENT FROM JOB ADDRESS 5305 SWISS AVE	
CONTRACTOR WHO WILL PERFORM WORK DESCRIBED ABOVE	BUSINESS ADDRESS OF CONTRACTOR SAME	VALUE OF WORK 2,500
<p>I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF AN AUTHORIZATION IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH. WHETHER HEREIN SPECIFIED OR NOT. I AGREE TO COMPLY WITH ALL PROPERTY RESTRICTIONS. I AM THE OWNER OF THE ABOVE PROPERTY OR HIS DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS.</p> <p>APPLICANT'S SIGNATURE <u>JC. Patterson</u> PHONE <u>821-3304</u></p> <p>MAIL AUTHORIZATION TO <u>5305 SWISS AVE</u> ZIP <u>75214</u> NOTIFY WHEN READY <input type="checkbox"/></p>		

\* SEE PERMIT FEE INFORMATION SHEET

BELOW FOR OFFICE USE ONLY

BLOCK	LOT	DISTRICT	ZONING	FIRE ZONE	TYPE CONST.	OCCUPANCY	USE CODE	ACT. CODE	OWN. CODE	STORIES	AUTHORIZATION FEE
BUILDING AREA	PRO. PARK	REQ. PARK	LOT AREA	REHAS.	CENSUS TRACT	BEDROOMS	BATHS	LIV. UNITS	TYPE HTG.	SPRINKLER	PLAN EXAM FEE
REMARKS:											
ROUTE TO	CH'KD	DATE	COMMENTS								
PRE-INSPECTION			Highway 100								
ZONING											
BUILDING											
ELECTRICAL											
MECHANICAL											
PLUMBING											
TRAFFIC											
WATER											
HEALTH											
FIRE MARSHAL											
MAPS AND FLATS											

CA212-395(LVO)

C8-Application for Certificate of Appropriateness



# PERMIT APPLICATION

SUBMIT IN DUPLICATE

76 JAN 29 11:44



CITY OF DALLAS

BUILDING DIV.  
CITY OF DALLAS

APPLICANT TO COMPLETE ALL ITEMS WITHIN  
HEAVY LINES - PLEASE PRINT OR TYPE

TYPE OF APPLICATION  
Swimming Pool

DATE 1-29-76 JOB DESCRIPTION Swimming Pool JOB ADDRESS 5305 Swiss Ave. - Dallas, Texas

DESCRIPTION OF WORK  
Construction of a Gunited Swimming Pool

OWNER OR TENANT J. C. Patterson ADDRESS OF OWNER OR TENANT IF DIFFERENT FROM JOB ADDRESS 5305 Swiss Ave. - Dallas, Texas  
CONTRACTOR WHO WILL PERFORM WORK DESCRIBED ABOVE Aquatic Pools, Inc. BUSINESS ADDRESS OF CONTRACTOR 11171 Harry Hines - Suite 105 - Dallas VALUE OF WORK \$9,000.00

I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF AN AUTHORIZATION IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT I AGREE TO COMPLY WITH ALL PROPERTY RESTRICTIONS I AM THE OWNER OF THE ABOVE PROPERTY OR HIS DULY AUTHORIZED AGENT PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS

APPLICANT'S SIGNATURE Joyce A. Randall Aquatic Pools, Inc. PHONE 2-3-6221  
MAIL AUTHORIZATION TO 11171 Harry Hines - Suite 105 ZIP 75229 NOTIFY WHEN READY ☒

\* SEE PERMIT FEE INFORMATION SHEET AREA "A"  
BELOW FOR OFFICE USE ONLY

BLOCK	LOT	DISTRICT	ZONING	FIRE ZONE	TYPE CONST.	OCCUPANCY	ST CODE	AC CODE	OWN CODE	STORIES	REMARKS
01/1498	54	23	PD 634	3			700	F	H		4500
REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS

REMARKS:  
10'5 and 35'4 1st 6  
5'4 min min - edge of pool to side + rear property

ROUTE TO	CH'KD	DATE	COMMENTS
PRE-INSPECTION	<input checked="" type="checkbox"/>		
FOUNDING	<input checked="" type="checkbox"/>		
BUILDING	<input checked="" type="checkbox"/>		
ELECTRICAL	<input checked="" type="checkbox"/>		
MECHANICAL	<input checked="" type="checkbox"/>		
PLUMBING	<input checked="" type="checkbox"/>		
TRAFFIC	<input checked="" type="checkbox"/>		
AL	<input checked="" type="checkbox"/>		
FLATS	<input checked="" type="checkbox"/>		

RETURN TO  
BLDG. INSP.

ROUTING DESK



**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-401(CVO)  
LOCATION: 2908 Metropolitan Ave  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 7  
ZONING: PD-1062, PD-595

PLANNER: Carlos van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Wheatley Place  
MAPSCO: 46-U  
CENSUS TRACT: 0037.00

**APPLICANT:** LICHTENBERG KRISTI**REPRESENTATIVE:** N/A**OWNER:** CORNERSTONE CROSSROADS ACADEMY**REQUEST:**

A Certificate of Appropriateness to temporarily place a portable structure at the location of a previously removed portable structure behind the Phillis Wheatley School

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to temporarily place a portable structure at the location of a previously removed portable structure behind the Phillis Wheatley School be approved in accordance with the drawings and specifications dated 7/5/22 with the following condition: 1) The applicant will remove or reapply for a Certificate of Appropriateness for the portable structure after a period of three (3) years. The proposed work does not comply with the preservation criteria, however, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is temporary, facilitates restoration and continued operation of Phyllis Wheatley Elementary School, and will not permanently adversely affect the historic character of adjacent properties or the integrity of the historic overlay district.

**TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to place a portable structure at the location of a previously removed portable structure behind the Phillis Wheatley School be approved with the condition that a timeline is set for completion of the restoration of the school so the temporary structure can be removed.



















**TASK FORCE RECOMMENDATION REPORT**  
**WHEATLEY PLACE / TENTH STREET**

DATE: **6/9/2022**

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Kristi Lichtenberg

Address: 2908 Metropolitan Ave (Wheatley Place Neighborhood HD)

Date of CA/CD Request: 6/2/2022

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

That the request for a Certificate of Appropriateness to place a portable structure at the location of a previously removed portable structure behind the Phillis Wheatley School be approved with the condition that a timeline is set for completion of the restoration of the school so the temporary structure can be removed.

**Task force members present**

<input checked="" type="checkbox"/> Brenda Gonzalez	<input type="checkbox"/> Connie Reyes
<input type="checkbox"/> Larry Johnson	<input checked="" type="checkbox"/> Barbara Wheeler
<input checked="" type="checkbox"/> Kathleen Lenihan	<input type="checkbox"/>

Ex Officio staff members Present ☒ Carlos van Onna ☐

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum; no more than seven can vote)

Maker: Kathleen Lenihan

2<sup>nd</sup>: Brenda Gonzalez

Task Force members in favor: ALL

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force N/A

DATE 06/07/22

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: Kristi Lichtenberg  
Mailing Address : PO Box 151062  
City, State and Zip Code: Dallas, TX 75215  
Daytime Phone: 214-426-3282 Alternate Phone: \_\_\_\_\_  
Relationship of Applicant to Owner : \_\_\_\_\_

### OFFICE USE ONLY

Main Structure:

☐ Contributing

☐ Non-contributing

PROPERTY ADDRESS: 2908 Metropolitan Ave  
Historic District: Wheatley Place Historic District

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Owner proposes to place a portabe building at the location of a previously-removed portable building behind the Phillis Wheatley School.

The proposed building lies outside the boundary of the individual listing for Phillis Wheatley School but within the boundaries of the Wheatley Place Historic District.

Signature of Applicant: Kristi M. Lichtenberg Date: May 31, 2022

Signature of Owner: \_\_\_\_\_  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Office of Historic Preservation

Date



*Continuation*

**Background**

Cornerstone Crossroads Academy (CCA) is the nonprofit owner of the Phillis Wheatley School. CCA provides educational opportunities to urban youth and intends to rehabilitate the school for their programs and those of their community partners. The multi-phase project will begin with the gym building at the rear of the school.

The Landmark Commission approved a previous CA for exterior improvements to the gymnasium building. The plan at that time was for use of the gym for offices and classrooms, but this has been revised based on community input expressing the need for a gym facility. The use as a gym will also allow CCA to complete the project using Texas Historic Rehabilitation Tax Credits. We do not anticipate changes to the previous CA because the change of use does not impact the building exterior, but if changes are necessary, we will submit an amendment for approval.

Please note that the governing ordinance for this CA is the Wheatley Place Historic District, not the Phillis Wheatly School. The work proposed in this application falls outside the boundary of the school's individual listing.

**Portable Building**

CCA is in the planning and fundraising phase for the rehabilitation of the Phillis Wheatley School and the building is not yet suitable for occupancy. With the gym now to be used by the owner for its original purpose, CCA is in immediate need of classroom and office space.

CCA proposes to place a portable building on the south side of the school grounds. The proposed location is on the footprint of a portable building that existed on campus prior to the school's closure by DISD. The covered walkways/sidewalks that provided access to the temporary building are still present on the site and may need modifications to align with the entries to the new building.

We have provided a 2013 aerial in this application showing the location of the DISD portable. We have not been able to find any images of the building from street level.

This application includes photographs of the proposed portable, elevations, and diagrams of the proposed location.

The Wheatley Place ordinance does not address this situation because it focuses on residential properties and their accessory buildings. CCA requests approval of the proposed portable based on the following:



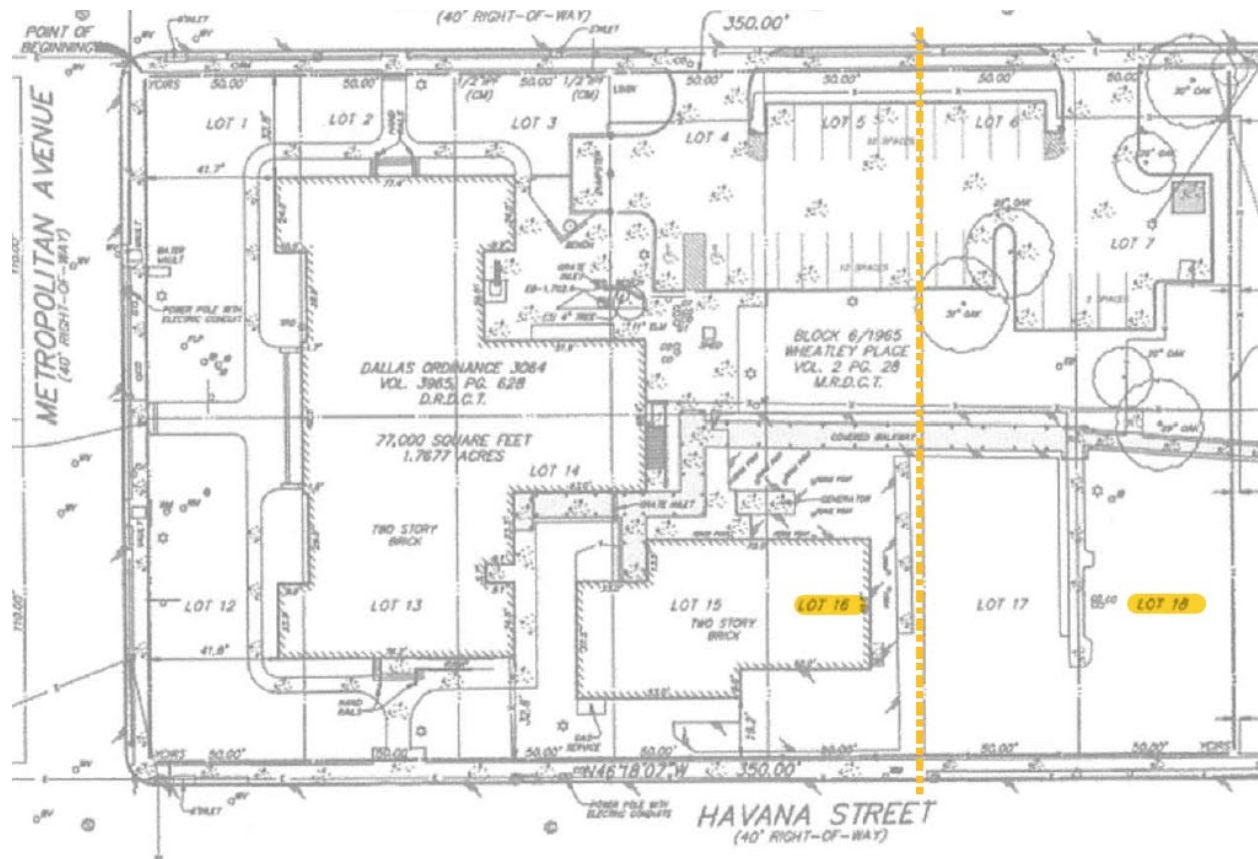
*Continuation*

- The portable is a temporary structure.
- CCA provides important support for the surrounding community and the facility is critical to supporting their operations.
- Until recently a portable building existed in this same location.
- The school setting is a unique situation in the district and a portable is appropriate to the context.
- Similar historic district ordinances, such as that for Junius Heights, specifically allow portable buildings because of school needs.



Continuation

BEING all of Lots 1 through 5 and all of Lots 12 through 16 in City Block 6/1965 in the Macum Main Survey, Abstract No. 995, in the City of Dallas, Dallas County, Texas, said lots fronting 250 feet on the southwest line of Meyers Street and fronting 250 feet on the northeast line of Havana Street, with said frontages beginning at their intersection with the southeast line of Metropolitan Avenue, and containing approximately 1.26 acres of land,



Images 1A and 1B – Boundary description for the Phillis Wheatley School individual site listing (Top) and a site plan (bottom). The district boundary is Lot 16. The proposed portable site is Lot 18.



*Continuation*



*Image 2 - 2013 aerial showing DISD portable on Lot 18.*



*Continuation*



*Image 3 - Phillis Wheatley School*



*Continuation*



*Image 4 – View of site from the west (Havana Street)*



*Continuation*



*Image 5 - View from the south with building site in foreground.*



*Continuation*



*Image 6 - View from south with covered walkway on the right.*



*Continuation*



*Image 7 - Proposed portable. Please note that the ramp/stair configurations may be modified to meet the specific needs of the site*



*Continuation*



*Image 8*



*Continuation*



*Image 9*

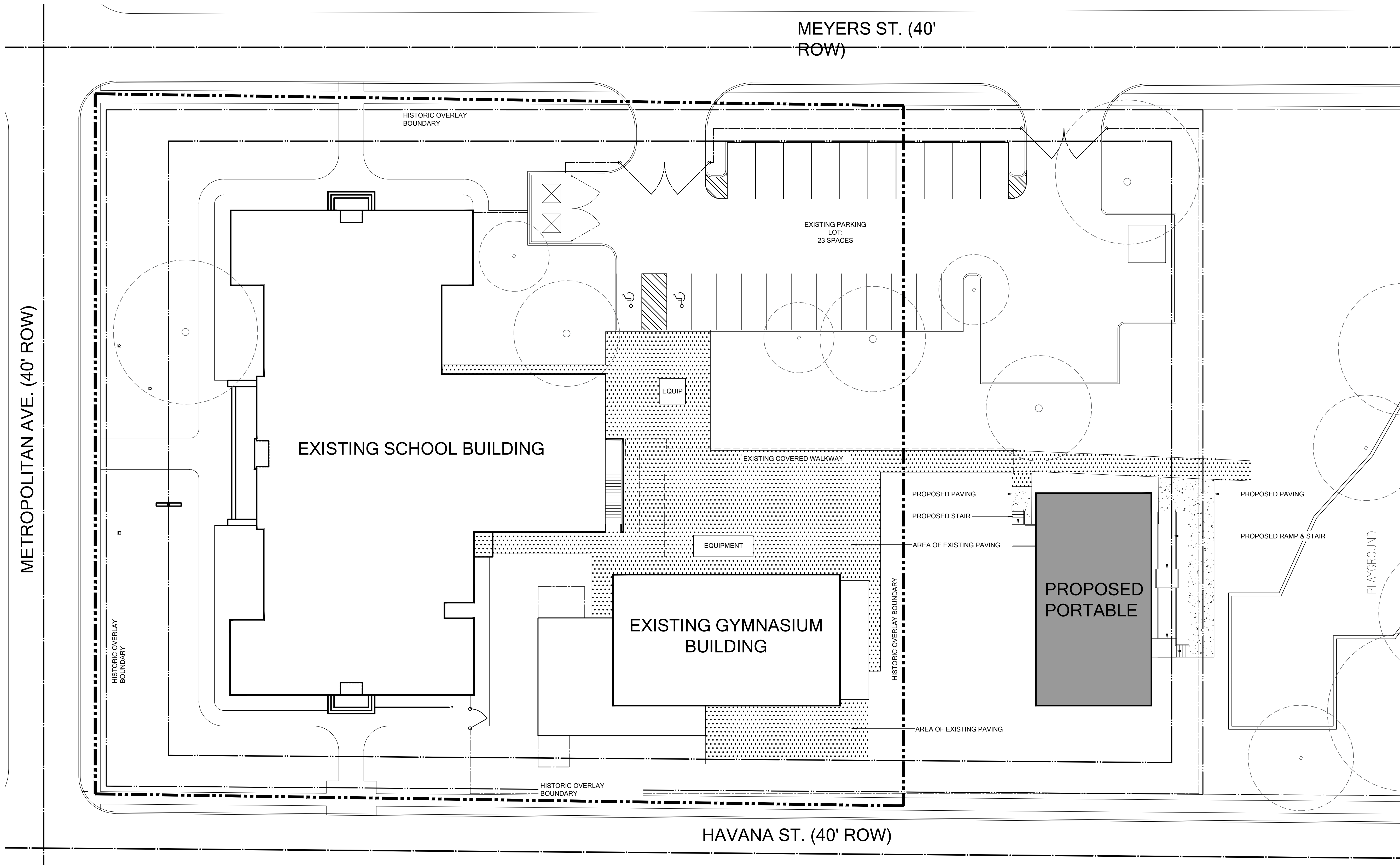


*Continuation*



*Image 10*





Phillis Wheatley School  
Cornerstone Crossroads Academy

**COPYRIGHT**  
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions shall be reported to Architexas without delay. The Copyrights to all designs and drawings are the property of Architexas. Reproduction or use for any purpose other than that authorized by Architexas is forbidden.

**REVISION HISTORY**

This document is incomplete and may not be used for regulatory approval, permit, or construction.

**Architexas No.** **Date**  
06/01/2022

**Sheet Name**  
Proposed Site Plan

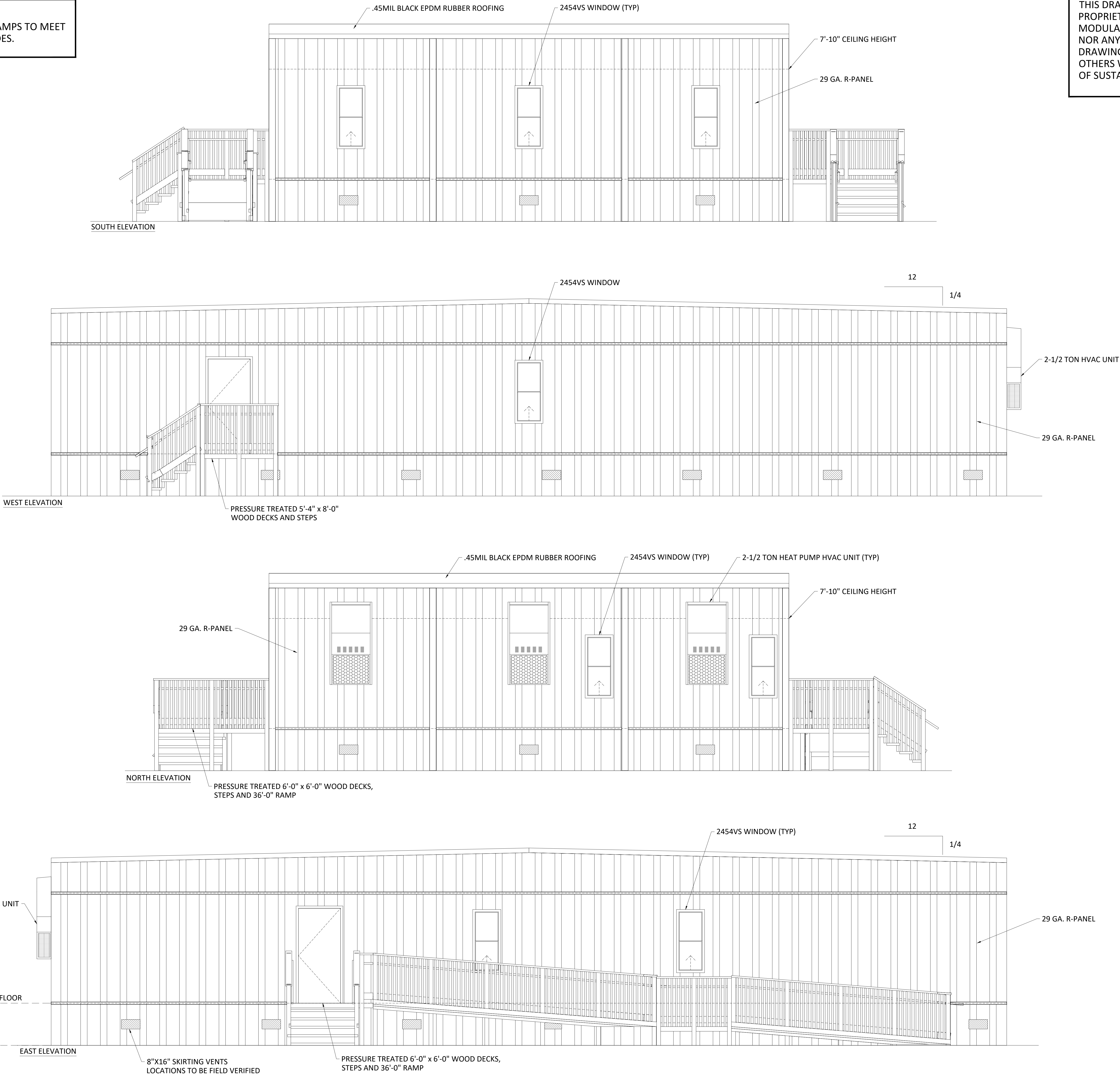
**Sheet Number**

Ao.o



NOTE:  
ALL STEPS, DECK AND RAMPS TO MEET  
ADA AND NFPA 101 CODES.

THE INFORMATION AND DESIGNS CONTAINED IN  
THIS DRAWING ARE CONFIDENTIAL AND THE  
PROPRIETARY PROPERTY OF SUSTAINABLE  
MODULAR MANAGEMENT. NEITHER THIS DESIGN  
NOR ANY INFORMATION CONTAINED IN THIS  
DRAWING MAY BE REPRODUCED OR DISCLOSED TO  
OTHERS WITHOUT THE EXPRESS WRITTEN CONSENT  
OF SUSTAINABLE MODULAR MANAGEMENT.



REVISION

1.  
2.  
3.  
4.

DALLAS, TX - CORNER STONE  
CROSSROADS ACADEMY

LOCATION: FAIR PARK, TX

JOB NO: SSI 4460 A-C

SCALE: 3/8" = 1'-0"

DRAWN BY: MC

DATE: 5-10-2022

EXTERIOR  
ELEVATIONS

A-1





3723 Havana St  
Wheatley School Portable 2011

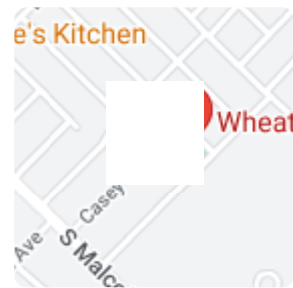


Image capture: Jul 2011 © 2022 Google

Dallas, Texas

Google

Street View - Jul 2011







3731 Havana St  
Wheatley Portable 2011

//

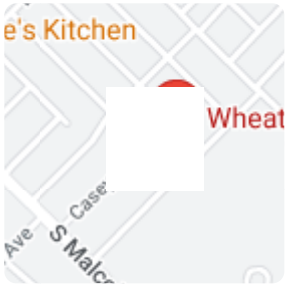


Image capture: Jul 2011 © 2022 Google

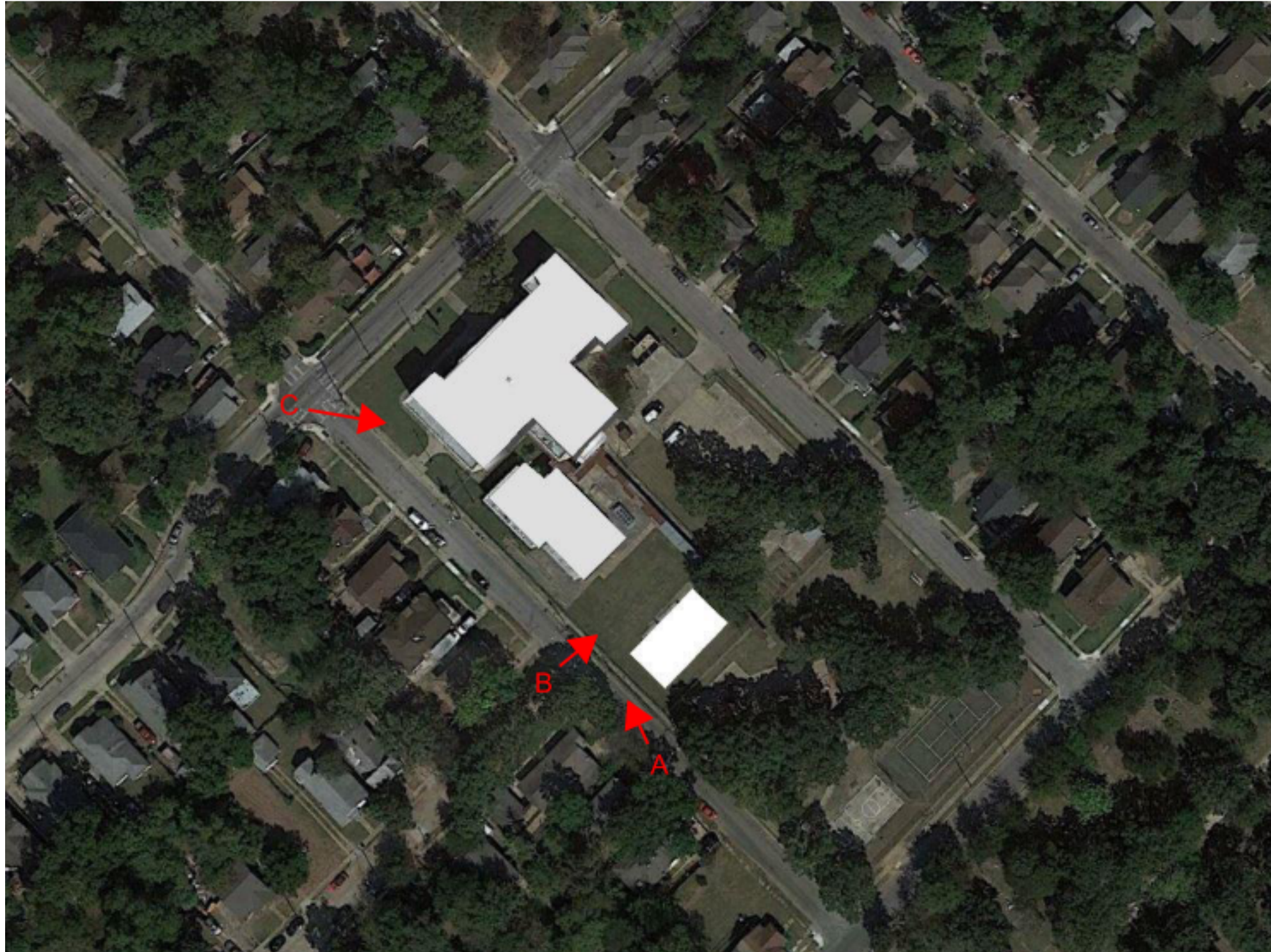
Dallas, Texas

Google

Street View - Jul 2011

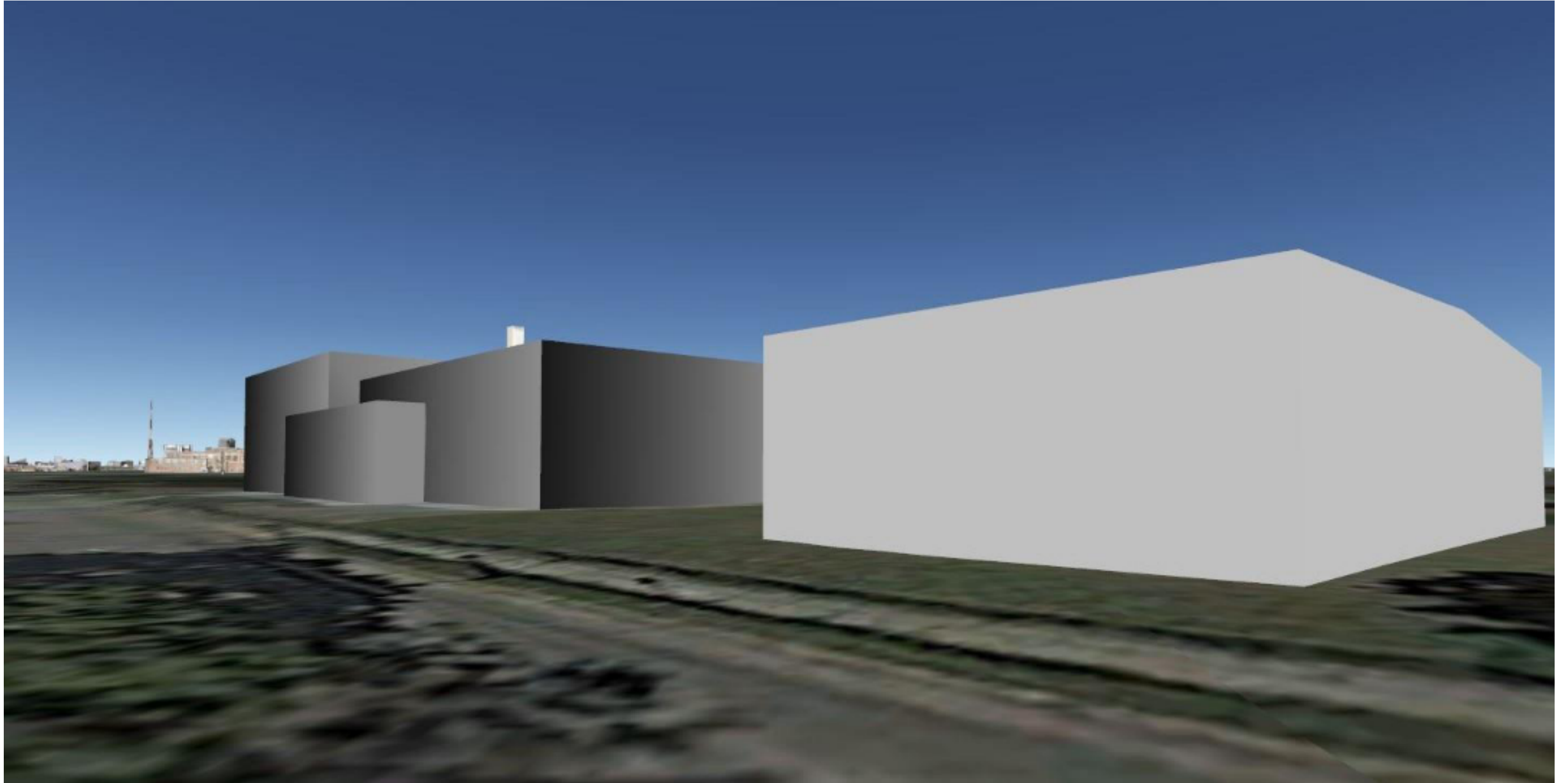






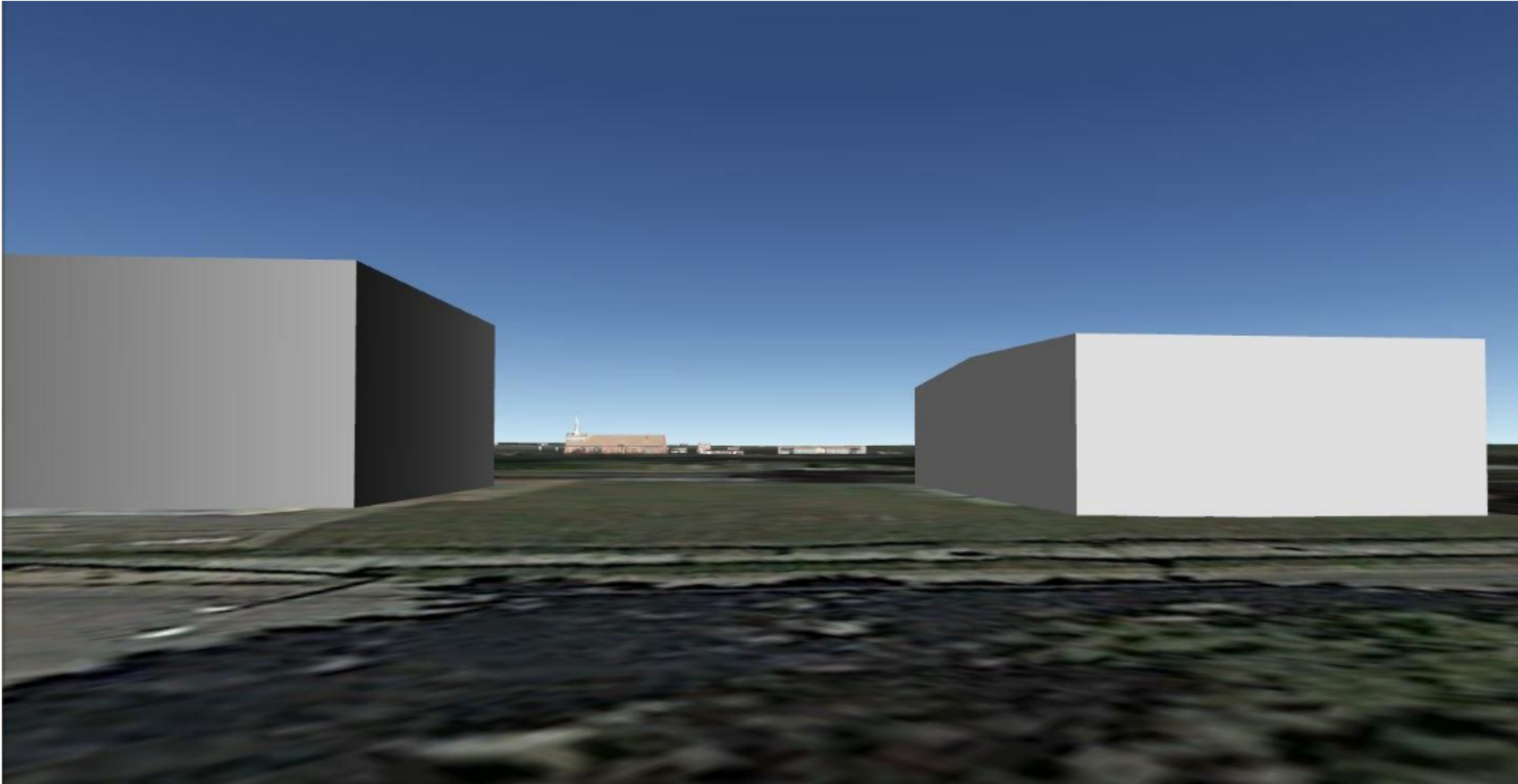
## 1<sub>NTS</sub> Wheatley School - Site





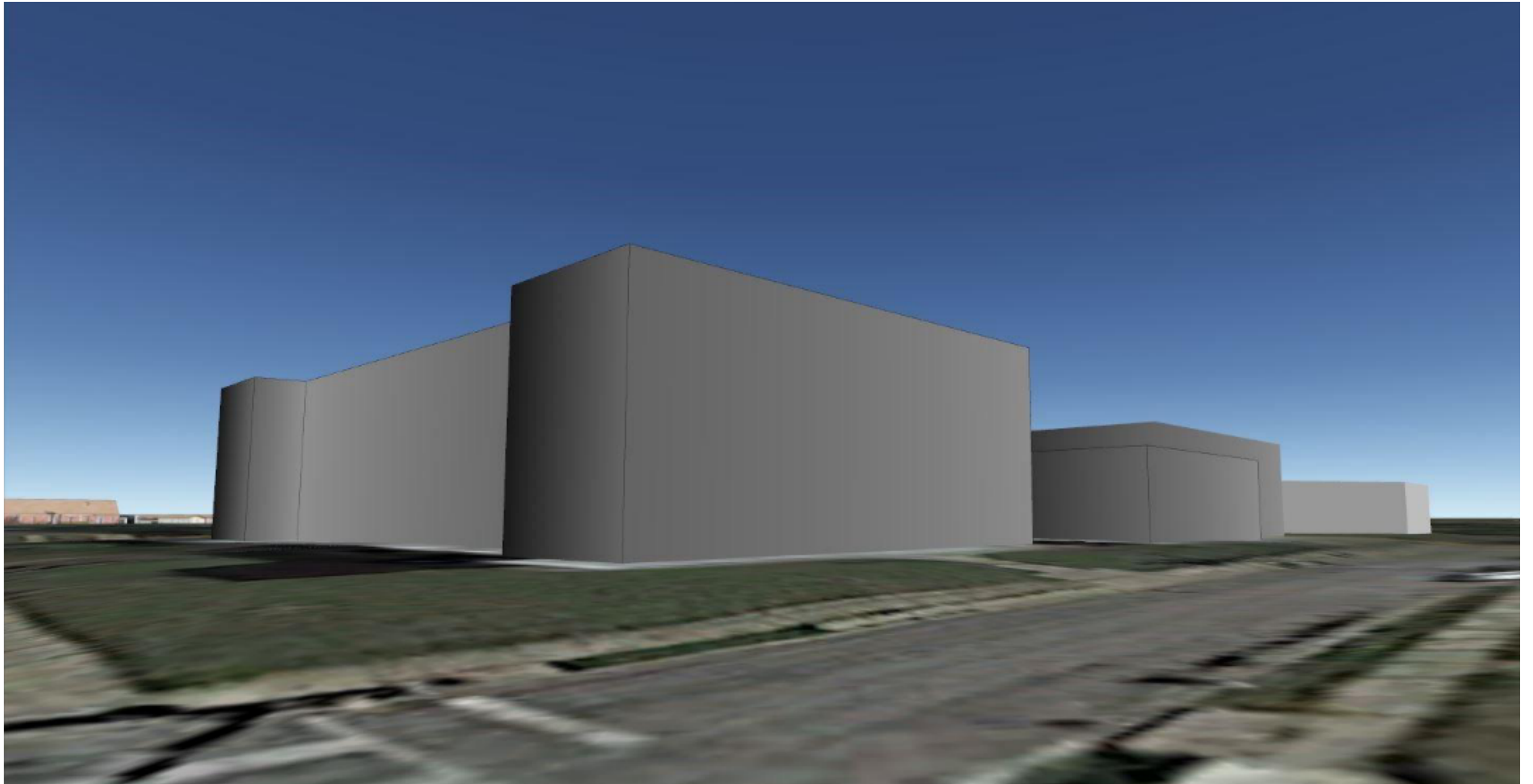
**1** Wheatley School - View A  
NTS





**1** Wheatley School - View B  
NTS





**1** Wheatley School - View C  
NTS



**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-390(SB)  
LOCATION: 111 N Clinton Ave.  
STRUCTURE: Non-Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD 87 (Tract 1)

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-F  
CENSUS TRACT: 0046.00

**APPLICANT:** Craine, Patrick

**REPRESENTATIVE:** N/A

**OWNER:** CURRO THERESE & MERRICK MICHAEL J

**REQUEST:**

- 1) A Certificate of Appropriateness to remove existing windows, replace with wood siding, install new windows in different locations, and relocate existing door on accessory structure.
- 2) A Certificate of Appropriateness to paint accessory structure SW7008 "Alabaster" for siding, SW 6496 "Oceanside" for trim.
- 3) A Certificate of Appropriateness to replace metal railing and gate and wood staircase with ipe wood railing, gate, and staircase, and install ipe wood decking on accessory structure.
- 4) A Certificate of Appropriateness to install limestone paver pool deck in rear yard.

**BACKGROUND / HISTORY:**

- 1) The primary residence at 111 N Clinton Ave. is a contributing structure to the Winnetka Heights Historic District. However, the accessory structure has been modified beyond its original footprint and is a non-contributing structure.
- 2) On July 28, 2021 staff approved CA201-589(MLP) to install new Certainteed asphalt shingles on main and accessory structure.
- 3) On March 2, 2021 staff approved CA201-256(MLP) to replace rotted wood siding on rear accessory structure with new wood #117 siding and paint to match existing; and to replace one existing aluminum window on rear accessory structure with new aluminum window.
- 4) On March 3, 2020 staff approved CA190-294(MLP) to install new 6'-0" wood fence along rear property line.



## **RELEVANT PRESERVATION CRITERIA:**

### **Winnetka Heights Historic District (H-15), Article 87, PD 87**

#### **SEC. 51P-87.111 Preservation Criteria for Tract 1**

##### **(a) Building placement, form, and treatment.**

(3) Architectural detail. Materials, colors, structural and decorative elements, and the manner in which they are used, applied, or joined together must be typical of the style and period the main building and compatible with the other buildings on the blockface.

##### **(8) Color.**

(B) Certain colors prohibited. Fluorescent and metallic colors are not permitted on the exterior of any structure in the district.

(C) Dominant and trim colors. All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complimentary of each other and the overall character of this district.

(16) Stairs. Second and third story exterior staircases are only permitted on accessory buildings and the rear 50 percent of the main building, except that they are not permitted on a corner side facade.

(17) Windows and doors.

##### **(F) Style.**

(iv) The frames of windows must be trimmed in a manner typical of the style and period of the building.

##### **(b) Landscaping.**

##### **(9) Sidewalks, driveways, and curbing.**

##### **(A) Materials.**

(iii) All private sidewalks and driveways must be constructed of concrete, gravel, or brick that matches or is compatible in texture, color, and style with the main building.

## **RELEVANT DALLAS CITY CODE:**

### **Section 51A-4.501. Historic Overlay District**

##### **(g) Certificate of Appropriateness.**

##### **(6) Standard certificate of appropriateness review procedure.**

(C) Standard for approval. The landmark commission must grant the application if it determines that:

##### **(i) for contributing structures:**

(aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*

(bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*

(cc) *the proposed work will not have an adverse effect on the historic overlay district; and*

(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

(ii) *for noncontributing structures, the proposed work is compatible with the historic overlay district.*



## **PROJECT DESCRIPTION & ANALYSIS:**

### **1) Renovate and Remodel Accessory Structure**

The applicant is proposing to remove existing windows, replace with wood siding, install new windows in different locations, and relocate existing door on accessory structure.

#### **Analysis –**

The accessory structure is mostly hidden from the public view on the sidewalk and along N. Clinton Ave. by the primary structure and the adjacent residence. In addition, the proposed changes improve the quality and stability of the structure. Aluminum windows are proposed to be replaced by wood windows. The door is proposed to be moved by only a few inches. Wood siding will be replaced to match the existing 117 siding. The proposed work will not have an adverse effect on the architectural features of the structure, the historic overlay district, or the future preservation, maintenance and use of the structure or the historic overlay district.

### **2) Paint Accessory Structure**

The applicant is proposing to paint accessory structure SW7008 "Alabaster" for siding, SW 6496 "Oceanside" for trim.

#### **Analysis –**

The proposed colors nearly match the existing colors with only a subtle change to the blue. The proposed work will not have an adverse effect on the architectural features of the structure, the historic overlay district, or the future preservation, maintenance and use of the structure or the historic overlay district.

### **3) Install ipe wood stairs, railing, decking, gate**

The applicant is proposing to replace metal railing and gate and wood staircase with ipe wood railing, gate, and staircase, and install ipe wood decking on accessory structure.

#### **Analysis –**

The accessory structure is mostly hidden from the public view on the sidewalk and along N. Clinton Ave. by the primary structure and the adjacent residence. In addition, the proposed changes improve the quality and stability of the structure. Existing wood and metal will be replaced by ipe wood to give the structure a more unified and consistent appearance. Ipe wood is a hard and durable material which naturally stains through exposure to the elements. The proposed work will not have an adverse effect on the architectural features of the structure, the historic overlay district, or the future preservation, maintenance and use of the structure or the historic overlay district.

### **4) Install limestone pavers around pool**

The applicant is proposing to create a deck around the pool with limestone pavers.

#### **Analysis –**

The pavers will not be seen from the public view and will not have an adverse effect on the architectural features of the structure, the historic overlay district, or the future preservation, maintenance and use of the structure or the historic overlay district.



## **STAFF RECOMMENDATION:**

- 1) That the request for a Certificate of Appropriateness to remove existing aluminum windows, replace with wood siding, install new wood windows in different locations, and relocate existing door on noncontributing accessory structure be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(17)(F)(iv) for windows and doors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
- 2) That the request for a Certificate of Appropriateness to paint accessory structure SW7008 "Alabaster" for siding, SW 6496 "Oceanside" for trim be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(8) for color and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
- 3) That the request for a Certificate of Appropriateness to replace metal railing and gate and wood staircase with unstained ipe wood railing, gate, and staircase, and install unstained ipe wood decking on accessory structure be approved per specifications dated 07/05/2022. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural details and (16) for stairs and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.
- 4) That the request for a Certificate of Appropriateness to install limestone paver pool deck in rear yard be approved per specifications dated 07/05/2022. Although the proposed limestone pavers do not strictly comply with the Winnetka Heights preservation criteria Section 51P-87.111(b)(9)(A)(3) for landscaping materials, the work will not adversely affect the historic character of the district, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures.

## **TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness be approved with conditions. Removal of aluminum windows is desired. Placement of new windows is important and TF recommends considering adding a window if possible on the alley side.

New railing/ IPE Gates and elevations need details and dimensions.

Wood windows are to be unclad.

Sashes should have wider bottom rail for historic proportion.

IPE stain color needs to be added.

Need pictures of main structure added to submission.

TF commends applicant for improving historic character of this accessory structure.

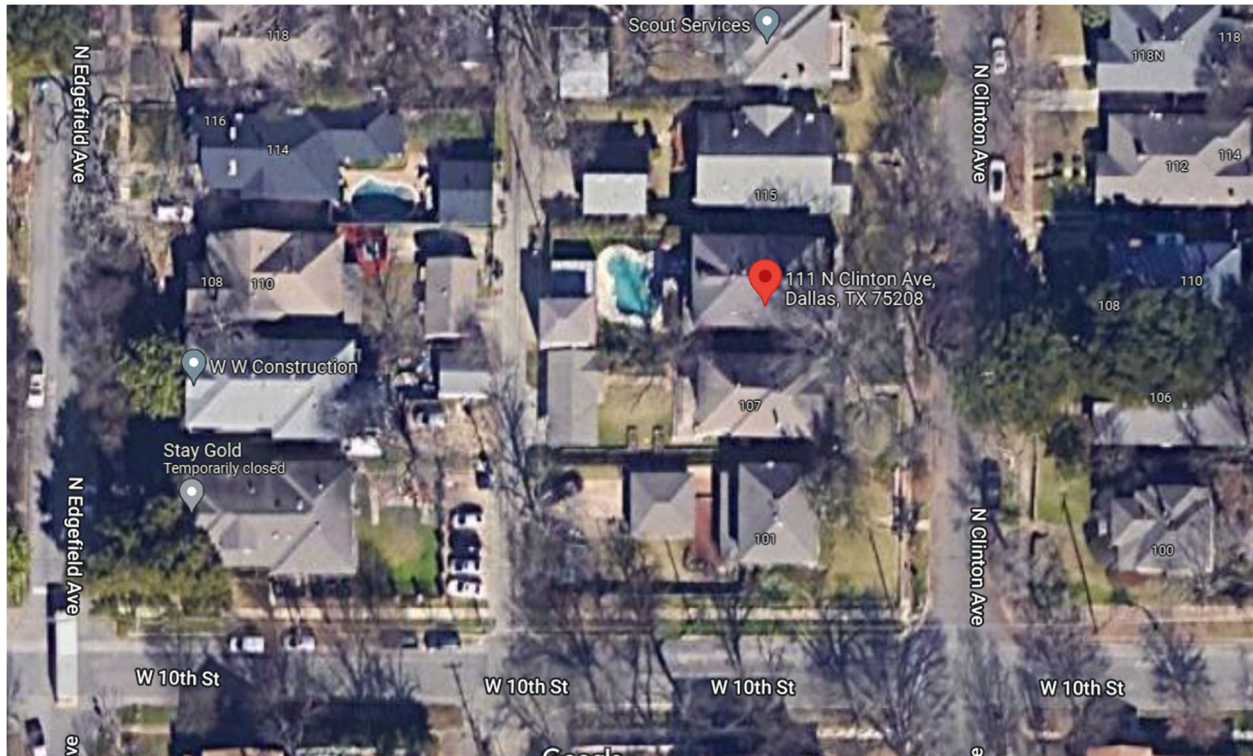
*After the Task Force meeting, the applicant provided additional documentation and clarification.*



## LOCATION MAP

129 S Montclair Ave.

*Basemap Source: Google Maps*





## CURRENT PHOTOS

111 N Clinton Ave. – Accessory Structure





**CURRENT PHOTOS**  
111 N Clinton Ave.



CA212-390(SB)

C10-7



**TASK FORCE  
RECOMMENDATION(S)**



**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: Patrick Crane  
PROPERTY ADDRESS: 111 N Clinton Ave  
DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Agenda Item #2 - Recommendation / comments/ basis:

- Removal of aluminum windows is desired. Placement of new windows is important and TF recommends considering adding a window if possible on the alley side.
- New railing / IPE Gates and elevations need details and dimensions.
- Wood windows are to be unclad
- Sash have wider bottom rail for historic proportion.
- IPE stain color needs to be added
- Need pictures of main structure added to submission
- TF commends applicant for improving historic character of this accessory structure

Task force members present:

☒ Alfredo Pena

☒ Christine Escobedo

☐ VACANT (WH Alt)

☒ Mia Ovcina

☒ Nicholas Dean

☐ Derwin Hall

☒ Michelle Walker

☒ Troy Sims (LC Resident)

☐ VACANT (LC Alt)

Ex Officio staff members present

☒ Scott Bellen

☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*TROY S.*  
*CHRISTINE E.*  
*ALL*  
*NONE*

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.



**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA _____ - _____ ( )
Office Use Only

Name of Applicant: Patrick Craine

Mailing Address : 829 W Jefferson Blvd.

City, State and Zip Code: 75208

Daytime Phone: 817-602-2684 Alternate Phone: 817-734-1879

Relationship of Applicant to Owner : Designer

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

**PROPERTY ADDRESS:** 111 N. Clinton Ave.

**Historic District:** Winnetka Heights Historic District

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

Remodel second floor of existing accessory structure. New window sizes & locations w/ pella architect traditional wood dbl hung. existing door to be relocated. new 117 solid wood siding at old window locations to match existing less than 15%. new solid wood trim to match existing at new windows & relocated door. paint color to match existing: sw7008 for siding & sw6496 for trim. new limestone paver pool deck.

Signature of Applicant: \_\_\_\_\_

Date: 05/18/2022

Signature of Owner: \_\_\_\_\_

Date: 05/18/2022

(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

**Memorandum to the Building Official, a Certificate of Appropriateness has been:**

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date



## APPLICATION INSTRUCTIONS

**APPLICATIONS FOR NEW CONSTRUCTION AND MAJOR REMODELS MUST BE REVIEWED WITH A PRESERVATION PLANNER PRIOR TO THE SUBMITTAL DATE**

### DO

- Contact a Preservation Planner in advance of the deadline to discuss your application and requirements.
- Submit items on the checklist WITH your application. Incomplete applications are not accepted.
- All applications and plans may be submitted via email (preferred).
- Submit scaled and fully dimensioned drawings in size 11"x17" (preferable) or larger. Large plans should be folded, not rolled.
- Submit digital copies of images, photographs, and plans. Contact staff if your file(s) are over 10 MB.
- Review the FAQ on our website for more details. You can find us by visiting [dallascityhall.com](http://dallascityhall.com) and searching for "historic preservation."

### DO NOT

- Do not write "match existing" on your application or plans without providing more detail. Exact specifications and details must be submitted for every request, even if you believe it to be Routine Maintenance.
- Do not submit an application cover without the required supporting documents.
- Do not list work on your plans that is not listed on the application cover. Your proposed work on the cover should include a complete list of all work to be done.

**APPLICATIONS RECEIVED AFTER 12:00 PM  
ON THE SUBMITTAL DEADLINE OR THAT ARE  
INCOMPLETE WILL NOT BE ADDED TO THE  
LANDMARK AGENDA**

Please provide your **email** address to receive updates regarding your application and meeting dates:

[patrick@practicearchitecturaloffice.com](mailto:patrick@practicearchitecturaloffice.com)

---

[kristin@practicearchitecturaloffice.com](mailto:kristin@practicearchitecturaloffice.com)





COA— \_\_\_\_\_  
 Applicant Name: \_\_\_\_\_

Date Received: \_\_\_\_\_  
 Received by: \_\_\_\_\_

## Window Survey Form

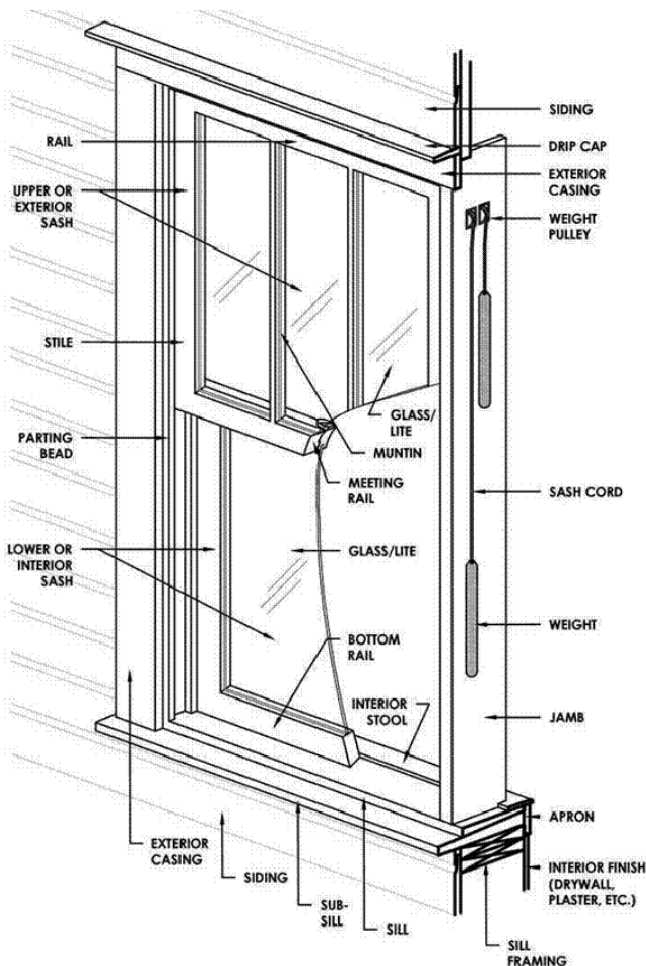
Have	Basic Requirements
<input checked="" type="checkbox"/>	1. Photographs or drawing of each elevation of the structure, with all the window openings on each elevation numbered.
<input checked="" type="checkbox"/>	2. Photographs of each window opening <i>numbered</i> corresponding to the photographs or drawings from #1.
<input checked="" type="checkbox"/>	3. Condition Evaluation of each window (see reverse).
<input checked="" type="checkbox"/>	4. Proposed window design (casement, fixed, etc.) , pattern (3/1, 6/6, 1/1, etc.) , materials (wood, vinyl, clad, etc.), etc. Specify if different for certain openings.
<input checked="" type="checkbox"/>	5. Proposed window product brochure/information that includes the company's depiction or photograph (not wind load information) of actual windows. We need to know what they look like on the exterior.
<input checked="" type="checkbox"/>	6. Other _____

**ALL window openings** on the structure should be assigned a ***number*** and ***described*** under the same number on the back of this sheet. Even those not being replaced should be assigned a number, however a photograph of those windows is not necessary, note on the second page that you aren't looking to replace that window number.

Windows in ***pairs or groupings*** should be assigned **separate** numbers. Windows in dormers and small fixed windows *should* also be included, but *not* door sidelights or transoms associated with a door.

On the second page, describe the issues and conditions of *each* window in detail, referring to the specific parts of the window (see diagram to the left). The photographs can be from the interior, exterior, or both. *Additional close-up photographs*, showing evidence of window condition, **MUST** be provided to better document problem areas.

The Planning and Development Department's evaluation and recommendation is based on deterioration/damage to the window unit, and associated trim. Broken glass and windows that are painted shut are not necessarily grounds for approving replacement.



Total Number of Window Openings on the Structure	8
Number of Historic Windows on the Structure	not sure
Number of Existing Replacement/Non-Historic Windows	not sure
Number of Windows Completely Missing	0
Total Number of Windows to be Replaced	0 - demo 7

COA— \_\_\_\_\_  
Applicant Name: \_\_\_\_\_

Date Received: \_\_\_\_\_  
Received by: \_\_\_\_\_

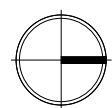
## Window Survey Form—Window Condition Report

Window #	Window Condition
1	wood, poor - old & unwanted.
2	aluminum, poor - old & unwanted.
3	aluminum, poor - old & unwanted.
4	wood, poor - old & unwanted.
5	aluminum, poor - old, broken, unwanted.
6	aluminum, poor - old & unwanted.
7	aluminum, poor - old & unwanted.
8	wood - fair keeping
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	

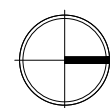
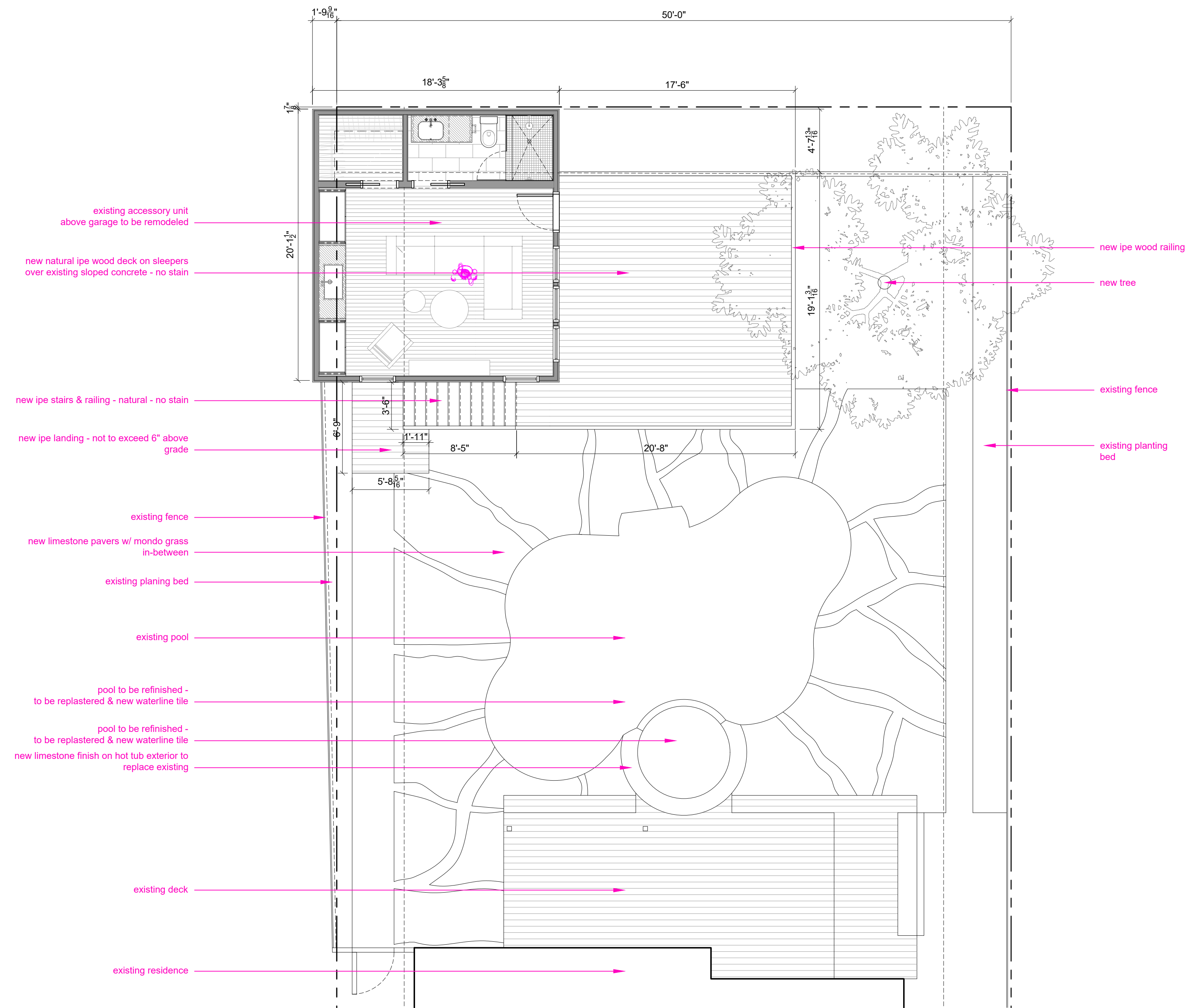
Window #	Window Condition
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	



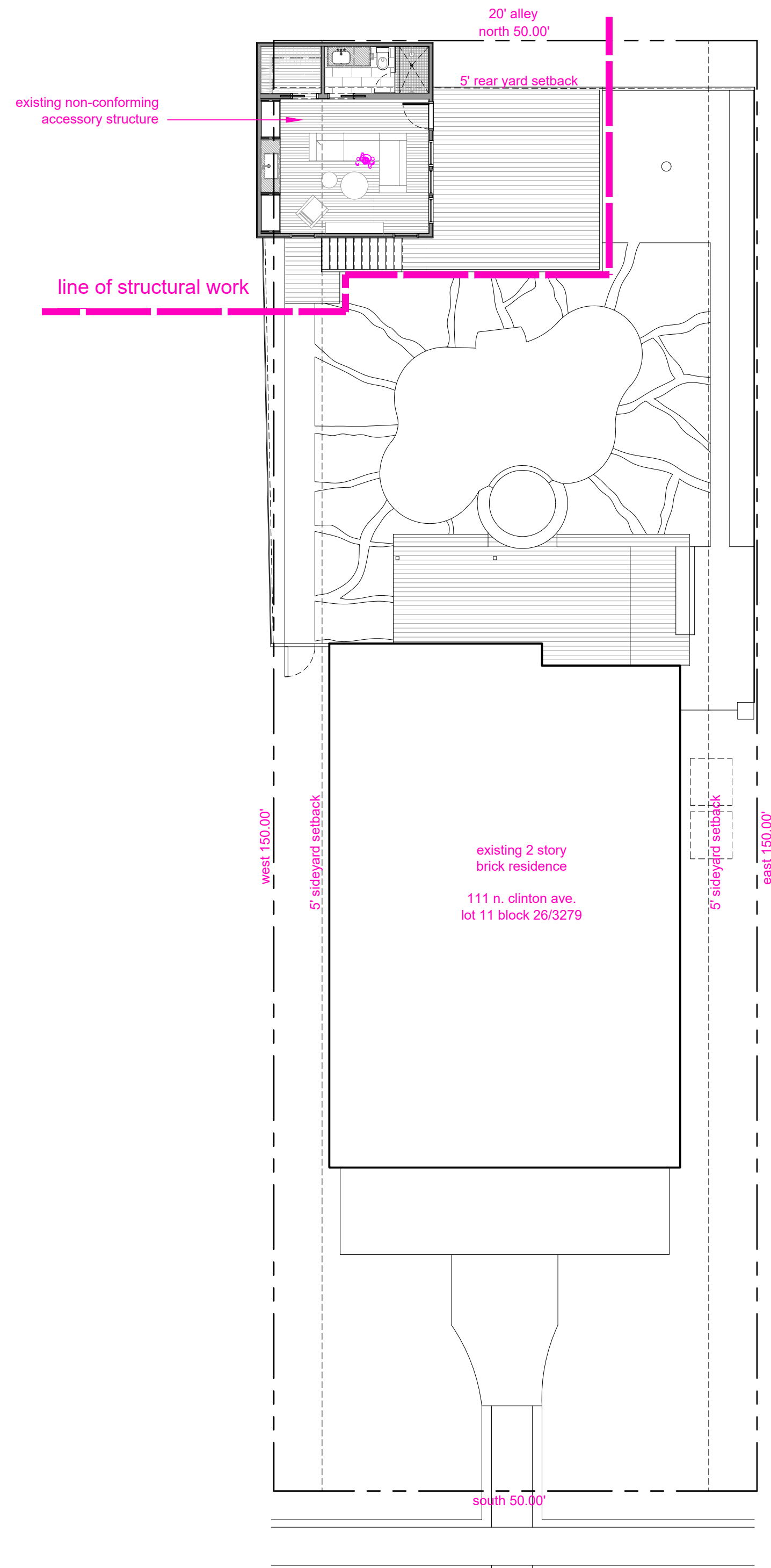
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2 ENLARGED SITE PLAN  
AS1.00 3/16" = 1'-0"



1 SITE PLAN  
AS1.00 3/32" = 1'-0"



PAPER SIZE  
ANSI D (22X34)

PRACTICE  
829 W. Jefferson Blvd.  
Dallas, TX 75208  
817.602.2684

## MERRICK RESIDENCE

111 n. clinton ave.  
Dallas, TX 75208

### schematic design

PROJECT NO. C0064

ISSUE DATE 14 june 2022

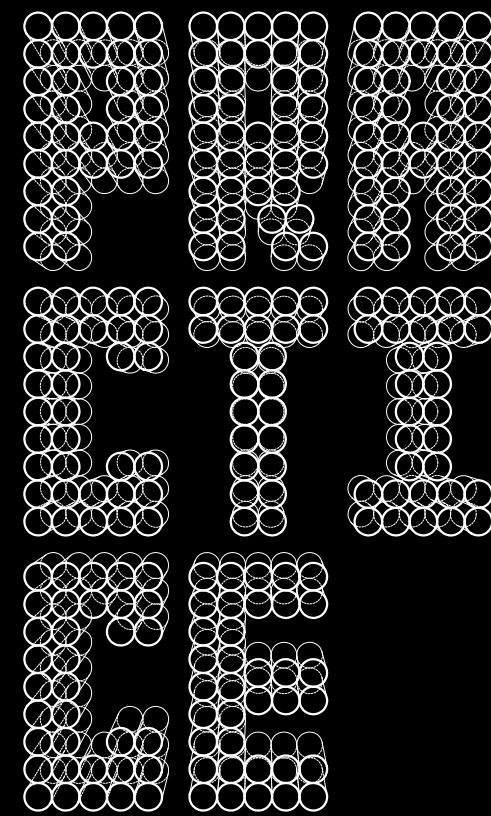
REV.	DESCRIPTION	DATE
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DRAWN BY: wph  
PLOT DATE: 6/14/2022

SITE PLAN

a

AS1.00



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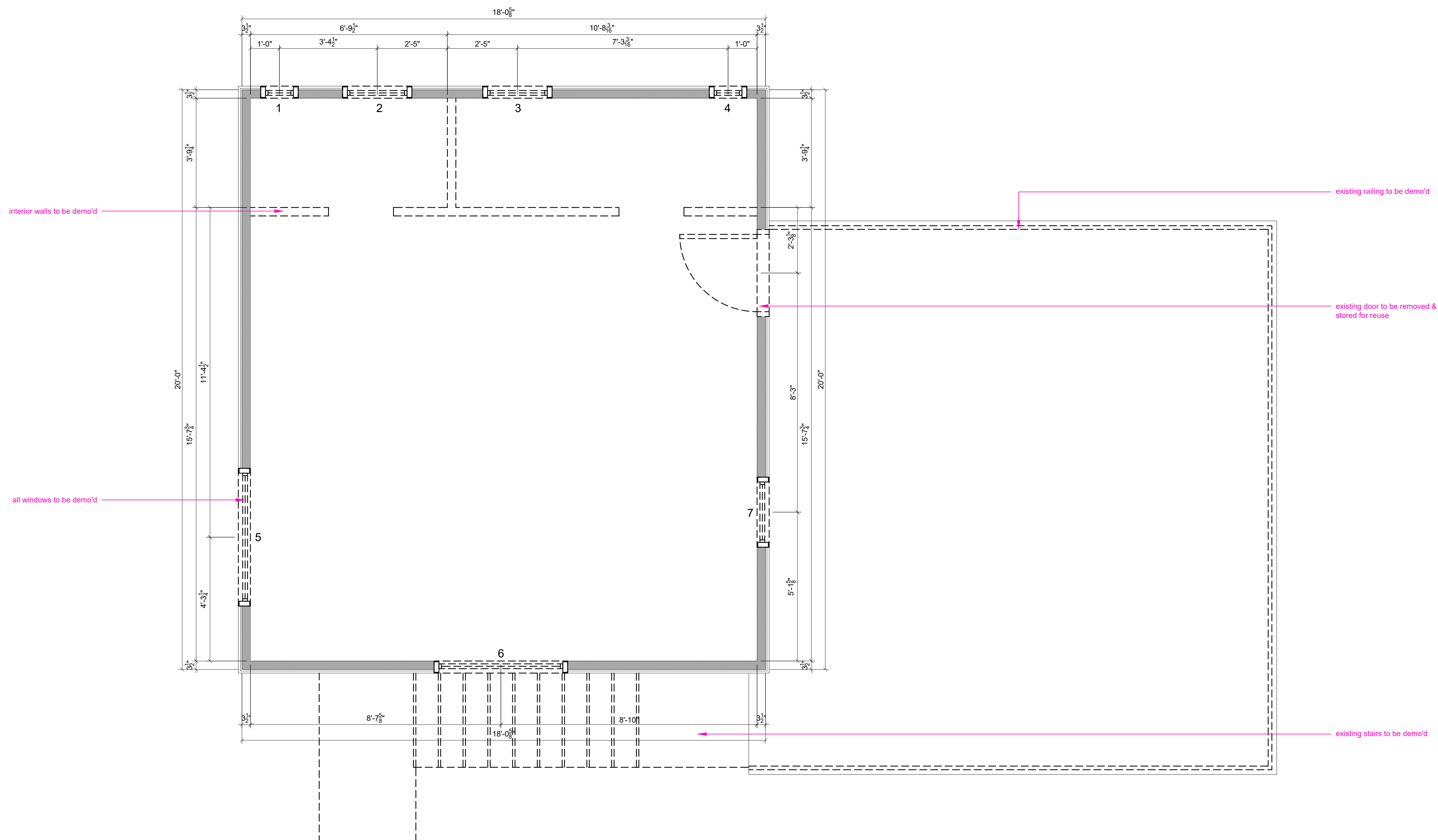
REV.	DESCRIPTION	DATE
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**DRAWN BY:** kristin  
**PLOT DATE:** 6/14/2022

EXISTING & DEMO FLOOR  
PLAN

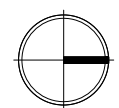
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A1.00



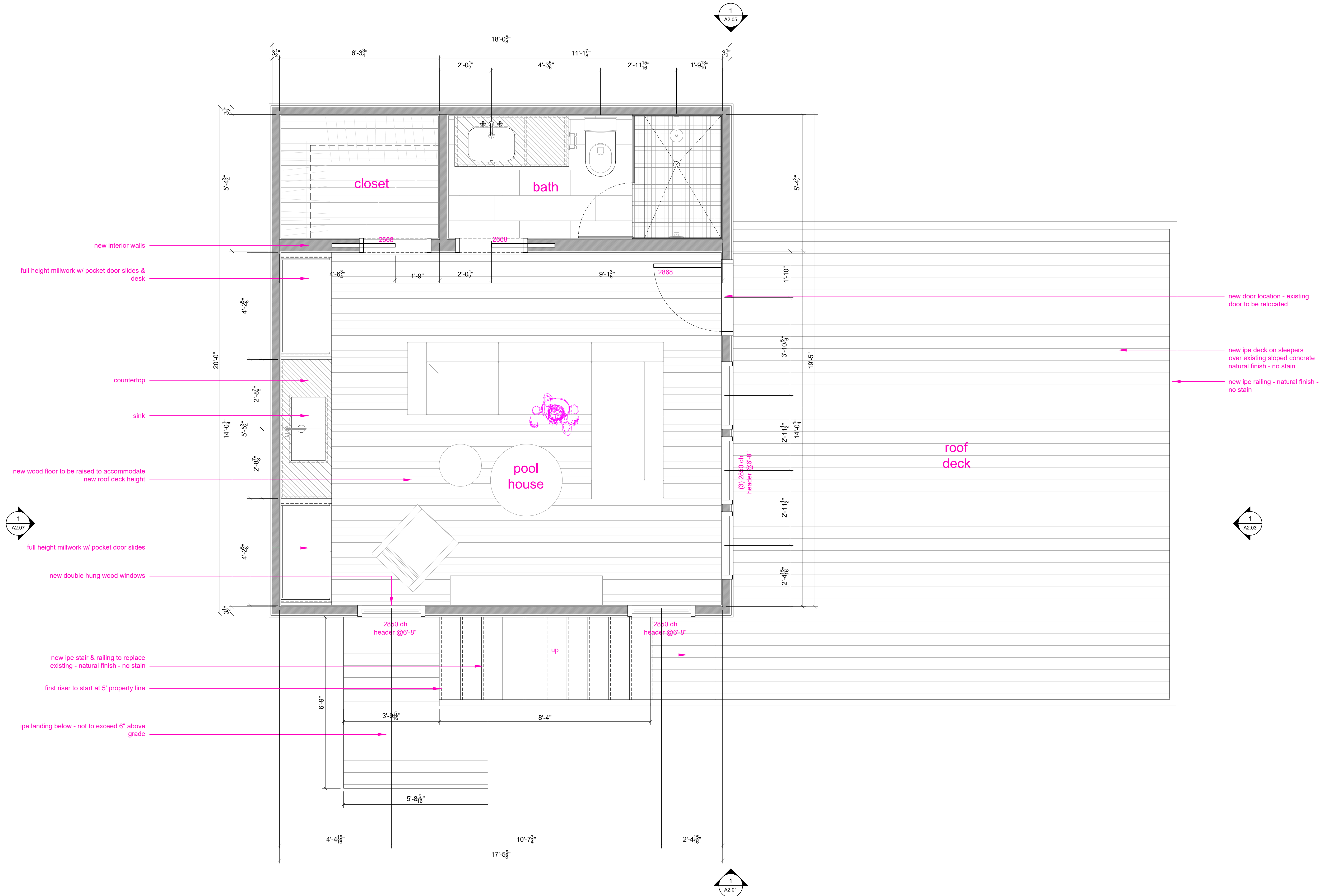


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1  
A1.01  
1/2" = 1'-0"

ENLARGED FLOOR PLAN



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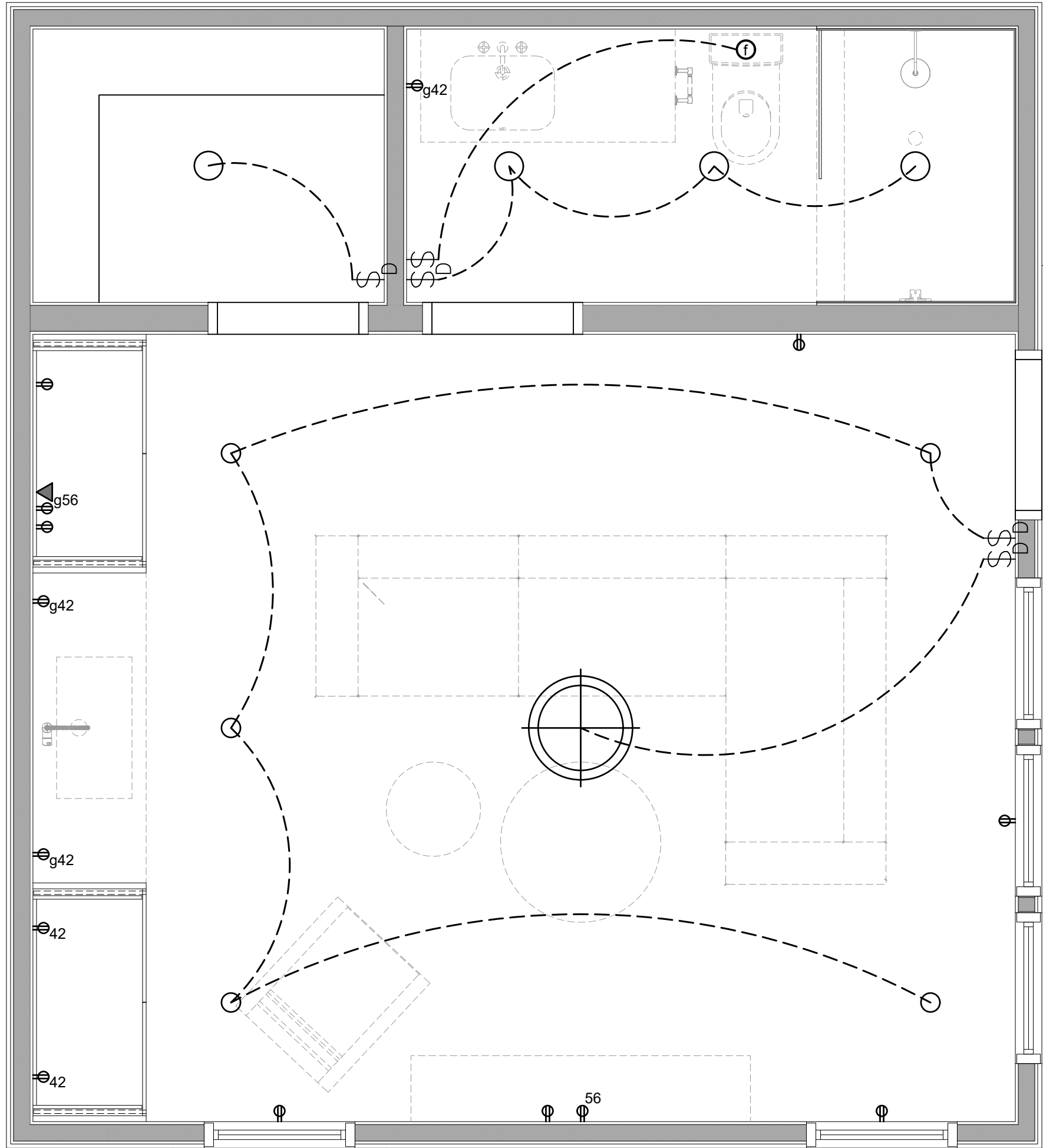
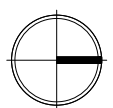
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**PLOT DATE:** 6/14/2022

ENLARGED FLOOR PLAN

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A1.01

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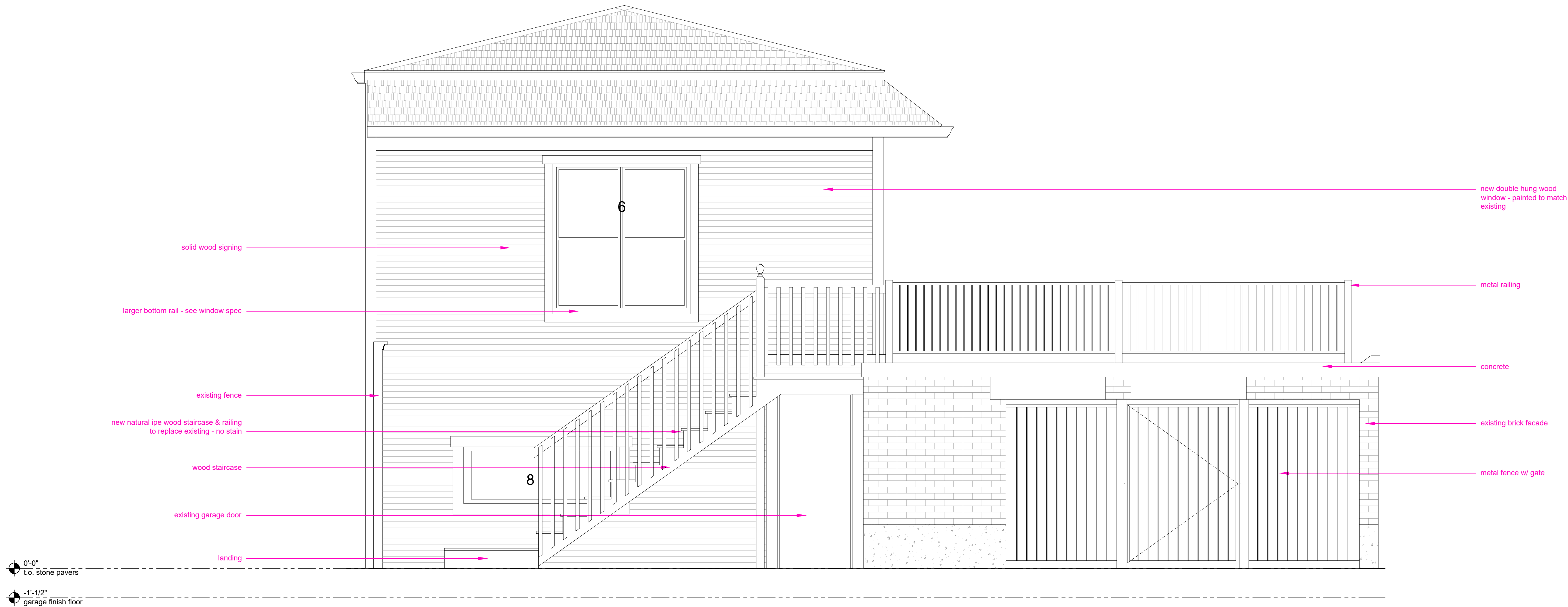
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LIGHTING & ELECTRICAL PLAN



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1 EXISTING EXTERIOR ELEVATION - EAST  
A2.00 1/2" = 1'-0"

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ANSI D (22X34)

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PLOT DATE: 6/14/2022

EXISTING EXTERIOR  
ELEVATION - EAST

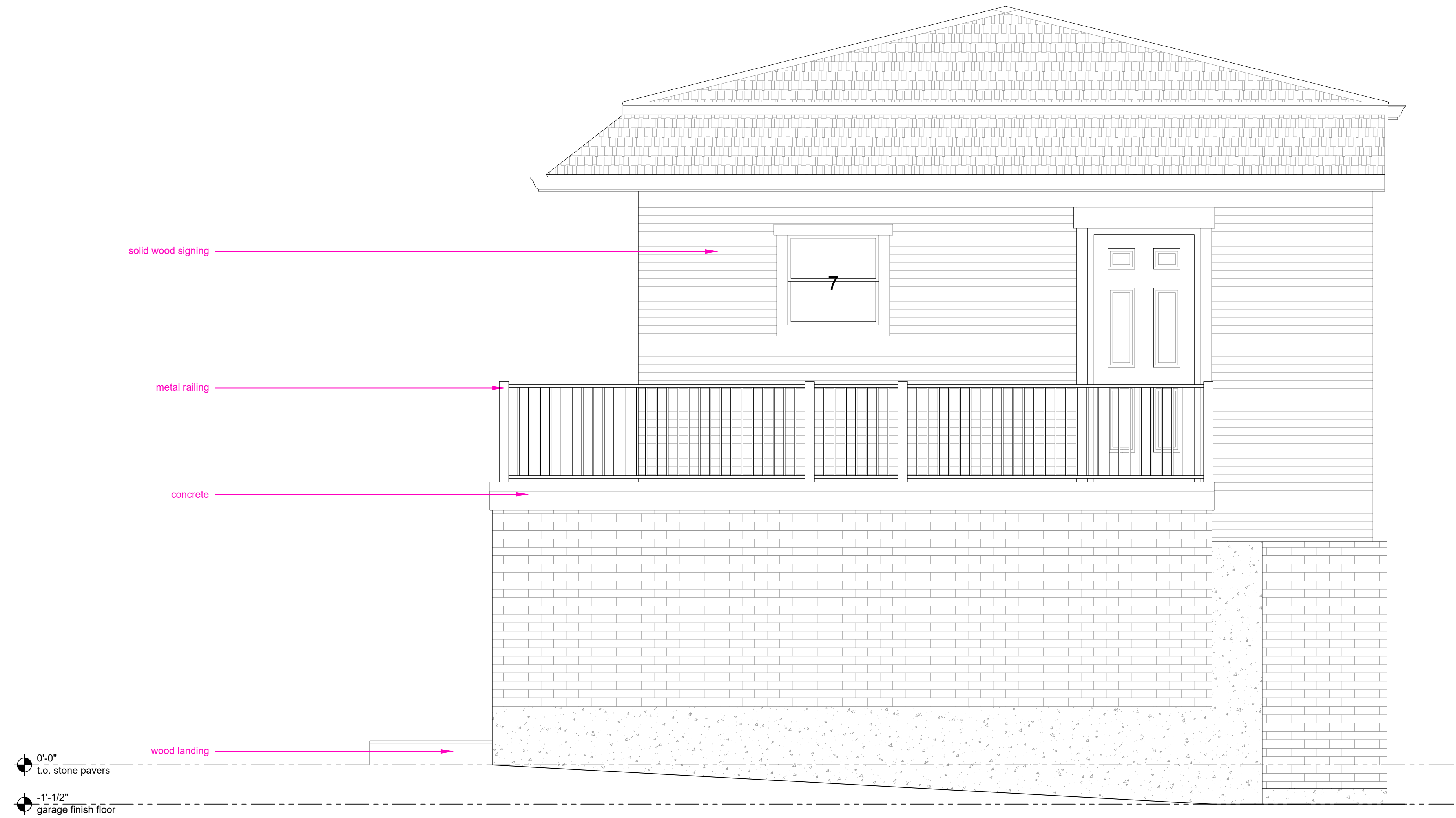
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A2.00

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1 EXISTING EXTERIOR ELEVATION - NORTH  
A2.02 1/2" = 1'-0"

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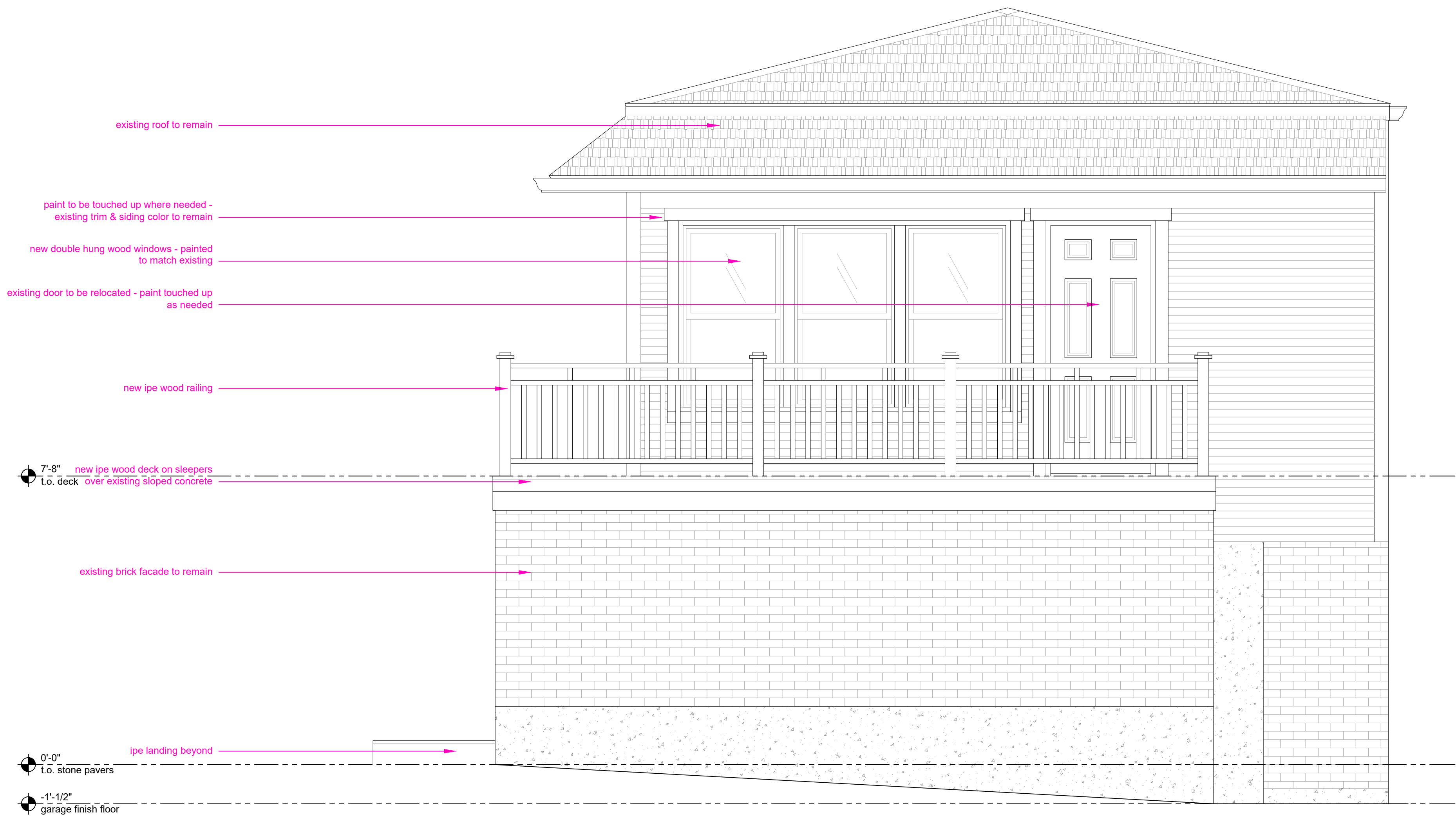
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EXISTING EXTERIOR  
ELEVATION - NORTH

a

A2.02

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1 EXTERIOR ELEVATION - NORTH  
A2.03 1/2" = 1'-0"

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ISSUE DATE 14 june 2022

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NEW EXTERIOR ELEVATION -  
NORTH

a

A2.03



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0'-0"  
t.o. stone pavers

-1'-1/2"  
garage finish floor

1 EXISTING EXTERIOR ELEVATION - WEST  
A2.04 1/2" = 1'-0"

PAPER SIZE  
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Dallas, TX 75208

**schematic design**  
**PROJECT NO.** C0064  
**ISSUE DATE** 14 june 2022

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EXISTING EXTERIOR  
ELEVATION - WEST

a

A2.04

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1 EXTERIOR ELEVATION - WEST  
A2.05 1/2" = 1'-0"

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Dallas, TX 75208

### schematic design

PROJECT NO. C0064

ISSUE DATE 14 june 2022

REV.	DESCRIPTION	DATE
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PLOT DATE: 6/14/2022

NEW EXTERIOR ELEVATION -  
WEST

a

A2.05



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817.602.2684

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Dallas, TX 75208

**schematic design**  
PROJECT NO. C0064  
ISSUE DATE 14 june 2022

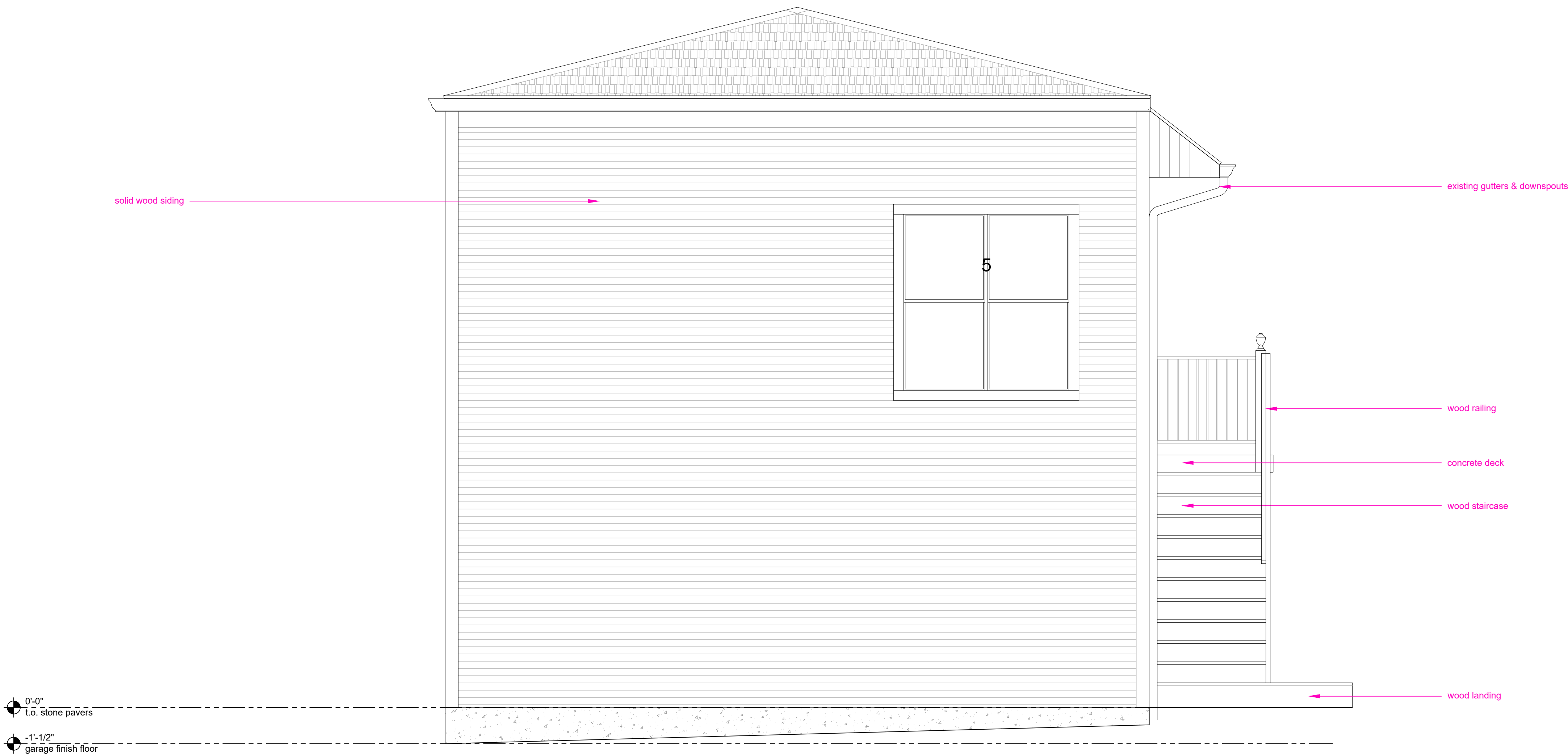
[illegible]

**DRAWN BY:** kristin  
**PLOT DATE:** 6/14/202

EXISTING EXTERIOR  
ELEVATION - SOUTH

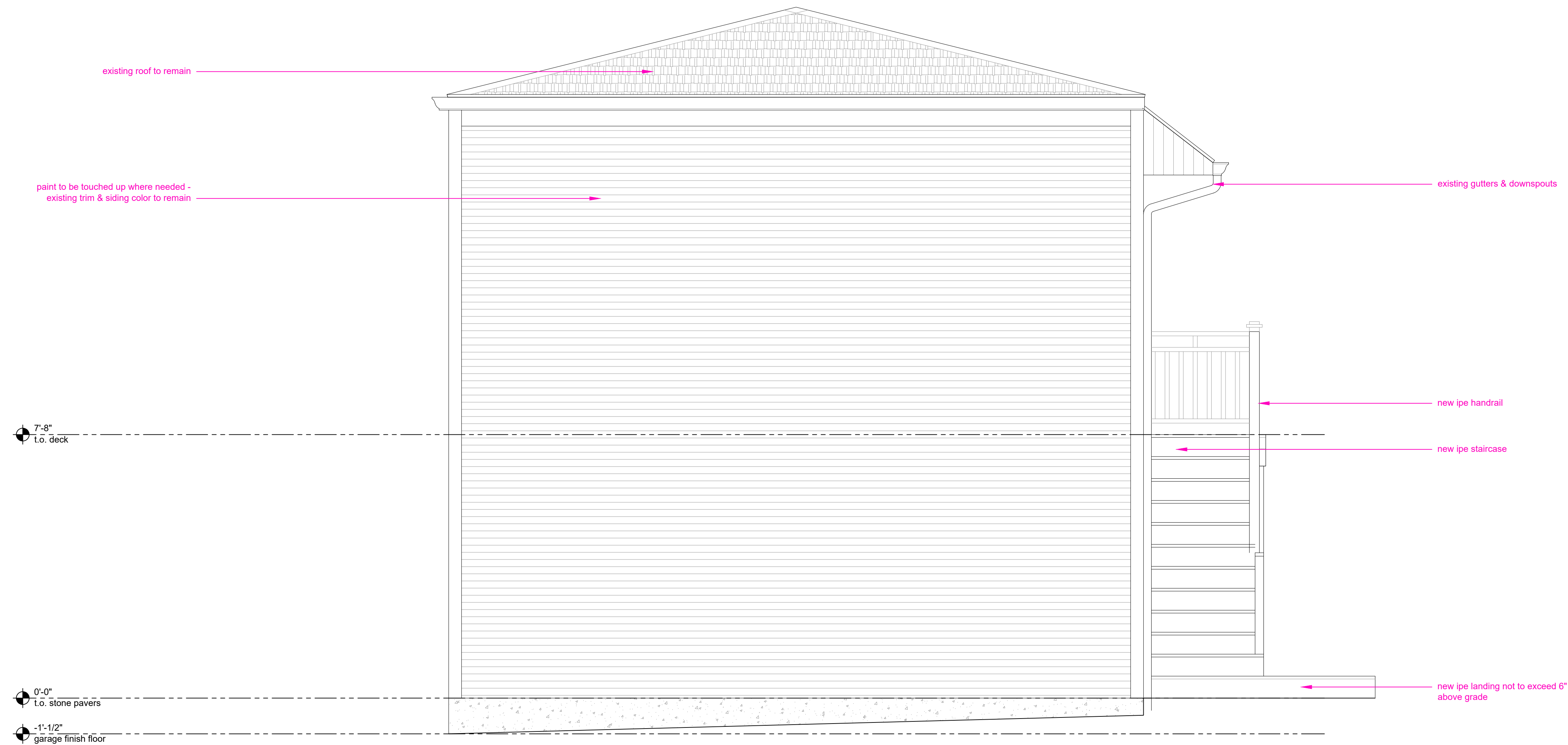
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## A2.06



1 EXISTING EXTERIOR ELEVATION - SOUTH  
A2.06 1/2" = 1'-0"

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1 EXTERIOR ELEVATION - SOUTH  
A2.07 1/2" = 1'-0"

PAPER SIZE  
ANSI D (22X34)

**PRACTICE**  
829 W. Jefferson Blvd.  
Dallas, TX 75208  
817.602.2684

## MERRICK RESIDENCE

111 n. clinton ave.  
Dallas, TX 75208

### schematic design

PROJECT NO. C0064

ISSUE DATE 14 june 2022

REV.	DESCRIPTION	DATE
------	-------------	------

DRAWN BY: wjsh  
PLOT DATE: 6/14/2022

NEW EXTERIOR ELEVATION - SOUTH

a

A2.07





## ARCHITECT SERIES - TRADITIONAL CASEMENT DOUBLE-HUNG SPECS & INSTALL DETAILS

- Designed with architectural integrity and distinguished craftsmanship with classic aesthetics to add design interest to your project
- Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling
- Performance class and grade CW40-CW50 and STC of 26-34
- Available in sizes from 14" x 24-3/8" to 54" x 96" in 1/8" increments
- Installation options include Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
- Exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly, for long-lasting beauty and protection

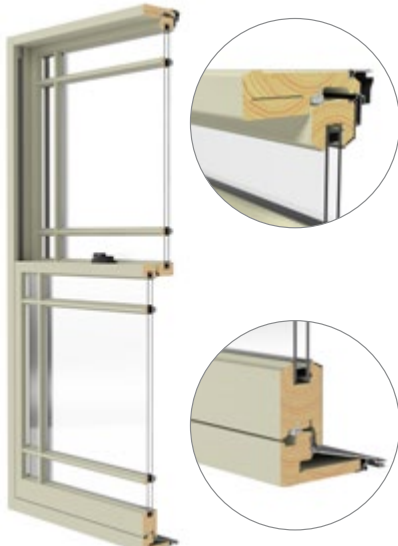
# Pella® Architect Series®

## Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- **Designed with distinguished details**

Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.

- **Enhanced style options and custom capabilities**

Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.

- **Authentic look of true divided light**

Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.

- **Interior finish options**

From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.

- **Beautiful hardware**

Choose from Pella's collection of rich patinas and other timeless finishes.

- **Optional integrated security sensors**

Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.

- **ENERGY STAR® certified¹**

Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.¹

- **Long-lasting durability**

Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.

- **Best limited lifetime warranty²**

Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



Special shape windows also available.

¹² See back cover for disclosures.



Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-¾"	13-¾"	59"	59"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Casement	13-¾"	13-¾"	41"	96"	CW30-CW50	0.25-0.29	0.18-0.47	28-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R50-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Fixed Casement	10"	10"	144"	144"	CW30-CW50	0.25-0.29	0.18-0.47	28-32	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R50-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Double-Hung	14"	24-⅝"	54"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-½"	23-¾"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
In-Swing Hinged Patio Door (Single)	18"	36"	48"	199-½"	LC40-LC55	0.20-0.40	0.14-0.40	–	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	LC40-LC55	0.20-0.40	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-½"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Sliding Patio Door (O)	30-¾"	74"	60-¾"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	–	
Sliding Patio Door (OX, XO)	59-¼"	74"	119-½"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	31-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	–	
Sliding Patio Door (OXXO)	116-⅙"	74"	236-⅙"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	–	For more info visit PellaADM.com
Multi-Slide Patio Door	40-¼"	50-½"	701-⅝"	119-½"	R15-LC25 <sup>3</sup>	0.30 - 0.36	0.15 - 0.46	–	
Bifold Patio Door	31-¾"	55-½"	312"	119-½"	R15-R25 <sup>3</sup>	0.26-0.44	0.13-0.45	–	

Window sizes available in 1/8" increments  
Special sizes available. For more information regarding performance, visit [pella.com/performance](#). For more information regarding frame and installation types, visit [PellaADM.com](#).

Window Hardware

Classic Collection

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank  
Antiek

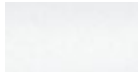


Spoon-Style Lock

Finishes:



Champagne



White



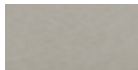
Brown



Matte Black



Oil-Rubbed Bronze



Satin Nickel

Rustic Collection

Create a distinct and charming look with distressed finishes.



Fold-away Crank  
Antiek



Spoon-Style Lock

Finishes:



Distressed Bronze



Distressed Nickel

Window Hardware

Essential Collection

Select from popular designs and finishes to suit every style.

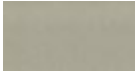


Fold-away Crank

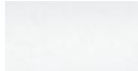


Cam-Action Lock

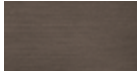
Finishes:



Champagne



White



Brown



Matte Black



Oil-Rubbed Bronze



Satin Nickel

Patio Door Hardware

Classic Collection

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.



Hinged & Bifold  
Patio Door Handle  
Virago



Sliding & Multi-Slide  
Patio Door Handle  
Ambrose



Multi-Slide Patio  
Door Handle<sup>4,5</sup>

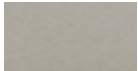
Finishes:



Matte Black



Oil-Rubbed Bronze



Satin Nickel

Rustic Collection

Stand out with bold looks and create an utterly unique aesthetic.



Hinged & Bifold  
Patio Door Handle  
Rustiek



Sliding & Multi-Slide  
Patio Door Handle  
Notus

Finishes:



Distressed Bronze



Distressed Nickel

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold  
Patio Door Handle



Sliding Patio  
Door Handle



Multi-Slide Patio  
Door Handle<sup>4,5</sup>

Finishes:



Champagne



White



Brown



Matte Black



Oil-Rubbed Bronze

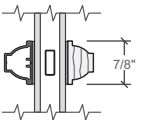


Satin Nickel

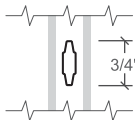
Additional hardware collections available. Visit [PellaADM.com](#) for more information.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



Ogee Integral  
Light Technology<sup>®6</sup>  
7/8", 1-1/4" or 2"



Aluminum Grilles-  
Between-the-Glass<sup>7</sup>  
3/4"

<sup>3</sup> See back cover for disclosures.

<sup>4,5,6,7</sup>See back cover for disclosures.

## Colors

### Wood Types

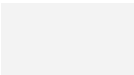
Wood species for complementing your project's interior.



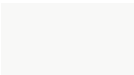
Pine

### Prefinished Pine Interior Colors

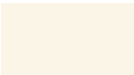
Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Natural Stain



Golden Oak Stain



Early American Stain



Provincial Stain



Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Charcoal Stain



Black Stain

### Aluminum-Clad Exterior Colors

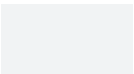
Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.<sup>8</sup>



Custom colors are also available.



Black



White



Brown



Fossil



Iron Ore



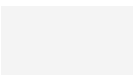
Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green

## Added Peace of Mind

### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.<sup>9</sup> For more information, go to [connectpella.com](https://connectpella.com).



### The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.<sup>2</sup>

<sup>1</sup> Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to [energystar.gc.ca](https://energystar.gc.ca).

<sup>2</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at [pella.com/warranty](https://pella.com/warranty).

<sup>3</sup> Performance ratings vary based on product configuration.

<sup>4</sup> Flush multi-slide handle is a Pella exclusive design.

<sup>5</sup> Flush multi-slide handle is not available in Champagne.

<sup>6</sup> Color-matched to your product's interior and exterior color.

<sup>7</sup> Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

<sup>8</sup> EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

<sup>9</sup> Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.





SW 6496  
**Oceanside**

Interior / Exterior

Location Number: 172-C7

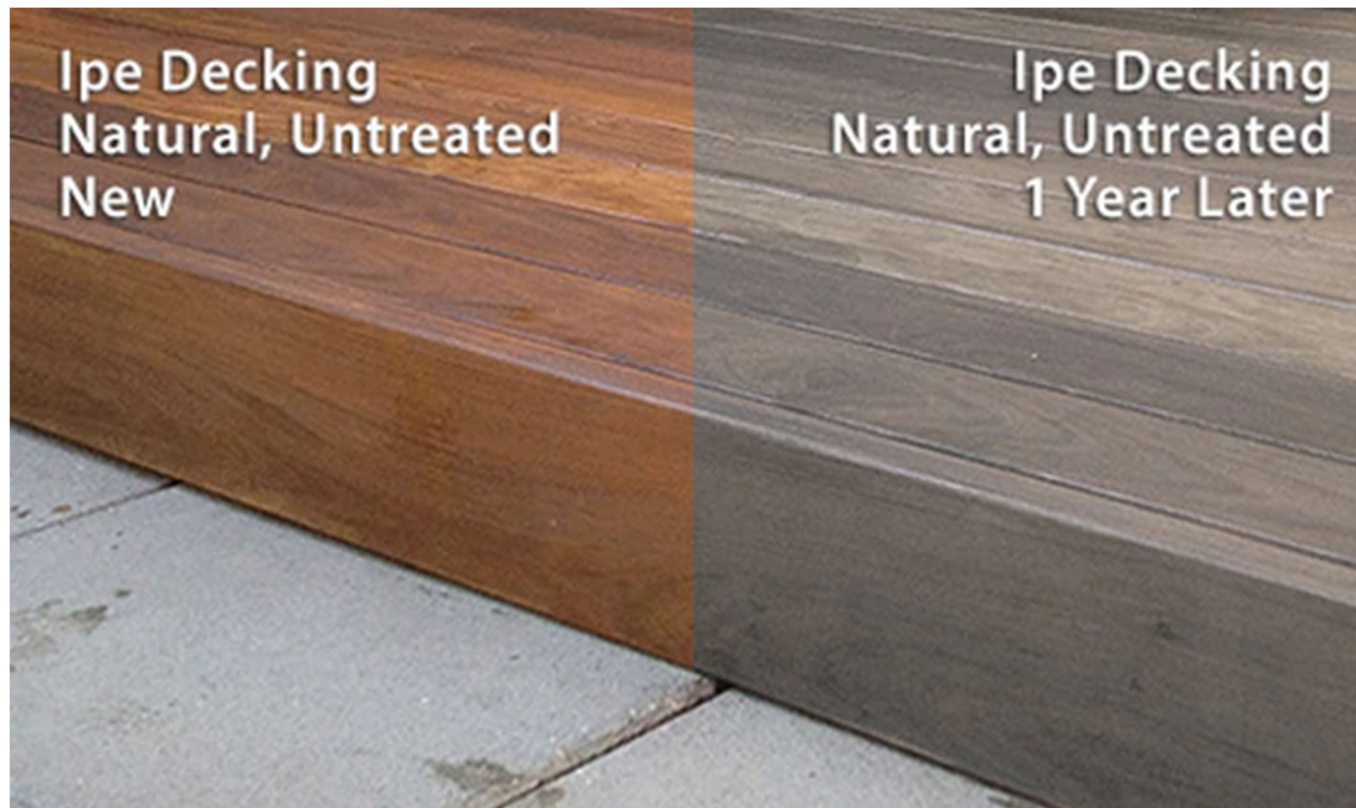
SW 7008  
**Alabaster**

Interior / Exterior

Location Number: 255-C2

Ipe Decking  
Natural, Untreated  
New

Ipe Decking  
Natural, Untreated  
1 Year Later







6

8



























6

8











6

8

6





7



7



7

secured by ADT













8











4

3





4

1

3

2



4







1

2













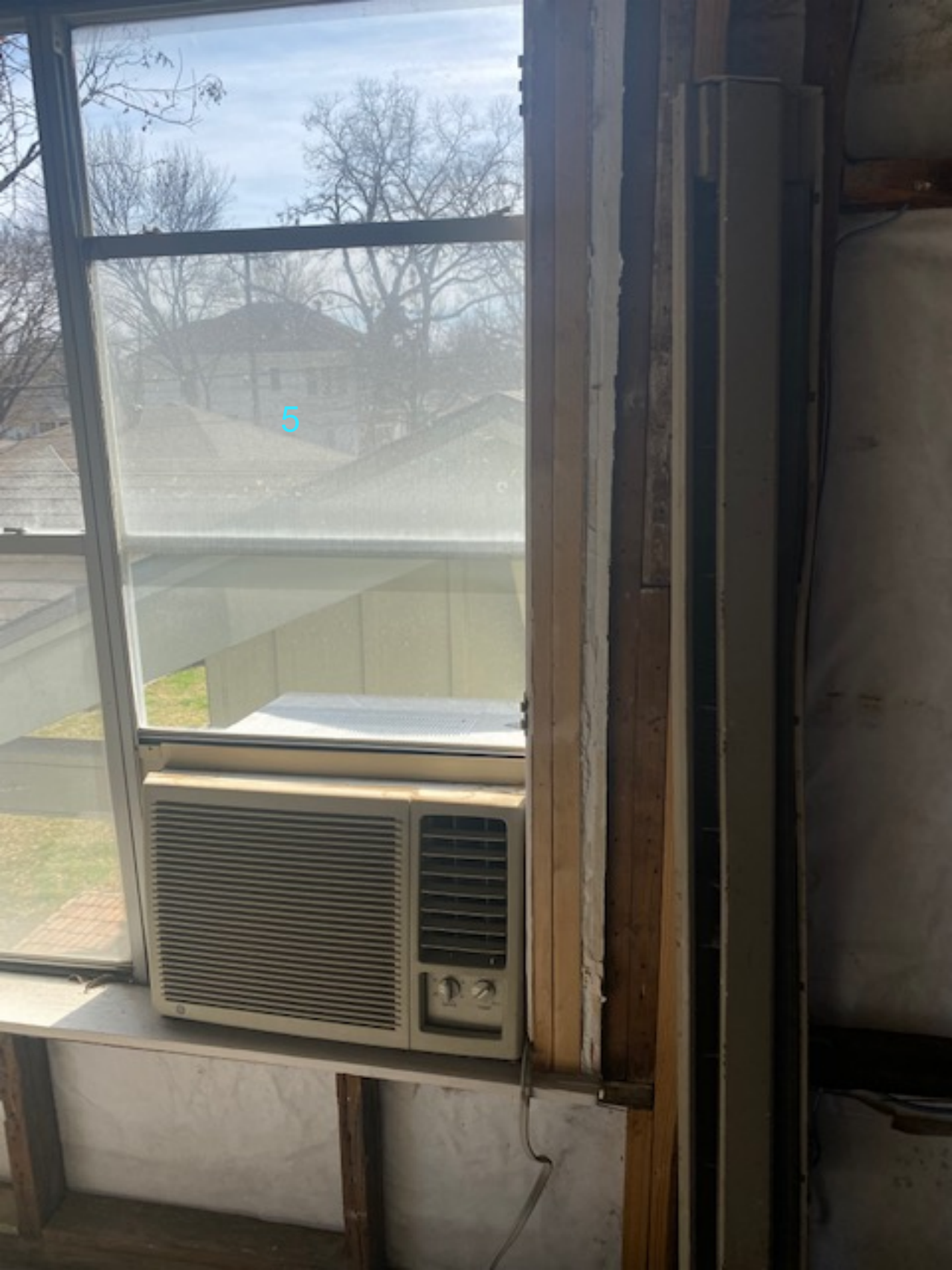
5















5

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-392(SB)  
LOCATION: 402 N Windomere Ave.  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD 87 (Tract 1)

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-A  
CENSUS TRACT: 0046.00

**APPLICANT:** BARRIENTOS, HONORIO

**REPRESENTATIVE:** N/A

**OWNER:** BARRIENTOS HONORIO & MARGARET A

**REQUEST:**

A Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors.

**BACKGROUND / HISTORY:**

- 1) The residence located at 402 N Windomere Ave. contributes to the Winnetka Heights Historic District.
- 2) On March 2, 2021 staff approved CA201-260(MLP) to replace rotten fascia board on main structure with new wood fascia.
- 3) On June 7, 2019 staff approved CA189-609(MLP) to reglaze all windows and repair window trim on main structure.

**RELEVANT PRESERVATION CRITERIA:**

**Winnetka Heights Historic District (H-15), Article 87, PD 87**

**SEC. 51P-87.111 Preservation Criteria for Tract 1.**

**(a) Building placement, form, and treatment.**

**(3) Architectural detail.** Materials, colors, structural and decorative elements, and the manner in which they are used, applied, or joined together must be typical of the style and period the main building and compatible with the other buildings on the blockface.

**(8) Color.**

**(B) Certain colors prohibited.** Fluorescent and metallic colors are not permitted on the exterior of any structure in the district.



(C) Dominant and trim colors. All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complimentary of each other and the overall character of this district.

SEC. 51P-87.106 Preservation Criteria for Tract 1.

(b) Review by the director.

(1) Routine maintenance and replacement. The director shall review applications for routine maintenance and replacement in accordance with the procedure outlined in Section 51-4.501. Routine maintenance and replacement includes, but is not limited to the process of cleaning (including water blasting and stripping); repainting an item the same color; and replacing, duplicating, or stabilizing deteriorated or damaged architectural features. (For more information regarding routine maintenance and replacement, see Section 51-4.501.)

**RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

Standards for Rehabilitation

*2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

*3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

*5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

**RELEVANT DALLAS CITY CODE:**

**Section 51A-4.501. Historic Overlay District**

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*

(bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*

(cc) *the proposed work will not have an adverse effect on the historic overlay district; and*

(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

## **PROJECT DESCRIPTION & ANALYSIS:**

### **1) Paint exterior (excluding brick/masonry)**

The applicant is proposing to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors.

### **Analysis –**

The brick exterior of this residential structure is a combination of predominantly dark reds, reddish browns, mixed with deep burgundy. The proposed combination of colors will contrast with the main brick exterior of the structure, while also highlighting and distinguishing between the architectural features. The use of "Etched Glass" as an off-white color for the stucco gables is a common method of differentiating the gables from the main body color of the brick exterior. The proposed use of a contrasting darker color for the trim will accentuate the architectural details, while the blue on the doors will allow the house to retain its individuality. The use of this combination of these colors is "typical of the style and period the main building and compatible with the other buildings on the blockface" as set forth in the Winnetka Heights preservation criteria Section 51P-87.111(a)(3).

## **STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors be approved per specifications dated 07/05/2022 with the condition that brick or any masonry is not to be painted. The proposed work is consistent with Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural detail and Section 51P-87.111(a)(8) for color, meets the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures, and is consistent with the Secretary of the Interior's Standards.

## **TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to paint stucco gables and wood soffits, frieze boards and windows with Behr "Etched Glass" MQ3-27, "Chimney" PPU25-22 for trim, and "Laguna Blue" PPU14-18 for accent on doors be approved with conditions.

Well documented submission and applications of color appear to be in keeping.

Actual colors appear better than scanned images. Color palette is pleasing.

Locations of colors could use some refinement. TF recommends sashes and doors to be the same trim color and provide a body color for the triangle gabled walls that allow the stucco and the trim to be more distinctive, possibly a darker shade of the light gray "Etched Glass" or the same color separated with drip edge in the dark color.

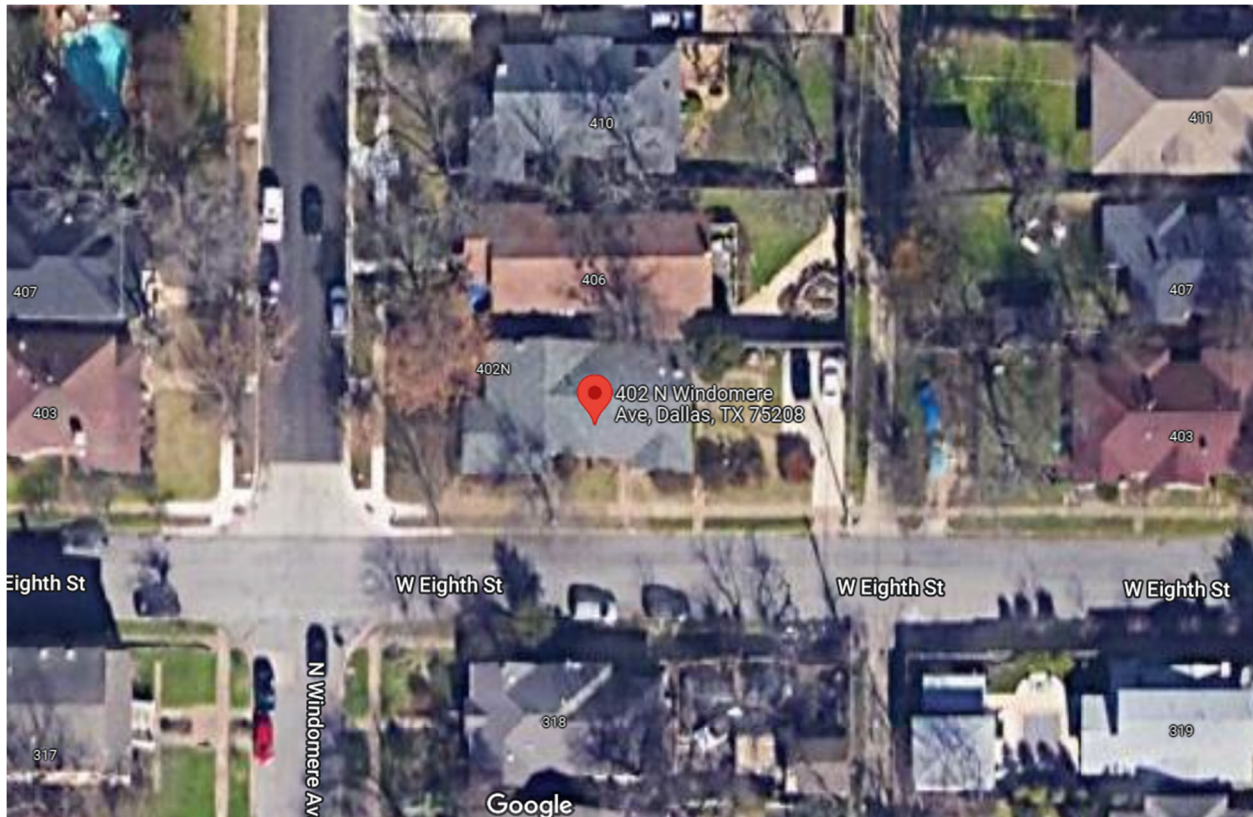
*After the Task Force meeting, the applicant provided additional documentation and clarification on the proposed location of paint colors.*



## LOCATION MAP

402 N Windomere Ave.

*Basemap Source: Google Maps*





**CURRENT PHOTOS**  
**402 N Windomere Ave.**





**CURRENT PHOTOS**  
402 N Windomere Ave.





## Contextual Photos



*Property to left*



*Properties across N Windomere Ave.*



*Properties across W 8<sup>th</sup> St.*



**TASK FORCE  
RECOMMENDATION(S)**

**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: Honorio Barrientos  
PROPERTY ADDRESS: 402 N Windomere Ave  
DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Agenda Item #4 - Recommendation / comments/ basis:

- Well documented submission and applications of color appear to be in keeping.
- Actual colors appear better than scanned images. Color palette is pleasing.
- Locations of colors could use some refinement. TF recommends sashes and doors to be the same trim color and provide a body color for the triangle gabled walls that allow the stucco and the trim to be more distinctive, possibly a darker shade of the light gray "Etched Glass" or the same color separated with drip edge in the dark color.

Task force members present:

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input checked="" type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input checked="" type="checkbox"/> Nicholas Dean	<input checked="" type="checkbox"/> Troy Sims (LC Resident)
<input type="checkbox"/> VACANT (WH Alt)	<input type="checkbox"/> Derwin Hall	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Scott Bellen ☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

NICK D.

MIA O.

ALL

NONE

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.



**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**

# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA _____ - _____ [ ]
Office Use Only

Name of Applicant: Honorio Barrientos  
Mailing Address: 402 N. Windomere Ave.  
City, State and Zip Code: Dallas, TX 75208  
Daytime Phone: 214-458-5817 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: SELF

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_ No \_\_\_\_  
Historic Planner's  
Initials:

PROPERTY ADDRESS: 402 N. Windomere Ave  
Historic District: Winnetka Heights

### PROPOSED WORK:

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Requesting approval to paint the home/House

Signature of Applicant: Honorio Barrientos Date: 5/23/2022  
Signature of Owner: Honorio Barrientos Date: 5/23/2022  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date



## Proposed Paint Colors



Honorio Barnicutos → 402 N. Windomere Ave. Dallas



Moulding will be painted with Chimney color

Chimney

FRIEZE Boards  
Painted with  
Edged Glass Color  
all around the house

Door painted (all exterior doors)  
with Laguna blue color

Windows:

- Casings Painted with Edged Glass
- Rails, Stiles and Muntings painted with Chimney color
- Same for two Demi Lunces in front windows.

①





- └ Small protruding Lip painted with Chimney Color
- └ Triangle stucco will be painted with Edged Glass
- └ Moulding will be painted with Chimney Color
- └ Frieze boards all around the house will be painted with Edged Glass
- └ Overhang of roof will be painted with Edged Glass (all of it)



Same paint patten as other sides of The house



## Honorio Barrientos

---

**From:** Margaret Barrientos <mhbarrientos@sbcglobal.net>  
**Sent:** Thursday, June 9, 2022 11:29 AM  
**To:** Honorio Barrientos  
**Subject:** House Photos



*See other pages for details*



Sent from my iPhone

Triangles (stucco) Edged Glass

Frieze boards Edged Glass

Moulding over Frieze boards Chimney color

Moulding Chimney color

Gable windows Chimney color

Windows & Door as described on page ①





Overhang Edged Glass

Moulding Chimney Color

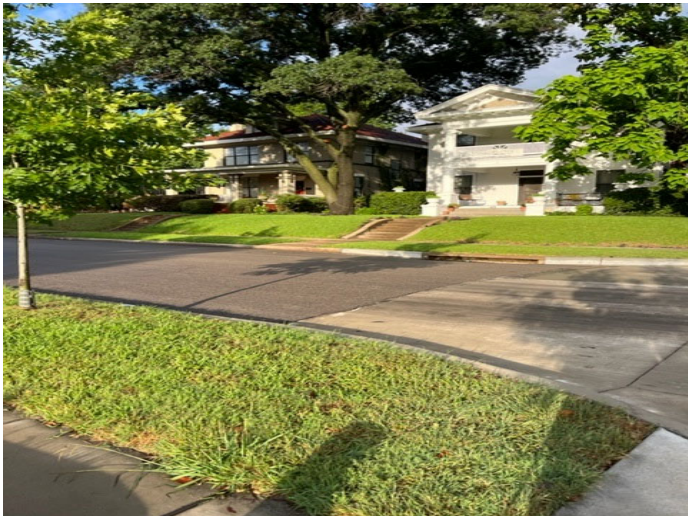
Large stucco triangle Edged Glass

Frieze boards Edged Glass

moulding above  
Frieze boards  
Chimney Color



Houses next door and across the street.







## **LANDMARK COMMISSION**

**JULY 5, 2022**

FILE NUMBER: CA212-394(SB)  
LOCATION: 625 N Marsalis Ave.  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD-468, Subdistrict D-TR 3

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Lake Cliff (H-84)  
MAPSCO: 45-W  
CENSUS TRACT: 0020.00

**APPLICANT:** Robinson, John

**REPRESENTATIVE:** N/A

**OWNER:** ROBINSON JOHN III

**REQUEST:**

- 1) A Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850.

**BACKGROUND / HISTORY:**

- 1) The residential building at 625 N Marsalis Ave. is a contributing structure to the Lake Cliff Historic District.

**RELEVANT PRESERVATION CRITERIA:**

**Lake Cliff Historic District (H-84), Ordinance No. 23328, Exhibit A**

**Facades**

**4.1 Protected facades.**

- e. Brick, cast stone and concrete elements on protected facades may not be painted, except that portions of the structure that had been painted prior to the effective date of this ordinance may remain painted.

**RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

Standards for Rehabilitation

*2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

## **RELEVANT DALLAS CITY CODE:**

### **Section 51A-4.501. Historic Overlay District**

- (g) Certificate of Appropriateness.
- (6) Standard certificate of appropriateness review procedure.
- (C) Standard for approval. The landmark commission must grant the application if it determines that:
  - (i) for contributing structures:
    - (aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
    - (bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*
    - (cc) *the proposed work will not have an adverse effect on the historic overlay district; and*
    - (dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

## **PROJECT DESCRIPTION & ANALYSIS:**

### Paint brick exterior

The applicant is proposing to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850. Some areas of brick have been painted with white primer overspray adjacent to windows. The original application also included painting windows, doors, and trim. However, it became apparent that some exterior work had already been done which required further clarification and had not been included with this CA application.

*NOTE: City staff are working with the applicant to submit CA applications for painting and repair of windows and trim, and for replacement and painting of doors.*

### Analysis –

The Lake Cliff preservation criteria Section 4.1(e) allows for brick exterior that was painted prior to November 5, 1997 to remain painted. The applicant has recently purchased the property and has claimed that the building has previously been painted. In addition, two members of the Task Force have stated that they refer to the building as the "pink house" or "purple house" and that, therefore, they believe the building has previously been painted.

However, the photos that have been submitted and visits to the site have confirmed that the building is not currently painted. If the building has previously been painted, then the



paint has worn off to an extent that it is considered unpainted. The brick is a light grey color that in some light can cast a pale lavender sheen as seen in photos submitted. It is probable that the reference to the "purple house" could have come about because the color of the brick casts this purple sheen without having ever been painted.

The Secretary of Interior's Technical Preservation Guidance for masonry does not recommend, "Applying paint or other coatings such as stucco to masonry that has been historically unpainted or uncoated to create a new appearance." In addition, the painting of unpainted masonry conflicts with Standards 2, 3, and 5.

Because of the insufficient documentation or physical evidence that this structure was painted prior to November 5, 1997 and because of the current unpainted condition of the structure, city staff are recommending that the exterior brick and masonry remain unpainted.

#### **STAFF RECOMMENDATION:**

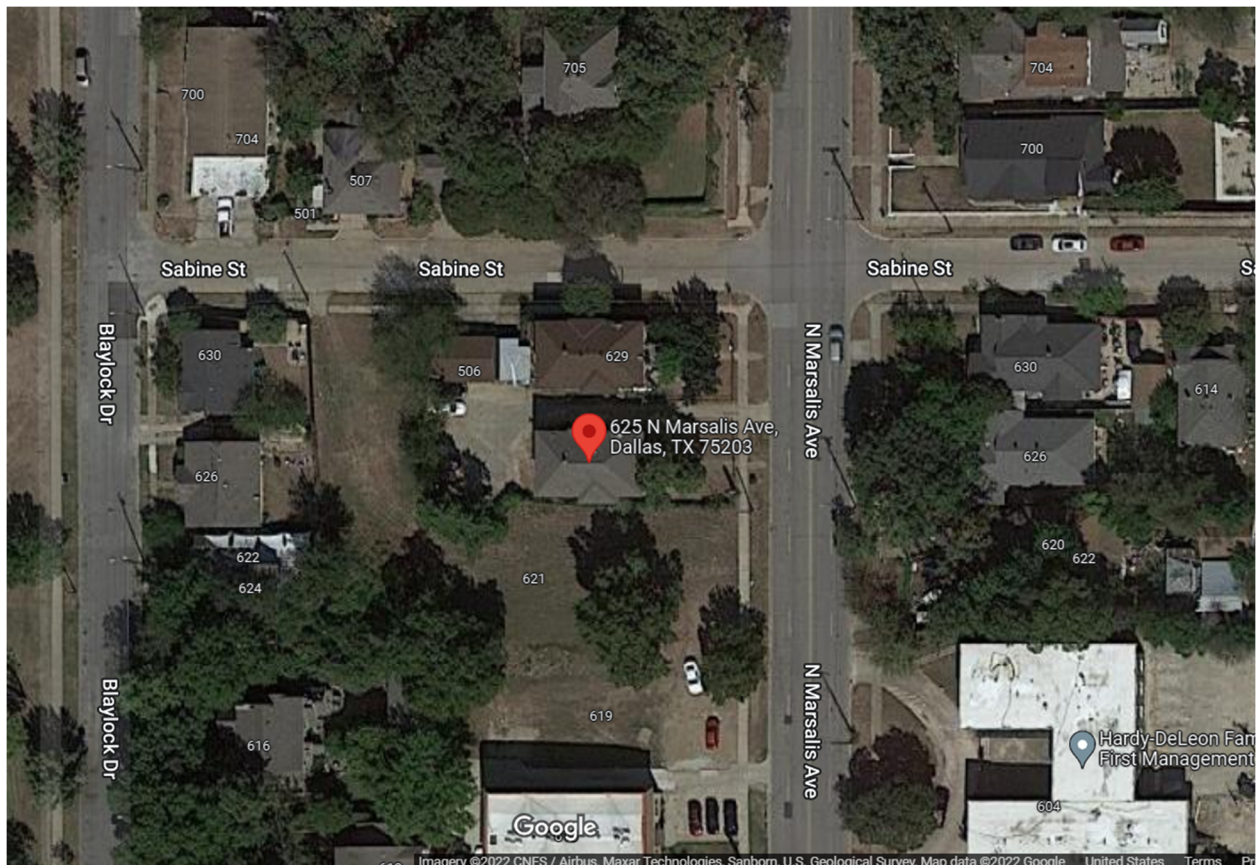
1. That the request for a Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850 be denied without prejudice. The proposal is inconsistent with Lake Cliff preservation criteria Section 4.1(e), inconsistent with the Secretary of Interior's Standards and inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

#### **TASK FORCE RECOMMENDATION:**

1. That a Certificate of Appropriateness to paint exterior brick with Sherwin Williams "Chelsea Gray" SW 2850 be approved with conditions. Knowing that the structure was previously painted on the testimony of TF members that live in Lake Cliff (known as the purple house) that repainting it with the submitted colors is acceptable. TF recommends providing physical proof of the house being previously painted. Not recommended to paint the concrete.

*After the Task Force meeting, the applicant provided additional photographs intending to show that the building had previously been painted.*

**LOCATION MAP**  
625 N Marsalis Ave.  
*Basemap Source:*





**CURRENT PHOTOS**  
**625 N Marsalis Ave.**









## Contextual Photos



*Property to right*



*Properties to left*



## Contextual Photos



*Properties to left along N Marsalis Ave.*



*Properties across N Marsalis Ave.*





*Properties across N Marsalis Ave.*

**TASK FORCE  
RECOMMENDATION(S)**



**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: John Robinson  
PROPERTY ADDRESS: 625 N Marsalis Ave  
DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Agenda Item #6 - Recommendation / comments/ basis:

- Knowing that the structure was previously painted on the testimony of TF members that live in Lake Cliff (known as the purple house) that repainting it with the submitted colors is acceptable.
- TF recommends providing physical proof of the house being previously painted.
- Not recommended to paint the concrete

Task force members present:

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input checked="" type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input checked="" type="checkbox"/> Nicholas Dean	<input checked="" type="checkbox"/> Troy Sims (LC Resident)
<input type="checkbox"/> VACANT (WH Alt)	<input type="checkbox"/> Derwin Hall	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Scott Bellen ☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA _____ - _____ [ ]
Office Use Only

Name of Applicant: John Robinson

Mailing Address : 905 Oak Trail

City, State and Zip Code: Desoto TX 75115

Daytime Phone: 817-614-7836 Alternate Phone: 512 785 6153 ( Marie)

Relationship of Applicant to Owner : owner

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

PROPERTY ADDRESS: 625 N Marsalis Dallas TX

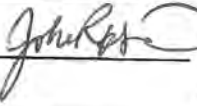
Historic District: Lake Cliff

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

Change in exterior paint color using the Sherwin Williams Suburban Modern ( 1950's) collection

Exterior brick will be changed to Chelsea Gray SW 2850, Windows and wood trim will be Pure White SW 7005  
the front and back doosr will be Iron Ore black SW 7069

Signature of Applicant: John Robinson  Date: 5/5/22

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date

May 31, 2022

City of Dallas Landmark Commission  
Preservation Planner at City Hall  
1500 Marilla 5BN  
Dallas, TX 75201  
Attn: Daniel Bellen

Hello Daniel,

Please see the submission for a change to the exterior brick at 625 N Marsalis Dr. Dallas, TX in the Lake Cliff Historic District.

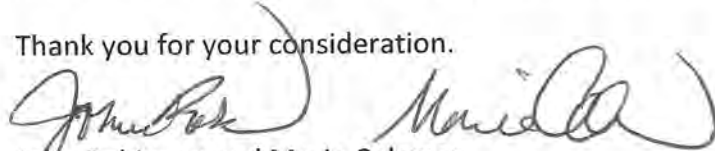
We are excited to restore this property back to its original vintage charm.  
We have chosen colors from the Sherwin Williams 1950's paint collection in the following colors.

The exterior brick will be painted a Chelsea Gray SW 2850.  
The wood window and wood trim will be painted Pure White SW 7005.  
The exterior doors and metal railing will be painted Ore Black SW7069.

The house has been left to disintegrate and our goal is to restore it back to the beautiful structure with its 1950's charm.

I have included pictures of the 3 neighbors' homes to show that there are not any other properties directly in front or the side of me that has the same colors.

Thank you for your consideration.



John Robinson and Marie Coleman



625 N Marsalis



















# Home Colors



**SHERWIN-WILLIAMS.**

SW 2850

**Chelsea Gray**

Interior / Exterior

[COORDINATING COLORS](#) [SIMILAR COLORS](#) [DETAILS](#)

SW 7666

**Fleur de Sel**

SW 2834

**Birdseye Maple** [EXPLORE IN COLORSNAP® VISUALIZER](#)[FIND INTERIOR PAINT](#) →[FIND EXTERIOR PAINT](#) →[Save to My Account](#) +[Add to my Project List](#) +

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

## Introducing online ordering

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[Learn more](#)

SW 7069  
Iron Ore

Neutral Paint Color

Low-VOC Formula

251

Iron Ore

#### COORDINATING COLORS

SW 7006

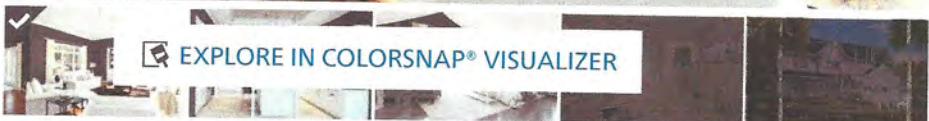
**Extra White**

SW 7067

**Cityscape**

SW 7063

**Nebulous White**



[FIND INTERIOR PAINT](#) →

[FIND EXTERIOR PAINT](#) →

[Save to My Account](#) +

[Add to my Project List](#) +

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# Photos of Neighbors

















## CLOSER PICTURES OF THE BRICK FOR 625 N MARSALIS

I have included closer pictures of the brick after power washing. Please note that the brown lines are stains from vines that were embedded in the brick.





























## NEIGHBORS THAT HAVE PAINTED BRICK

The first picture is the apartment building on the same block on Marsalis with painted brick.

The second two pictures are of the structure at 808 Blaylock with painted brick.













**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-400(LVO)  
LOCATION: 4828 Junius St  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 2  
ZONING: PD-98

PLANNER: Laura Groves van Onna  
DATE FILED: June 2, 2022  
DISTRICT: Peak's Suburban Addition  
(H-72)  
MAPSCO: 46-B  
CENSUS TRACT: 0015.02

**APPLICANT:** Crest RSS, LLC

**REPRESENTATIVE:** N/A

**OWNER:** MORGAN PARK LTD & EATON ROAD LTD

**REQUEST:**

- 1) A Certificate of Appropriateness to remove awnings and metal bars – work done without CA.
- 2) A Certificate of Appropriateness to replace second-story balcony on facade with extended deck – work done without CA.
- 3) A Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA.

**BACKGROUND / HISTORY:**

1. 4828 Junius St is a residence listed as contributing to the Peak's Suburban Addition Historic District.
2. On March 18, 2014, a Certificate of Appropriateness (CA) for in-kind repair and replacement of wood siding, wood railing along second-story balcony, and fabric awning was approved by Staff.
3. Records do not indicate other requests for a CA outside of routine maintenance.

## RELEVANT PRESERVATION CRITERIA:

### Peak's Suburban Addition Historic District (H-72), Ordinance No. 22352

#### 3. Structure

##### Facades

- 3.1 *The front and side facades are protected facades.*
- 3.2 *Reconstruction, renovation or repair of the opaque elements of the protected facades must employ materials similar to the original materials in texture, color, pattern, grain and module size as much as practical.*
- 3.4 *Brick must match in color. texture, module size. bond pattern and mortar color. Brick surfaces not previously painted may not be painted unless the applicant establishes that:*
- a. the color and texture of replacement brick cannot be matched with that of the existing brick surface;*
  - b. the brick is not original or compatible with the style and period of the main building and the district; or*
  - c. the brick has been damaged or painting is the only method by which the brick can be salvaged.*
- 3.7 Color: *All colors must comply with the Acceptable Color Range Standards contained in Addendum C, except that the Landmark Commission may approve other colors not specifically prohibited if it determines the proposed color is appropriate. Fluorescent and metallic colors are not permitted on the exterior of any structure in this district. (See Addendum C).*
- Dominant and trim colors: *All structures must have a dominant color and no more than three trim colors. including any accent colors. Proper location of dominant. trim and accent colors is shown in Addendum D. The colors of a structure must be complementary to each other and the overall character of this district. Complimenting color schemes are encouraged through the blockface. Columns should be painted white or a light color.*
- 3.8 *Exposing and restoring original historic finish materials is encouraged.*
- 3.12 *Decorative ironwork or burglar bars are permitted on rear facades. Interior mounted burglar bars are permitted on protected facades.*

##### Porches and balconies



- 3.19 *Existing original porches and balconies on protected facades must be retained and preserved. Porches may not be enclosed on protected facades.*
- 3.20 *All original columns, railings, and other trim and detailing that are part of the porch or balcony configuration must be preserved.*
- 3.21 *It is encouraged that existing enclosed porches on protected facades be restored to their original appearance.*
- 3.22 *Front porch floor finishes must be concrete, wood or other materials deemed appropriate. Porch floors may not be covered with carpet. Wood floors must be painted or stained. Concrete, brick or stone floors may not be painted. A clear sealant is acceptable.*

#### 4. New Construction and Additions

- 4.2 *New construction, additions to historic structures, accessory buildings, porches, and balconies must be of appropriate massing, roof form, shape, materials, detailing and color, and must have fenestration patterns and solids-to-voids ratios that are typical of the historic structure.*
- 4.8 *Front yard setback:*
  - a. *A main building on an interior lot must have a front yard setback that is equal to the average setback of other structures in the blockface.*
  - b. *A main building on a corner lot must have a front yard setback that is within one foot of that of the closest main building in the same blockface.*

#### **RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

##### Standards for Rehabilitation

*2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

*5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

*6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

*9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials,*

*features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

*10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

## **RELEVANT DALLAS CITY CODE:**

### **Section 51A-4.501. Historic Overlay District**

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*

(bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*

(cc) *the proposed work will not have an adverse effect on the historic overlay district; and*

(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*



## **PROJECT DESCRIPTION & ANALYSIS:**

### **Removal of Awnings and Metal Bars**

The applicant is proposing to remove red cloth awnings from the front porch as well as the metal awning on the rear east corner of the main residence. Proposed work also entails removal of metal security bars surrounding the front entry porch and on windows throughout residence. This work has already been completed.

The proposed removal of awnings and metal bars, which are not original to the main residence, exposes original historic finish features and materials and therefore helps to restore overall historic appearance and integrity of the residence. Such features include the front entry porch and windows throughout the residence, which are located on protected front and side facades, as well as the rear entry. The proposed removal of awnings and metal bars is consistent with the preservation criteria, as well as the Secretary of the Interior's Standards for Rehabilitation 9 and 10. The proposed removal of awnings and metal bars would not have an adverse effect on character of the site or district.

### **Replacement of Second-Story Balcony on Facade with Extended Deck**

The applicant is proposing to replace the existing second-story painted wood-railed balcony on the facade, located on the north corner of the main residence, with an extended stained wood-railed deck. The proposed deck extends 6 inches to the northeast towards, and to align with, the side (northeast) elevation as well as 1 foot 8 inches to the northwest into the front yard setback. It is supported by two square, stained wood posts topped by a painted wood beam; whereas, the previous balcony was supported by two painted columns topped by a structural system that was covered by wood siding consistent with the siding throughout the residence. Wood railing and columns were painted white. Railing and posts as installed are cedar wood stained with ReadySeal "Natural Cedar Tone." This work has already been completed.

The proposed replacement of second-story balcony on facade with extended deck is not of appropriate massing, shape, detailing, and color. The second-story balcony is a prominent feature on the front facade, a protected facade. At some point prior to 2007, it appears that the front facade was added onto; however, it is not clear whether or not the second-story balcony was an original feature prior to the addition. It is encouraged that existing enclosed porches on protected facades be restored to their original appearance. And although the subject project has unobscured this feature and protected facades, the alteration to this feature detracts from its restoration and the historic character of the property. Columns were previously painted white in accordance with the Ordinance, as was the balcony railing, and the replacement with square, stained wood posts conveys a contemporary architectural style that is not consistent with the district. The extended deck does not appear to substantially decrease the average setback of existing structures in the blockface; however, alteration of this prominent feature affects spatial relationships that characterize the property and therefore the district. The proposed replacement of second-story balcony on facade with extended deck is inconsistent with preservation criteria 3.1, 3.2, 3.7, 3.19, 3.20, 3.21, 4.2, and 4.8, as well as the Secretary of the Interior's Standards for Rehabilitation 2, 5, 6, 9, and 10. The proposed replacement of balcony with extended deck would adversely affect the character of the site and district.

Exterior Paint – Dominant, Sherwin Williams Mineral Gray (SW 2740) & Trim, Sherwin Williams Extra White (SW 7006)

The applicant is proposing to paint exterior of the main residence with Sherwin Williams Mineral Gray (SW 2740) for the dominant color and Sherwin Williams Extra White (SW 7006) for the trim color. This work has already been completed.

The proposed exterior paint is entails colors that substantially comply with the Acceptable Color Range Standards in Addendum C of the preservation criteria. Munsell color code is not immediately available for Sherwin Williams Mineral Gray. However, a similar color Sherwin Williams Distance (SW 6243) has a Munsell color code of 4.02PB (Hue)/ 4.46 (Value)/ 2.95 (Chroma). Additionally, absolute white is a permitted color. The proposed exterior paint is consistent with the preservation criteria, as well as the Secretary of the Interior's Standards for Rehabilitation 5, 9, and 10. The proposed exterior paint would not have an adverse effect on character of the site or district.

**STAFF RECOMMENDATION:**

- 1) That the request for a Certificate of Appropriateness to remove awnings and metal bars – work done without CA be approved in accordance with drawings and specifications dated 7/5/22. The proposed work is consistent with Peak's Suburban Addition preservation criteria Sections 3.1, 3.8, and 3.12 for structure – facades as well as 3.21 for structure – porches and balconies; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
- 2) That the request for a Certificate of Appropriateness to replace second-story balcony on facade with extended deck – work done without CA be denied without prejudice. The proposed work does not meet Peak's Suburban Addition preservation criteria Sections 3.1, 3.2, 3.7, 3.19, 3.20, 3.21, 4.2, and 4.8; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.
- 3) That the request for a Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA be approved in accordance with drawings and specifications dated 7/5/22 with the following conditions: 1) Paint will be removed from the previously unpainted brick wing walls framing the entry to the front porch; and 2) Dormer vents will be painted Sherwin Williams Extra White (SW 7006) consistent with architectural trim features. The proposed work is consistent with Peak's Suburban Addition preservation criteria Sections 3.4 and 3.7 for structure – facades; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards.

**TASK FORCE RECOMMENDATION:**

- 1) No quorum - Comments only. Support approval of the request for a Certificate of Appropriateness to remove awnings and metal bars – work done without CA.
- 2) No quorum - Comments only. Support denial w/ prejudice of the request for a Certificate of Appropriateness to replace second-story balcony on facade with extended deck – work done without CA. Recommendations: Restore two porch



columns which are historically appropriate in size and materials/ round columns were previously present; Bring balcony back to even with front facade; Correct the framing and trim work around the 2nd story porch to include fascia and historically appropriate trim work under the floor of the "deck"; Tongue and groove wood flooring on deck.

- 3) No quorum - Comments only. Support approval of the request for a Certificate of Appropriateness to paint exterior – dominant Sherwin Williams Mineral Gray (SW 2740) & trim Sherwin Williams Extra White (SW 7006) – work done without CA with the condition that paint is removed from the wing-walls of the front porch stairs. Recommendations: Paint louvers on attic dormer to match trim; Remove paint from wing-walls of front porch stairs.

## LOCATION MAP

4828 Junius St

*Basemap Source: City of Dallas Zoning Website*





**CURRENT PHOTOS**  
**4828 Junius St**













## Context







# **TASK FORCE RECOMMENDATION(S)**



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN ADDITION/ EDISON – LA VISTA**

DATE: 06/09/22

TIME: 5:30 pm

MEETING PLACE: Virtual or 2922 Swiss Avenue (Wilson House)

Applicant Name: Crest RSS, LLC

Address: 4828 Junius St

Date of **CA**/CD Request: 06/02/2022

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

- Removal of Awnings/ Metal Bars: Support approval
- Paint: Support approval with the condition that paint is removed from the wing-walls of the front porch stairs
- Removal of metal in back entry way: Support approval
- Replace deteriorated 2<sup>nd</sup> story deck: **Support denial w/ prejudice**

Recommendations:

- Paint louvers on attic dormer white to match trim
- Remove paint from wing-walls of front porch stairs
- Restore two porch columns with columns which are historically appropriate in size and materials/ round columns were previously present
- Bring balcony back to even with front façade
- Correct the framing and trim work around the 2<sup>nd</sup> story porch to include fascia and historically appropriate trim work under the floor of the “deck”
- Tongue and groove wood flooring on deck

Task force members present

<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	<input type="checkbox"/> Ricardo Munoz
<input checked="" type="checkbox"/> Patricia Simon	<input checked="" type="checkbox"/> Kathy Finch	<input type="checkbox"/> Richard Catron
<input checked="" type="checkbox"/> Paul Sanders	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)	
<input type="checkbox"/> VACANT (Edison/LaVista Res)		

Ex Officio staff members present ☒ Laura Groves van Onna

Simple Majority Quorum: ☐ yes ☒ no (three makes a quorum; no more than seven can vote)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force Patricia A. Simon

DATE: 06/09/22

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:30 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

CA212-400(LVO)

D2-Task Force Recommendation(s)

# **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: Crest RSS, LLC  
Mailing Address : 403 Holly St  
City, State and Zip Code: Grapevine, TX 76051  
Daytime Phone: 214-769-8729 Alternate Phone: \_\_\_\_\_  
Relationship of Applicant to Owner : Owner

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

**PROPERTY ADDRESS:** 4828 Junius, Dallas  
**Historic District:** Junius or Peaks

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

Paint exterior siding Sherwin Williams "Mineral Grey" (SW2740) in satin/eggshell. Paint exterior trim Sherwin Williams "Extra White" (7006) in satin/eggshell.

Remove red cloth awnings in front of house and black metal cage around front porch and all windows.

Remove 4x4 metal covering in back entry area.

Replace deteriorated second story deck with same style. Pressure treated pine for decking and cedar for post and railing. Stain cedar with ReadySeal "Natural Cedar Tone" semi-transparent stain.

Signature of Applicant:  Date: 05/02/2022

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON, (see official calendar for exceptions)**, before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall **(see exceptions)**. Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

**Memorandum to the Building Official, a Certificate of Appropriateness has been:**

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please **do not** release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

\_\_\_\_\_  
**Sustainable Construction and Development**

\_\_\_\_\_  
**Date**

## APPLICATION INSTRUCTIONS

**APPLICATIONS FOR NEW CONSTRUCTION AND MAJOR REMODELS MUST BE REVIEWED WITH A PRESERVATION PLANNER PRIOR TO THE SUBMITTAL DATE**

### DO

- Contact a Preservation Planner in advance of the deadline to discuss your application and requirements.
- Submit items on the checklist WITH your application. Incomplete applications are not accepted.
- All applications and plans may be submitted via email (preferred).
- Submit scaled and fully dimensioned drawings in size 11"x17" (preferable) or larger. Large plans should be folded, not rolled.
- Submit digital copies of images, photographs, and plans. Contact staff if your file(s) are over 10 MB.
- Review the FAQ on our website for more details. You can find us by visiting [dallascityhall.com](http://dallascityhall.com) and searching for "historic preservation."

### DO NOT

- Do not write "match existing" on your application or plans without providing more detail. Exact specifications and details must be submitted for every request, even if you believe it to be Routine Maintenance.
- Do not submit an application cover without the required supporting documents.
- Do not list work on your plans that is not listed on the application cover. Your proposed work on the cover should include a complete list of all work to be done.

**APPLICATIONS RECEIVED AFTER 12:00 PM ON THE SUBMITTAL DEADLINE WILL NOT BE ADDED TO THE LANDMARK AGENDA**

Please provide your **email** address to receive updates regarding your application and meeting dates:

---



**SUBMITTAL CRITERIA CHECKLIST**  
*(Customer use only, do not submit)*

The documentation listed below must be submitted with the application for a Certificate of Appropriateness. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

**ALL APPLICATIONS**

- ☐ Images of front façade of the structure and all sides where work is proposed.

**REMODELING, ADDITIONS, AND NEW CONSTRUCTION**

- ☐ Applications for new construction and major remodels must be reviewed by the respective Staff member for the district prior to the submittal deadline.
- ☐ Scaled and dimensioned elevation and plan drawings (see Note 1) indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures (see Note 2).
- ☐ Site plan showing: 1) dimensions of lot, 2) location and dimensions of the structure and addition (if applicable), and 3) location of all exterior, ground and roof mounted equipment.
- ☐ Official site survey.
- ☐ Specifications/cut-sheets/images for all proposed exterior materials including siding, doors, windows, lighting, and roof shingles. (See Note 3).
- ☐ Paint chips or specifications (brand, color name) and placement on the structure.
- ☐ New Construction Form required for proposed main and accessory structures.

*Note: All submitted information should also be emailed as a PDF to the respective Staff contact. Do not send large files (over 10 MB) without contacting staff first.*

**WINDOWS AND DOORS**

**REPAIR ONLY**

- ☐ Images of window(s)/door(s) that illustrate existing condition.
- ☐ Detailed description of repair work needed.

**REPLACEMENT**

- ☐ Window survey – contact respective Staff member for survey form.
- ☐ Images of window(s)/door(s) that illustrate existing condition
- ☐ Specification/cut-sheet/image for proposed replacement window(s)/door(s).

### **PAINTING, STUCCO, REPOINTING**

- ☐ Image of front façade of house and all areas/facades where painting, stucco, or repointing is proposed.
- ☐ Paint chips or specifications (brand, color name and number) with proposed location on structure indicated (body, trim, accent).
- ☐ If applicable, specifications including color, lime content ratio, cement content ratio, aggregate color, aggregate content ratio, and joint tooling.

### **SIDING, TRIM, AND SKIRTING REPAIR OR REPLACEMENT**

- ☐ Image(s) of all facades where work is proposed, including detail images that illustrate existing conditions.
- ☐ Percentage estimate of how much material is proposed for replacement (i.e. 15%, less than 20%, etc)
- ☐ Specifications for replacement siding, trim, or skirting material.

### **FOUNDATION REPAIR**

- ☐ Image of structure indicating existing skirting.
- ☐ Engineer's report including structural drawing and detail of proposed work.

### **ROOFING**

- ☐ Image of existing roof shingle indicating existing material and color.
- ☐ Shingle specifications (material, brand, color name).

### **GUTTERS**

- ☐ Specifications/cut-sheets/images for proposed gutters/downspouts.
- ☐ Site plan showing where on structure gutters/downspouts are proposed.

### **FENCES, HARDSCAPING, AND LANDSCAPING**

- ☐ Site plan showing proposed location of fence, hardscaping, landscaping.
- ☐ Photographs of the area(s) where work is proposed.
- ☐ Fences - image of proposed fence with description (material, height).
- ☐ Hardscaping – description of materials proposed and images if something other than broom finish concrete.
- ☐ Landscaping – plant species and images.

*Note: Seasonal planting in existing landscaping beds that does not include new shrubs or trees does not require a Certificate of Appropriateness.*



## **RELOCATION OF A STRUCTURE**

- ☐ Photograph of structure on current site.
- ☐ Reason for request to move building.
- ☐ Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2).
- ☐ Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street.
- ☐ Images of structures within vicinity of new site.

## **SIGNS**

- ☐ Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan).
- ☐ Image and specifications for proposed sign

## **DEMOLITION**

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact the respective Staff contact for the Certificate for Demolition application and for more information.

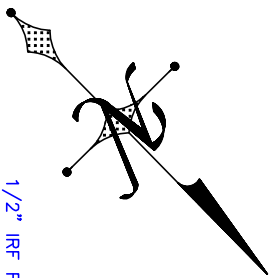
### **GENERAL NOTES:**

- Note 1: Minimum scale of  $1/8'' = 1'0''$  on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at  $1/2'' = 1'$ .
- Note 2: When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.
- Note 3: When material descriptions are required, materials to be used must be designated on the elevation drawings.

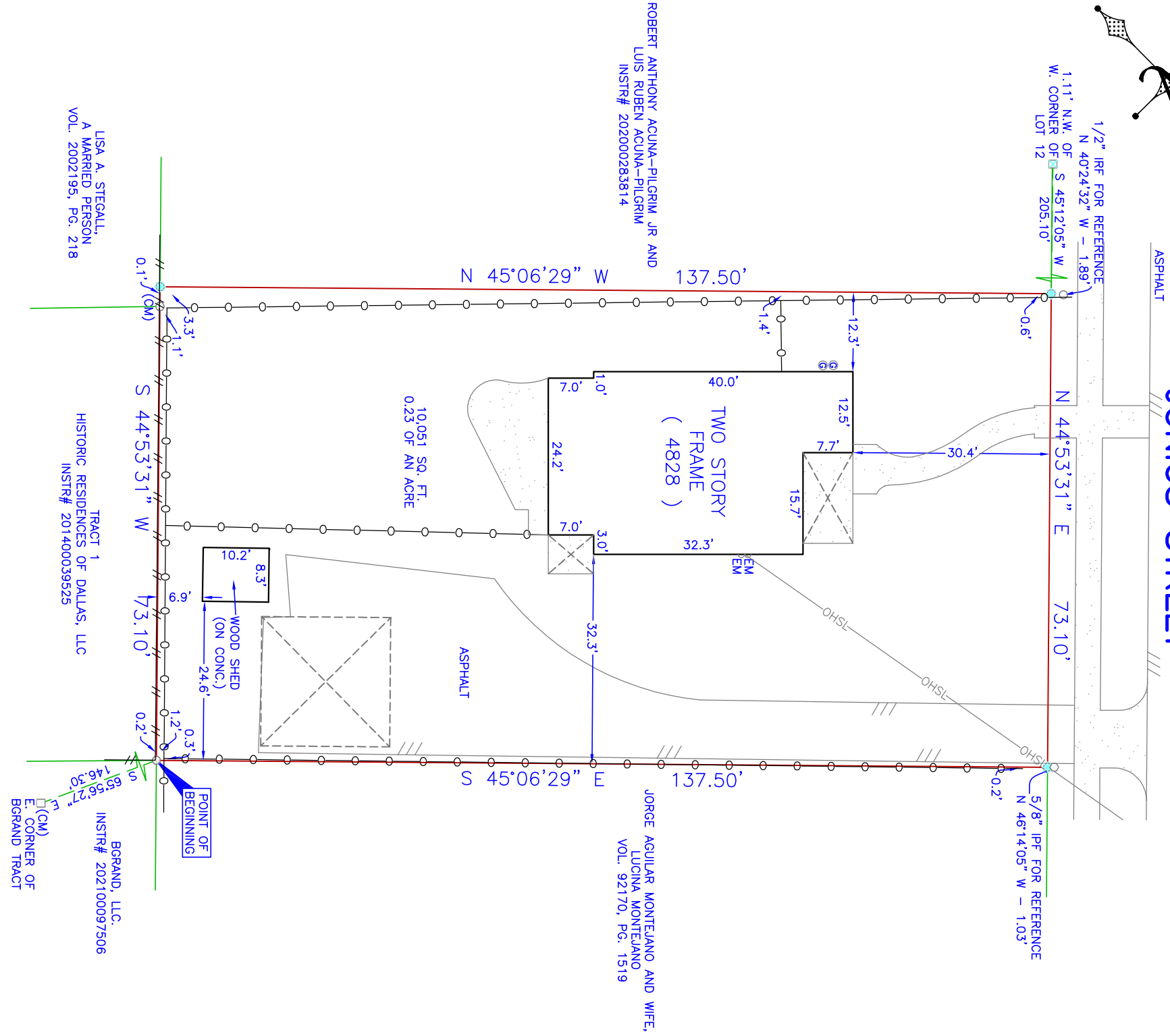
### **SCOPE OF WORK 4828 JUNIUS**

1. Remove metal awning on East side of home.
2. Remove red cloth awnings in front of home.
3. Remove, repair and replace front deck as needed. Posts, joists and decking all rotted will be replaced. Extend deck 16-18" (length and width; height to remain the same) on either side from original using same style as previous.
4. Remove metal security cages on all windows and doors around home
5. Paint all siding and trim, two colors.





JUNIUS STREET



7509 PENNRIDGE CIRCLE  
ROWLETT, TX 75088  
FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090  
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 4828 Junius Street, in the city of Dallas, Texas.



Being a part of City Block 794, according to the official map of the City of Dallas, Texas, and being the same portion of land described in deed to Morgan Park, LTD., recorded in Volume 2000035, Page 1002, Deed Records, Dallas County, Texas (D.R.D.C.T.), and being more described by the metes and bounds as follows;

Beginning at a 1/2 inch iron rod found for corner at the common corner of a tract of land described in deed to Jorge Aguilar Montejano and Lucina Montejano, recorded in Volume 92170, Page 1519, (D.R.D.C.T.), a tract of land described in deed to Byrand, LLC., recorded under Instrument No. 202100097506, (D.R.D.C.T.), and Tract 1 in deed described to Historic Residences of Dallas, LLC., recorded under Instrument No. 201400039525, (D.R.D.C.T.), said point also being the East corner of that tract herein described;

Thence South 44 deg. 53 min. 31 sec. West, a distance of 73.10 feet to a point for corner in the Northwest line of a tract of land described in deed to Lisa A. Stegall, recorded in Volume 2002195, Page 218, (D.R.D.C.T.), at the East corner of a tract of land described in deed to Robert Anthony Acuna-Pilgrim Jr. and Luis Ruben Acuna-Pilgrim, recorded under Instrument No. 202000283814, (D.R.D.C.T.);

Thence North 45 deg. 06 min. 29 sec. West, a distance of 137.50 feet to a point for corner, from which a 1/2 inch iron rod found for reference bears North 40 deg. 24 min. 32 sec. West, a distance of 1.89 feet, in the Southeast line of Junius Street, at the North corner of said Acuna-Pilgrim tract;

Thence North 44 deg. 53 min. 31 sec. East, along said Southeast line, a distance of 73.10 feet to a point for corner, from which a 5/8 inch iron pipe found for reference bears North 46 deg. 14 min. 05 sec. West, a distance of 1.03 feet, at the West corner of said Montejano tract;

Thence South 45 deg. 06 min. 29 sec. East, a distance of 137.50 feet to the POINT OF BEGINNING and containing 10,051 square feet or 0.23 of an acre of land.



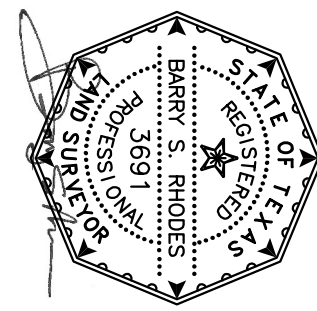
THE ABOVE DESCRIBED PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48113C0345J, dated 08-23-2001

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE

The plot hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plot; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements, TITLE AND ABSTRACTING WORK FURNISHED BY CHICAGO TITLE

Scale: 1" = 20'  
Date: 06/14/2021  
G. F. No.: 8000872100817  
Job no.: 202105625  
Drawn by: AEG

LEGEND	
WOOD FENCE	---
CHAIN LINK	----
IRON FENCE	----
WIRE FENCE	----
1/2" IRON ROD FOUND	○
5/8" IRON PIPE FOUND	○
POINT FOR CORNER	●
CABLE	----
CLEAN OUT	○
GAS METER	○
LIGHT POLE	○
WATER METER	○
WATER VALVE	○
UNLESS OTHERWISE NOTED	

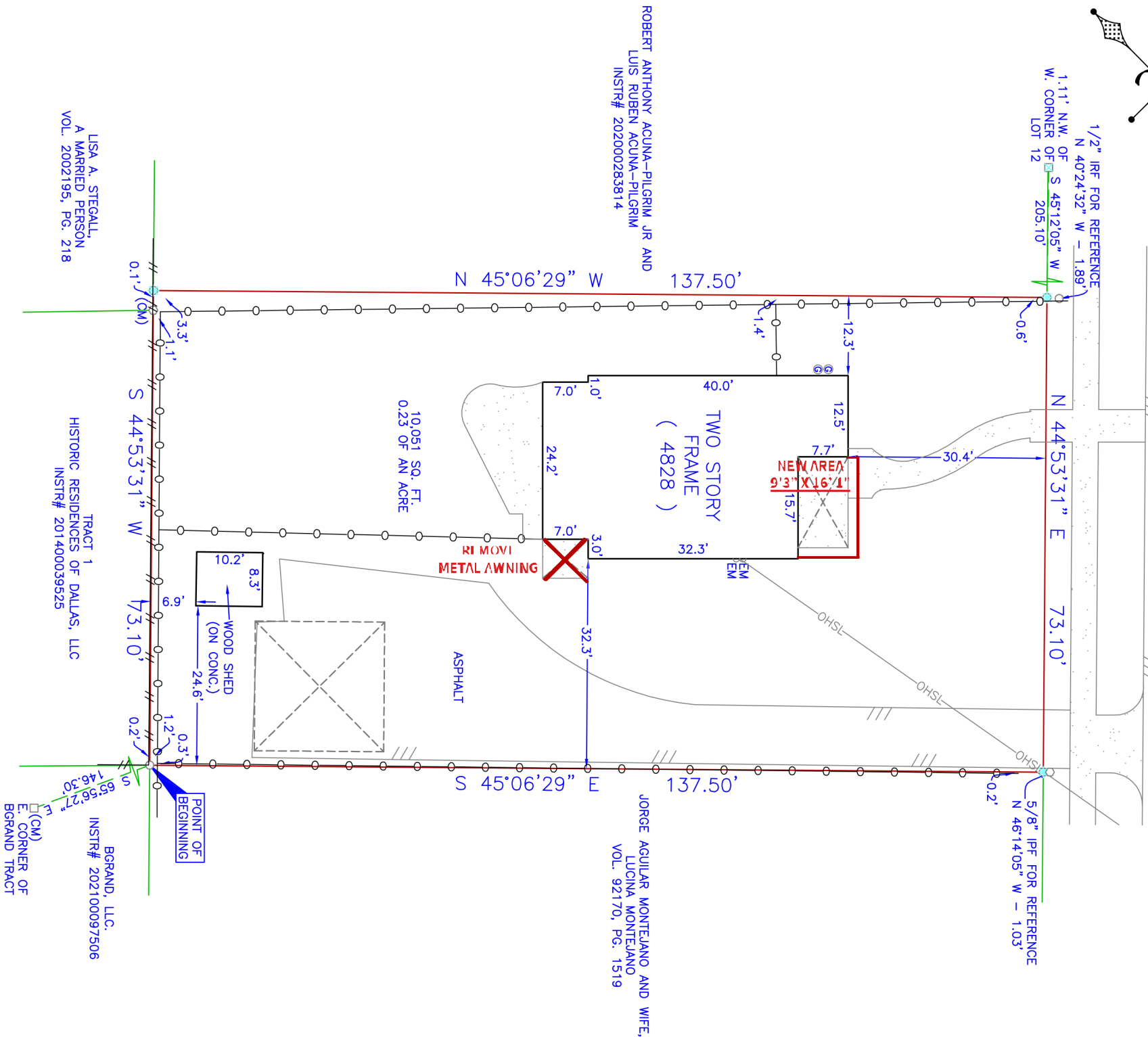


CHICAGO TITLE



## ASPHALT

JUNIUS STREET



7509 PENNRIDGE CIRCLE  
ROWLETT, TX 75088

ROWLETT, TX 75088

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

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Beginning at a 1/2 inch iron rod found for corner at the common corner of a tract of land described in deed to Jorge Aguilar Montejano and Lucina Montejano, recorded in Volume 921770, Page 1519, (D.R.D.C.T.), a tract of land described in deed to Bygrand, LLC., recorded under Instrument No. 202100097506, (D.R.D.C.T.), and Tract 1 in deed described to Historic Residences of Dallas, LLC., recorded under Instrument No. 201400039525, (D.R.D.C.T.), said point also being the East corner of that tract herein described;

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THE ABOVE DESCRIBED PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48113C0345J, dated 08-23-2001

BEARINGS ARE BASED ON NAD  
83 DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY:

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements;

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale:

$$1'' = 20'$$
Date: 06/14/20

UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR

G. F. No.: 80008721008

ANY LOSS RESULTING THEREFROM.  
THE CARRIER WAS RESPONSIBLE FOR

Job no.: 2021056

CHICAGO TITLE

Drawn by:

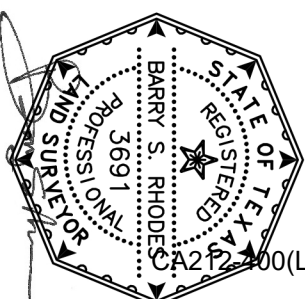
AEG



# D2 Application for Certificate of Appropriateness



CHICAGO TITLE







CA212-400(LVO)



D2-Application for Certificate of Appropriateness





CA212-400(LVO)



D2-Application for Certificate of Appropriateness





CA212-400(LVO)



D2-Application for Certificate of Appropriateness





CA212-400(LVO)



D2-Application for Certificate of Appropriateness





CA212-400(LVO)



D2-Application for Certificate of Appropriateness






CA212-400(LVO)

D2-Application for Certificate of Appropriateness







SW 7006

**Extra White**

Interior / Exterior

Location Number: 257-C1

257

Extra White

COORDINATING COLORS

SIMILAR COLORS

DETAILS



SW 2740

**Mineral Gray**

Interior / Exterior

Location Number: 253-C5

253

Mineral Gray

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-388(SB)  
LOCATION: 1700 W 10<sup>th</sup> St.  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD 87 (Tract 2A)

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-E  
CENSUS TRACT: 0046.00

**APPLICANT:** Scott, James

**REPRESENTATIVE:** N/A

**OWNER:** LOPEZ FRANCISCO J & ROMERO MATIANA

**REQUEST:**

- 1) A Certificate of Appropriateness to renovate and convert a gas station to a restaurant without drive-in service.

**BACKGROUND / HISTORY:**

- 1) Originally constructed in 1930, this converted gas service station has previously operated as a laundry service and is listed as a contributing structure to the Winnetka Heights Historic District.
- 2) On November 3, 2008, the Landmark Commission approved a new CMU extension to an existing addition.
- 3) On June 07, 2021 the Landmark Commission received a Courtesy Review, CR201-004(MLP) for the "Alteration of main structure including enclosure of drive-thru area; installation of commercial storefront windows; and installation of windows on a non-historic addition."
- 4) On April 27, 2022 City Council adopted a revision to the ordinance changing the zoning classification on the property to allow for a restaurant without drive-in service. The ordinance was revised to amend Use Regulations and Development Standards and to add exhibits and legal description ascribing the subject property as Tract II(a). (See attachment to staff report)



## RELEVANT PRESERVATION CRITERIA:

### Winnetka Heights Historic District (H-15), Article 87, PD 87

#### SEC. 51P-87.114 Preservation Criteria for Tract II and IIa.

(a) Building placement, form, and treatment.

(1) Awnings. Awnings must be made of fabric and complement the main building in style and color.

(2) Facade materials. Primary facade materials are limited to wood, brick, stone, and stucco.

(4) Signs. Signs must not obscure significant architectural features of a building. The shape, materials, color, design, and letter style of signs must be typical of and compatible with the style and period of the architecture of buildings on the same premise and in this district as a whole. [See Section 51P-87.113(e) for additional standards applicable to signs.]

(b) Landscaping. Except as otherwise provided below, the preservation criteria for landscaping in Tract I apply to all property in Tracts II and IIa. For nonresidential uses only:

(1) asphaltic concrete is permitted as a driveway or parking surface material;

#### SEC. 51P-87.111 Preservation Criteria for Tract I.

(b) Landscaping.

(1) Certain items prohibited in front and corner side yards. The following items are not permitted in the front and corner side yards:

(B) Berms.

(2) Fences.

(C) Location.

(i) The following are the only types of fences permitted in the front yard: white wood picket fences and dark green, dark brown, or black wrought iron fences. A fence in the front yard may not exceed two feet in height unless a taller fence is needed to satisfy screening requirements for parking in front of nonresidential uses.

(D) Materials. A fence must be constructed of one or more of the following materials: metal or plastic-coated chain link, wrought iron, wood, or stucco. The use of brick in a fence is not permitted, except as part of a structural column, or a base that is two feet or less in height. Exposed concrete blocks are not permitted.

(4) Outdoor lighting. Outdoor light fixtures must be compatible with the style and period of the main building and not obscure or conflict with significant architectural details of the building. Overhead and exposed wiring and conduit for outdoor lighting is not permitted.

(5) Parkway plantings. Only grass, trees, and flowers are permitted in the parkway. All trees in the parkway must be selected from the list labelled as Exhibit 87B, placed a uniform distance apart, and planted along a line parallel to the street. Flower beds may not comprise more than 50 percent of the parkway area.

(9) Sidewalks, driveways, and curbing.

(A) Materials.

- (i) No exposed aggregate, asphaltic, or artificially colored concrete or epoxy resin is permitted as a sidewalk, driveway, or curbing material.
- (ii) All public sidewalks and curbing must be constructed of brush finish concrete.
- (iii) All private sidewalks and driveways must be constructed of concrete, gravel, or brick that matches or is compatible in texture, color, and style with the main building.

## **RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

### Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

## **RELEVANT DALLAS CITY CODE:**

### **Section 51A-4.501. Historic Overlay District**

- (g) Certificate of Appropriateness.
  - (6) Standard certificate of appropriateness review procedure.
    - (C) Standard for approval. The landmark commission must grant the application if it determines that:
      - (i) for contributing structures:
        - (aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
        - (bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*
        - (cc) *the proposed work will not have an adverse effect on the historic overlay district; and*
        - (dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*



## **PROJECT DESCRIPTION & ANALYSIS:**

The applicant is proposing to renovate and convert an existing structure to a restaurant without drive-in service.

### Renovation of Building

The list below summarizes the major proposed renovations and modifications to the existing structure:

- Roof – Install GAF Timberline HDZ roof shingles in color “Appalachian Sky”
- Paint – Alabaster, SW7008 for gables and Grizzle Gray, SW7068 for trim and CMU block addition
- Exterior Brick – Gently remove existing paint from exterior brick
- Repair and patch brick to match existing
- Replace missing windows with wood windows on rear of building where mechanical equipment had been installed
- Remove window infill panels in gables, shed dormers and replace with wood windows
- Repair existing window where AC unit had been installed
- Remove exterior door infill panel, heighten door opening and install new custom door
- Move exterior door location in non-original CMU addition and infill
- Install new fascia boards on CMU addition, Grizzle Gray, SW7068
- Install AVAdek entry canopy in bronze over entry door
- Install pre-finished metal gutters and downspouts
- Install exterior lighting
- Install painted “Cenzo’s” sign above front entrance

### Renovation of Site

The list below summarizes the major proposed renovations and modifications to the existing site:

- Install a 4 ft wrought iron fence and gate in the front yard
- Install AstroTurf and play hills
- Remove existing concrete drive thru and relocate concrete parking area
- Install pervious pavement parking spaces
- Install concrete sidewalk paths
- Install boulders in parkway
- Remove two existing trees
- Install three large shade trees and four smaller shade trees
- Install a combination of dwarf wax myrtle and Indian hawthorne
- Install monument sign base
- Install pole sign

### Analysis –

The applicant is proposing to renovate and rehabilitate an existing building for its adaptive reuse as a restaurant without drive-in service.

The Secretary of Interior’s Standards for the Treatment of Historic Properties defines *restoration* as, “the act or process of accurately depicting the form, features, and

CA212-388(SB) D3-4

character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period.” In contrast, *rehabilitation* is defined as, “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values,” and *preservation* “generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction.” The conversion of this building from previous uses is not an attempt to *restore* a historic property as it appeared at a particular time. If the applicant were attempting to restore this property to a specific period in time and use as a gas station, then the standards to restore the property would be higher than for an adaptive reuse. However, it is important that the site retains its historic integrity while at the same time serves the surrounding community with a new purpose.

The applicant is proposing many improvements to rehabilitate the building while retaining its historic integrity. Wood windows will be repaired and replaced where they had been removed. The paint will be removed from the brick exterior. Fenestration openings are being retained except for a door which is being relocated in the non-original CMU addition and one door which is proposed to be heightened. However, the proposed bronze canopy is inconsistent with the preservation criteria which state that awnings must be made of fabric. In addition, the Secretary of Interior Standards state that, “Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.”

There are some proposed changes to the site which will impact how the building has historically functioned on the property. The concrete paved area at the front of the building is proposed to be replaced with an enclosed AstroTurf play area and seating area for the restaurant. A 4-ft wrought iron fence is proposed in the front yard and along S Rosemont Ave. Parking is proposed to be relocated and oriented to W 10<sup>th</sup> St while removing both vehicular and pedestrian ingress and egress from S Rosemont Ave. The proposed boulders in the parkway, AstroTurf, and 4-ft wrought iron fence are inconsistent with the Winnetka Heights preservation criteria as noted in the staff recommendation.

The overall effect of the proposed work will not have an adverse effect on the architectural features of the structure, the historic overlay district, or the future preservation, maintenance and use of the structure or the historic overlay district.

#### **STAFF RECOMMENDATION:**

- 1) That the request for a Certificate of Appropriateness to renovate and convert a gas station to a restaurant without drive-in service be approved per plans and specifications dated 07/05/2022 with the following conditions:
  - a. That artificial turf is prohibited because artificial turf is inconsistent with the Secretary of Interior Standards and does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures;



- b. That boulders or rocks are prohibited in the parkway because the Winnetka Heights preservation criteria Section 51P-87.111(b)(5) permits only grass, trees, and flowers in the parkway;
- c. That the new proposed AVAdek entry canopy in bronze is prohibited because the Winnetka Heights preservation criteria Section 51P-87.114(a)(1) stipulates that awnings must be made of fabric and complement the main building in style and color;
- d. That the 4-ft high wrought iron fence in the front yard is prohibited because the Winnetka Heights preservation criteria Section 51P-87.114(a)(1) states that "A fence in the front yard may not exceed two feet in height unless a taller fence is needed to satisfy screening requirements for parking in front of nonresidential uses";
- e. That new wood windows must not be clad with fiberglass because fiberglass is inconsistent with the Winnetka Heights preservation criteria Section 51P-87.114(a)(2) for facade materials;
- f. That repair of existing wood windows must be an exact match in profile, dimensions, and material of the original;
- g. That removal of paint from masonry must be undertaken according to guidance specified by the Secretary of Interior's Standards for Rehabilitation found at <https://www.nps.gov/tps/standards/rehabilitation/rehab/masonry01.htm>; and
- h. That the repair, patching or repointing of any brick exterior must match the existing brick and be undertaken according to guidance specified by the Secretary of Interior's Standards for Rehabilitation found at <https://www.nps.gov/tps/standards/rehabilitation/rehab/masonry01.htm>.

The proposed work as conditioned above will therefore be consistent with the Winnetka Heights preservation criteria, consistent with the Secretary of Interior Standards, and meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

#### **TASK FORCE RECOMMENDATION:**

That a Certificate of Appropriateness to renovate and convert a gas station to a restaurant without drive-in service be approved with conditions.

TF is highly enthusiastic about the restoration and occupation of this structure.

TF discussed fence / gate locations in relation to the original corner service station having neighborhood facing access. It appears that the site plan is vehicularly oriented to 10th street and that there should be a gentle pedestrian gate access on Rosemont.

Sconces are modern. Reselect similar modest half rounds without LED banding.

Berms and Turf were discussed at length. Berms were considered as both play elements such as gentle play elements and also topographic changes to landscaping. Traditional separation berms are not allowed in Tract 2.

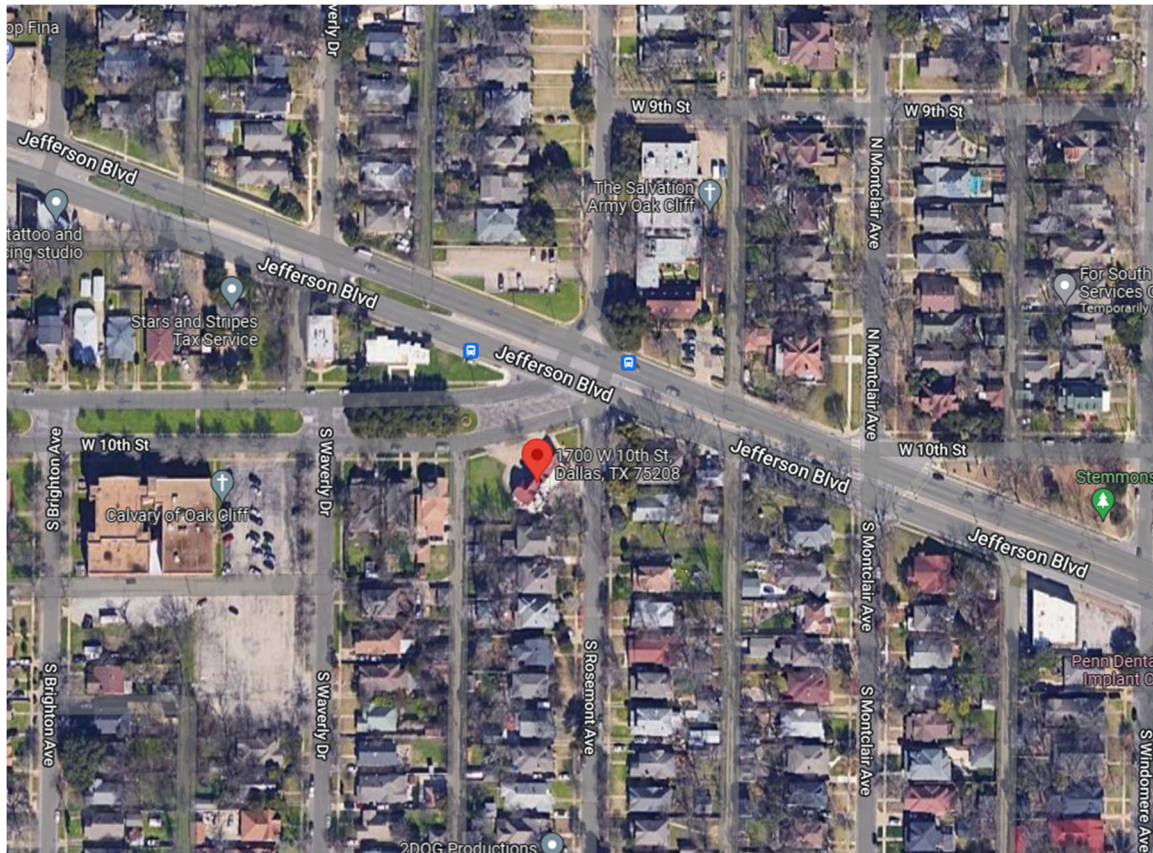
We would like more information/ specification on the turf, height of topographic changes / play hills in the patio area.

Fiberglass cladding should be removed from wood windows.

## LOCATION MAP

1700 W 10th St.

*Basemap Source: Google Maps*



*Basemap Source: City of Dallas, GIS*

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D3-7



**CURRENT PHOTOS**  
1700 W 10th St.





**CURRENT PHOTOS**  
**1700 W 10th St.**





**CURRENT PHOTOS**  
1700 W 10th St.



**CURRENT PHOTOS**  
**1700 W 10th St.**





**CURRENT PHOTOS**  
1700 W 10th St.



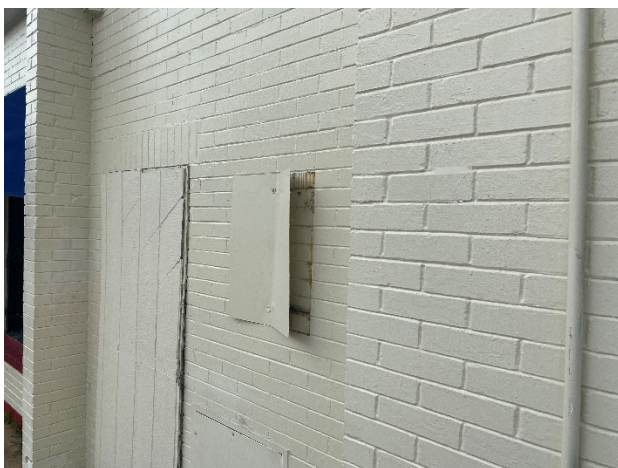


**CURRENT PHOTOS**  
**1700 W 10th St.**



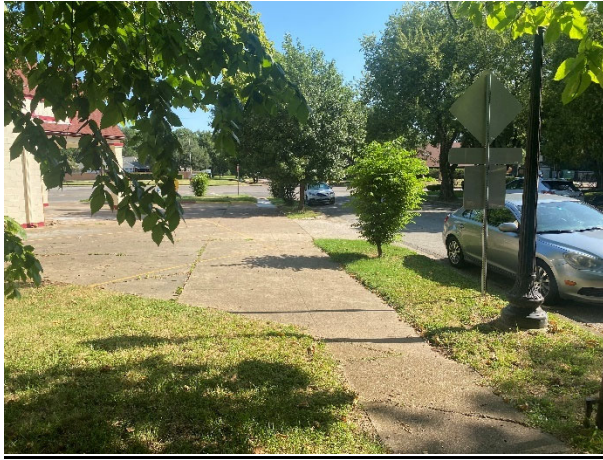


**CURRENT PHOTOS**  
1700 W 10th St.





**CURRENT PHOTOS**  
**1700 W 10th St.**





Contextual Photos

1700 W 10th St. – Viewed from W 10<sup>th</sup> St. and Jefferson Blvd.





## Contextual Photos



*Properties to east across S. Rosemont.*



## Contextual Photos



*Properties to south along S. Rosemont.*



*Properties to west along W. 10<sup>th</sup> St.*



*Properties to west along W. 10<sup>th</sup> St.*



4-19-22

ORDINANCE NO. 32189

An ordinance changing the zoning classification on the following property:

BEING Lot 1 in City Block 41/3298; fronting approximately 160 feet on the south line of Jefferson Boulevard; fronting approximately 128 feet on the west line of Rosemont Avenue; and containing approximately 0.38 acre,

from Tract II within Planned Development District No. 87 to Tract II(a) within Planned Development District No. 87; amending Article 87, "PD 87," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code; amending the reconciliation with other ordinances, exhibits, use regulations for Tract II, development standards for Tract II, and preservation criteria for Tract II regulations in Sections 51P-87.103, 51P87.105.1 51P-87.112, 51P-87.113, and 51P-87.114 of Article 87; providing a new tract map; providing tract legal descriptions; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council, in accordance with the Charter of the City of Dallas, the state law, and the ordinances of the City of Dallas, have given the required notices and have held the required public hearings regarding this amendment to the Dallas City Code; and

WHEREAS, the city council finds that it is in the public interest to change the zoning classification and amend Article 87 as specified in this ordinance; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. That the zoning classification is changed from Tract II within Planned Development District No. 87 to Tract II(a) within Planned Development District No. 87 on the property described in Exhibit A, which is attached to and made a part of this ordinance ("the Property").

SECTION 2. That Subsection (b) of Section 51P-87.103, "Reconciliation With Other Ordinances," of Article 87, "PD 87," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

"(b) The Property descriptions for Tracts I, II, II(a), III, IV(a), IV(b), IV(c), and IV(d) are described in [the] Exhibit 87E [~~A attached to Ordinance No. 27947~~]. Exhibit 87C is a graphic representation of the tracts in PD 87."

SECTION 3. That Section 51P-87.105.1, "Exhibits," of Article 87, "PD 87," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

**"SEC. 51P-87.105.1. EXHIBITS.**

The following exhibits are incorporated into this article:

- (1) Exhibit 87A: graphics
- (2) Exhibit 87B: tree list.
- (3) Exhibit 87C: tract map.
- (4) Exhibit 87D: mixed use development parking chart.
- (5) Exhibit 87E: tract legal descriptions.

SECTION 4. That Section 51P-87.112, "Use Regulations for Tract II," of Article 87, "PD 87," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

**"SEC. 51P-87.112. USE REGULATIONS FOR TRACTS II AND II(a).**

The following use regulations apply to all property in Tracts II and II(a):



32189

(1) Uses that were illegal on October 14, 1981, are illegal uses under this article. Nonconforming uses only terminate under the provisions of Sections 51-4.704(a)(1), (2), (3), and (4).

(2) Except as otherwise provided below, uses are limited to those uses permitted in an O-1 Office District.

(3) ~~[A self-service laundry or dry cleaning use is permitted on Lot 1 in City Block 41/3298.~~

~~(4)]~~ Lot 13 in City Block 35/3282 and Lot 11 in City Block 36/3283 must be used as parking for adjacent office uses, or may be developed with uses permitted in an R-7.5 Single-Family District.

(4) Restaurant without drive-in service is a permitted use in Tract II(a). The following restrictions apply to the operation of a restaurant without drive-in service.

(A) Except for maintenance and mechanical equipment, use of rooftops is prohibited.

(B) Solid screening fencing is required between Tract II(a) and a residential use. If a solid screening fence exists on the residential property, fencing on Tract II(a) is not required.

(C) An outdoor seating area is only permitted on the north side of the building at the porte cochere existing on April 27, 2022.

(D) Hours of operation are limited to 6:00 a.m. to 10:00 p.m., Monday through Thursday, and 6:00 a.m. to 11:30 p.m., Friday through Sunday. Outdoor patio hours of operation must cease at 10:00 p.m.

(E) Ingress and egress are prohibited on Rosemont Avenue.

(F) Outdoor speakers and amplification are allowed only on the outdoor patio facing Jefferson Boulevard between the hours of 11:00 a.m. and 9:30 p.m. Sunday through Thursday, and 10:00 a.m. and 10:00 p.m. on Friday and Saturday.”

SECTION 5. That Section 51P-87.113, “Development Standards for Tract II,” of Article 87, “PD 87,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended to read as follows:

**“SEC. 51P-87.113. DEVELOPMENT STANDARDS FOR TRACTS II AND II(a).**

(a) In general. Except as otherwise provided in this section, the development standards in the Dallas Development Code, as amended, applicable to an O-1 Office District apply to all property in Tracts II and II(a). In the event of a conflict, the provisions of this section control.

(b) Off-street parking requirements.

(1) Single-family uses must provide at least one off-street parking space for each dwelling unit.

(2) The off-street parking requirements in the Dallas Development Code, as amended, applicable to multiple-family uses in an MF-1 Multiple-Family District apply to multiple-family uses in this tract.

(3) The off-street parking requirements in the Dallas Development Code, as amended, applicable to nonresidential uses in an O-1 Office District apply to nonresidential uses in this tract.

(4) In Tract II(a), for a restaurant without drive-in service in a contributing structure, one space per 225 square feet of floor area is required.

(c) Screening.

(1) In general. Screening is required in the rear and side yards of a nonresidential use constructed after October 14, 1981, if the use is adjacent to a residential use, whether separated by an alley or not. All screening must be at least six feet in height.

(2) Materials. Screening must consist of a solid wood fence, masonry fence, or natural vegetation of an evergreen variety of at least 60 percent density at the time of planting. Natural vegetation must be maintained in a healthy growing condition at all times. [See Sections 51P-87.114(b) and 51P-87.111(b)(2) for more specific standards regarding fences.]

(d) Setbacks. All new buildings and parking areas must be located on or behind the front setback line of the closest main residential building fronting on a north/south street.

(e) Signs.

(1) In general. The provisions for non-business zoning districts in Article VII, "Sign Regulations," apply to all signs in these [this] tracts.

(2) Size restrictions. A detached sign located on a premise fronting on Jefferson Boulevard must have a height of eight feet or less, and an effective area of 32 square feet or less. [See Section 51P-87.114(a)(4) for additional standards applicable to signs.]



(f) Dumpster. In Tract II(a), a screened dumpster must be located along the west perimeter of the Property, adjacent to the alley.”

SECTION 6. That Section 51P-87.114, “Preservation Criteria For Tract II,” of Article 87, “PD 87,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended to read as follows:

**“SEC. 51P-87.114                      PRESERVATION CRITERIA FOR TRACTS II and II(a).**

(a) Building placement, form, and treatment.

(1) Awnings. Awnings must be made of fabric and complement the main building in style and color.

(2) Facade materials. Primary facade materials are limited to wood, brick, stone, and stucco.

(3) New or move-in buildings. The scale and style of new and move-in buildings fronting on Jefferson Boulevard must complement the scale and style of surrounding residential structures in this district.

(4) Signs. Signs must not obscure significant architectural features of a building. The shape, materials, color, design, and letter style of signs must be typical of and compatible with the style and period of the architecture of buildings on the same premise and in this district as a whole. [See Section 51P-87.113(e) for additional standards applicable to signs.]

(b) Landscaping. Except as otherwise provided below, the preservation criteria for landscaping in Tract I apply to all property in Tracts II and II(a). For nonresidential uses only:

(1) asphaltic concrete is permitted as a driveway or parking surface material;  
and

(2) driveways providing ingress and egress from Jefferson Boulevard may have a maximum width of 25 feet.”

SECTION 7. That the tract map, Exhibit 87C, of Article 87, “PD 87,” of Chapter 51P of the Dallas City Code, is replaced by the Exhibit 87C attached to this ordinance.

SECTION 8. That development of this district must comply with the full-scale version of Exhibit 87C (tract map) attached to this ordinance. A reduced-sized version of this plan shall be

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provided in Chapter 51P. Permits shall be issued based on information provided on the full-scale version of the plan.

SECTION 9. That pursuant to Section 51A-4.701 of Chapter 51A of the Dallas City Code, as amended, the property description in Section 1 of this ordinance shall be construed as including the area to the centerline of all adjacent streets and alleys.

SECTION 10. That a person who violates a provision of this ordinance, upon conviction, is punishable by a fine not to exceed \$2,000.

SECTION 11. That Chapter 51P of the Dallas City Code, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 12. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of Chapter 1 of the Dallas City Code, as amended.

SECTION 13. That this ordinance shall take effect immediately from and after its passage and publication, in accordance with the Charter of the City of Dallas, and it is accordingly so ordained.

APPROVED AS TO FORM:

CHRISTOPHER J. CASO, City Attorney

By   
Assistant City Attorney

Passed APR 27 2022



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GIS\_Approved

**EXHIBIT A**  
AOR and new TR 2(a)

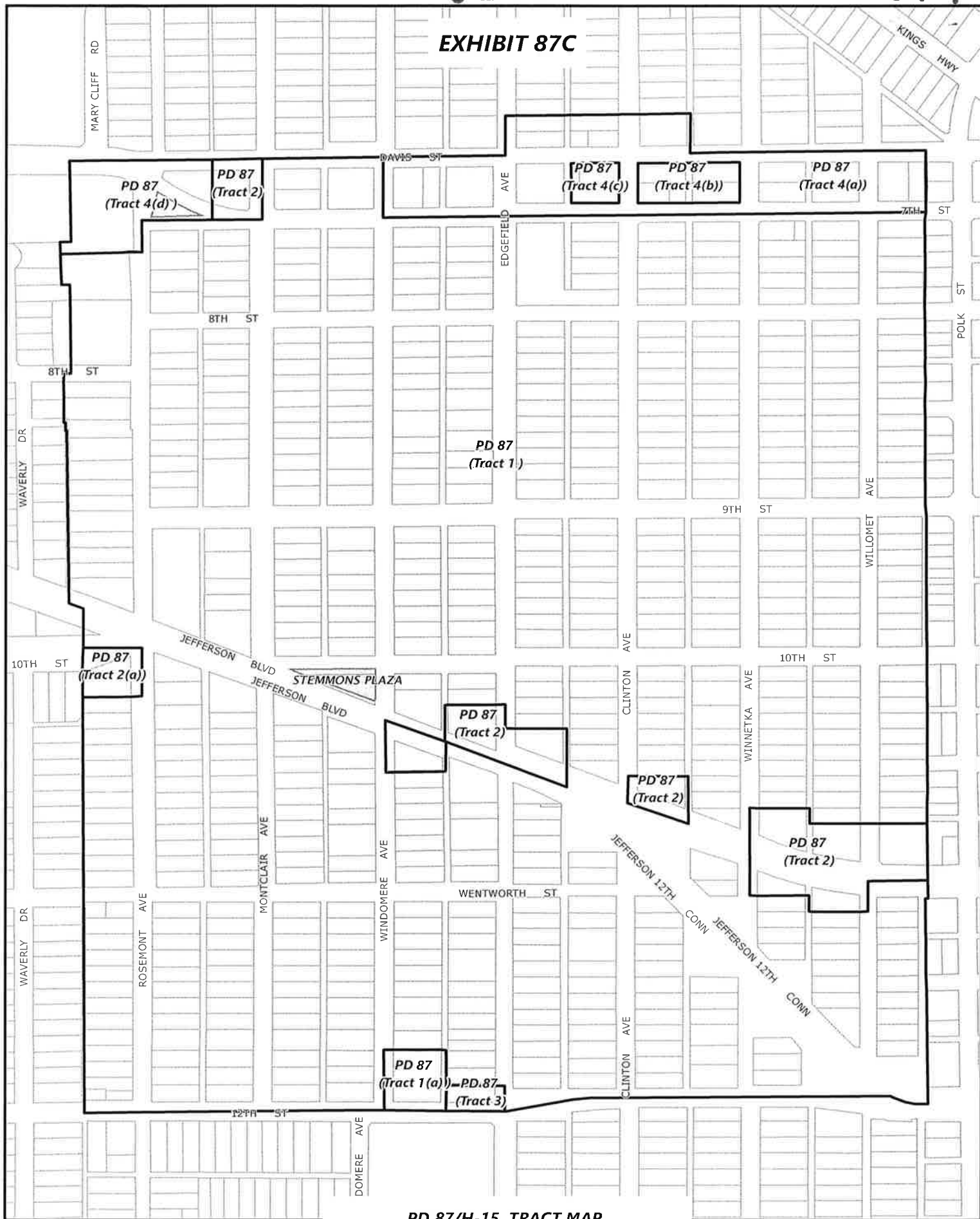
**TRACT II(a)**  
*(created to under Z212-126)*

BEING all of Lot 1 in City Block 41/3298, fronting on the south line of Jefferson Boulevard and the west line of Rosemont Avenue.

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**EXHIBIT 87C**



**PD 87/H-15 TRACT MAP**

**Tracts: 1, 1(a), 2, 2(a) 3, 4(a), 4(b), 4(c), 4(d)**  
**Tract 2 has 4 non-contiguous areas**

Z212-126(RM)\_PD 87 Amend and new Tract 2(a)



1:4,500

Printed Date: 12/10/2021



**EXHIBIT 87E**  
**PD 87 Winnetka Heights Village**  
**Legal Descriptions**

**PERIMETER**

This Planned Development District does not have a perimeter description, the boundary is comprised of the (8) Tracts within PD 87, an area containing approximately 8,038,422.1823 square feet or 184.5367 acres of land, more or less.

**TRACT I**

BEING all of City Block 15/3270, bounded by Rosemont Avenue, Seventh Street, Eighth Street and Montclair Avenue;

BEING all of City Block 14/3271, bounded by Montclair Avenue, Seventh Street, Windomere Avenue and Eighth Street;

BEING all of City Block 13/3272, bounded by Windomere Avenue, Seventh Street, Edgefield Avenue, and Eighth Street;

BEING all of City Block 12/3258, bounded by Edgefield Avenue, Seventh Street, Clinton Avenue and Eighth Street;

BEING all of City Block 11/3259, bounded by Clinton Avenue, Seventh Street, Winnetka Avenue and Eighth Street;

BEING all of City Block 10/3260, bounded by Winnetka Avenue, Seventh Street, Willomet Avenue and Eighth Street;

BEING all of City Block 9/3261, fronting on the east line of Willomet Avenue between Seventh and Eighth Streets;

BEING all of City Block 16/3275, bounded by Rosemont Avenue, Eighth Street, Montclair Avenue and Ninth Street;

BEING all of City Block 17/3274, bounded by Montclair Avenue, Eighth Street, Windomere Avenue, and Ninth Street;

BEING all of City Block 18/3273, bounded by Windomere Avenue, Eighth Street, Edgefield Avenue and Ninth Street;

BEING all of City Block 19/3265, bounded by Edgefield Avenue, Eighth Street, Clinton Avenue and Ninth Street;

BEING all of City Block 20/3264, bounded by Clinton Avenue, Eighth Street, Winnetka Avenue and Ninth Street;

BEING all of City Block 21/3263, bounded by Winnetka Avenue, Eighth Street, Willomet Avenue and Ninth Street;

BEING all of City Block 22/3262, fronting on the east line of Willomet Avenue between Eighth and Ninth Streets;

BEING all of City Block 29/3286, bounded by Rosemont Avenue, Ninth Street, Montclair Avenue and Tenth Street;

BEING all of City Block 28/3285, bounded by Montclair Avenue, Ninth Street, Windomere Avenue and Tenth Street;

BEING all of City Block 27/3284, bounded by Windomere Avenue, Ninth Street, Edgefield Avenue and Tenth Street;

BEING all of City Block 26/3279, bounded by Edgefield Avenue, Ninth Street, Clinton Avenue and Tenth Street;

BEING all of City Block 25/3278, bounded by Clinton Avenue, Ninth Street, Winnetka Avenue and Tenth Street;

BEING all of City Block 24/3277, bounded by Winnetka Avenue, Ninth Street, Willomet Avenue and Tenth Street;

BEING all of City Block 23/3276, fronting on the east line of Willomet Avenue, between Ninth and Tenth Streets,

BEING all of City Block 31/3288, bounded by Tenth Street, Windomere Avenue and Jefferson Boulevard;

BEING all of Lots 1 and 2 in City Block 32/3289, fronting on the east line of Windomere Avenue, south of Tenth Street;

BEING all of Lots 5 and 6 in City Block 32/3289, fronting on the west line of Edgefield Avenue, south of Tenth Street;

BEING all of Lots 1 through 4 in City Block 33/3280, fronting on the east line of Edgefield Avenue, south of Tenth Street;

BEING all of Lots 6 through 12 in City Block 33/3280, fronting on the west line of Clinton Avenue, south of Tenth Street;



BEING all of Lots 1 through 7 in City Block 34/3281, fronting on the east line of Clinton Avenue, south of Tenth Street;

BEING all of Lots 9 through 18 in City Block 34/3281, fronting on the west line of Winnetka Avenue, south of Tenth Street;

BEING all of Lots 1 through 9 in City Block 35/3282, fronting on the east line of Winnetka Avenue, south of Tenth Street;

BEING all of Lots 14 through 23 in City Block 35/3282, fronting on the west line of Willomet Avenue, south of Tenth Street;

BEING all of Lots 1 through 10 in City Block 36/3283, fronting on the east line of Willomet Avenue, south of Tenth Street;

BEING all of City Block 40/3287, bounded by Rosemont Avenue, Jefferson Boulevard, Montclair Avenue, and Wentworth Street;

BEING all of City Block 39/3296, bounded by Montclair Avenue, Jefferson Boulevard, Windomere Avenue, and Wentworth Street;

BEING all of Lots 2 through 8 in City Block 38/3295, fronting on the east line of Windomere Avenue, south of Jefferson Boulevard;

BEING all of Lots 9 through 15 in City Block 38/3295, fronting on the west line of Edgefield Avenue, south of Jefferson Boulevard;

BEING all of City Block 37/3294, bounded by Edgefield Avenue, Jefferson Boulevard, Clinton Avenue, and Wentworth Street;

BEING all of City Block 45/3292, bounded by Jefferson Boulevard, Winnetka Avenue, and the Jefferson-Twelfth Street Connection;

BEING all of Lots 2 through 24 in City Block 46/3291, bounded by Winnetka Avenue, Jefferson Boulevard, Willomet Avenue and Twelfth Street;

BEING all of City Block 47/3290, fronting on the east line of Willomet Avenue, south of Jefferson Boulevard,

BEING all of City Block 52/3300, bounded by Rosemont Avenue and Montclair Avenue, south of Wentworth Street;

BEING all of Lots 1 and 1 in City Block 1C/3530, fronting 150 feet on the north line of Twelfth Street and 170 feet on the west line of Rosemont Avenue;

BEING all of Lots 3, 4, and 5 in City Block 1C/3530, fronting 150 feet on the north line of Twelfth Street, and 170 feet on the east line of Rosemont Avenue;

BEING all of City Block 42/3301, bounded by Montclair Avenue and Windomere Avenue, south of Wentworth Street;

BEING all of Lots 6, 7, and 8 in City Block 1B/3530, fronting 150 feet on the north line of Twelfth Street and 170 feet on the west line of Montclair Avenue;

BEING all of Lots 9, 10, and 11 in City Block 1B/3530, fronting 150 feet on the north line of Twelfth Street and 170 feet on the east line of Montclair Avenue;

BEING all of the following Lots 1 through 9 in and Lots 10-18 in City Block 43/3302, bounded by Windomere Avenue and Edgefield Avenue, south of Wentworth Street;

BEING the northern 100 feet of Lots 1 through 3 (also referred to as the mid and the north part of Lots 1-3) in City Block 1A/3528, fronting 100 feet on the west line of Edgefield Avenue, beginning at a point 70 feet north of the north line of Twelfth Street;

BEING all of City Block 44/3293, bounded by Edgefield Avenue, Wentworth Street, Clinton Avenue, and Twelfth Street;

BEING all of City Block 45/3292, bounded by Clinton Avenue, Jefferson-Twelfth Street Connection, Winnetka Avenue, and Twelfth Street;

BEING all of Lots 8 in City Block 1/3318, approximately 151 feet on the west line of Rosemont Avenue;

BEING all of City Block A/3269, fronting 150 feet on the north line of Eighth Street and 200 feet on the west line of Rosemont Avenue;

BEING all of City Block 1/3269, fronting 150 feet on the south line of Eighth Street and 150 feet on the west line of Rosemont Avenue;

BEING all of Lots 1 through 11 in City Block 30/3287, fronting on the west line of Rosemont Avenue, between Eighth Street and Jefferson Boulevard;

BEING all of Lots 2 through 13 in City Block 41/3298, fronting on the west line of Rosemont Avenue, between Jefferson Boulevard and Wentworth Street;

BEING all of Lots 1 through 9 of City Block 53/3299, fronting on the west line of Rosemont Avenue, south of Wentworth Street;

BEING all of Lots 1 and 2 in City Block 2/3268, fronting on the east line of Rosemont Avenue between David and Seventh Street;



BEING all of City Block 3/3267, bounded by Montclair Avenue, Davis Street, Windomere Avenue and Seventh Street, containing approximately 165.15 acres.

### TRACT I(a)

BEING the eastern twenty-feet (20') of Lot 7, all of Lots 6 and 5 and the east thirty-feet (30') of Lot 4 in City Block 1A/3528, and being further described as follows:

BEGINNING at the southwest corner of said Thomas tract, being on the east line of S. Windomere Avenue, and the north line of W. 12th Street;

THENCE North (assumed reference bearing), passing at a distance of 3.61 feet an "x" found in concrete, passing at an additional distance of 157.55 feet a wrought iron fence corner, and continuing a total distance of 163.50 feet to a point on said east line of S. Windomere Avenue, and being the southwest corner of a tract of land described in a deed to Jack Delametter, II, as recorded in Volume 99175, Page 4721, of the Deed Records of Dallas County;

THENCE East, a distance of 150.00 feet along the south line of said Delametter tract to a point from which a ½ inch iron rod found bears S 49° 03' 01" E, a distance of 0.95 of one foot, said point being the southeast corner of said Delametter tract;

THENCE South, passing at a distance of 160.21 feet a ½ inch iron rod found, continuing a total distance of 163.50 feet to a point on the aforesaid north line of W. 12th Street, and being the southwest corner of a tract of land described in a deed to LULAC National Education Service Centers, Inc., recorded in Volume 98129, Page 9124, aforesaid Deed Records;

THENCE West, a distance of 150.00 feet along said north line of W. 12th Street to the POINT OF BEGINNING and containing 24,525 square feet or 0.56 of one acre of land.

### TRACT II

BEING all of lots 3 and 4 (as originally platted) - replat now being approximately 119 feet of the eastern portion of Lot 1A in City Block 2/3268, fronting Montclair Avenue, between Davis and Seventh Streets;

~~BEING all of Lot 1 in City Block 41/3298, fronting on the south line of Jefferson Boulevard and the west line of Rosemont Avenue;~~

BEING all of lot 1 in City Block 38/3295, fronting on the south line of Jefferson Boulevard and the east line of Windomere Avenue;

BEING all of Lots 3 and 4 in City Block 32/3289, fronting on the north line of Jefferson Boulevard and the west line of Edgefield Avenue;

BEING all of Lot 5 in City Block 33/3280, fronting on the north line of Jefferson Boulevard and the east line of Edgefield Avenue;

BEING all of Lot 8 in City Block 34/3281, fronting on the north line of Jefferson Boulevard and the east line of Clinton Avenue;

BEING all of Lots 10 and 11 in City Block 35/3282, fronting on the north line of Jefferson Boulevard and the east line of Winnetka Avenue;

BEING all of Lots 12 and 13 in City Block 35/3282, fronting on the north line of Jefferson Boulevard and the west line of Willomet Avenue, and a portion of the we half of Lot 1A in City Block 2/3268, fronting on the north line of Jefferson Boulevard and the east line of Willomet Avenue;

BEING all of Lot 25 in City Block 46/3291, fronting on the south line of Jefferson Boulevard and the west line of Willomet Avenue;

BEING all of Lot 1 in City Block 46/3291, fronting on the south line of Jefferson Boulevard and the east line of Winnetka Avenue, containing approximately 6.205 ~~6.866~~ acres.

**TRACT II(a)**

*(created to under Z212-126)*

BEING all of Lot 1 in City Block 41/3298, fronting on the south line of Jefferson Boulevard and the west line of Rosemont Avenue.

**TRACT III**

BEING the southern 50 feet of Lots 1 through 3 in City Block 1A/3528, fronting 50 feet on the west line of Edgefield Avenue, and 150 feet on the north line of Twelfth Street, containing approximately 0.34 acres.

**TRACT IV(a)**

BEING all of Lots 1 through 4 in City Block 4/3266; Lots 1 and 2 in City Block 5/3257; Lots 1, 2, 17 and 18 in City Block 14/3472; Lots 17 and 18 in City Block 13/3464; Lots 1 through 4 in City Block 7/3255; Lots 1 and 2 in City Block 8/3254, containing approximately 7.82 acres.

**TRACT IV(b)**

BEING all of Lots 1 through 4 in City Block 6/3256, containing approximately 0.92 acres.



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GIS\_Approved

**TRACT IV(c)**

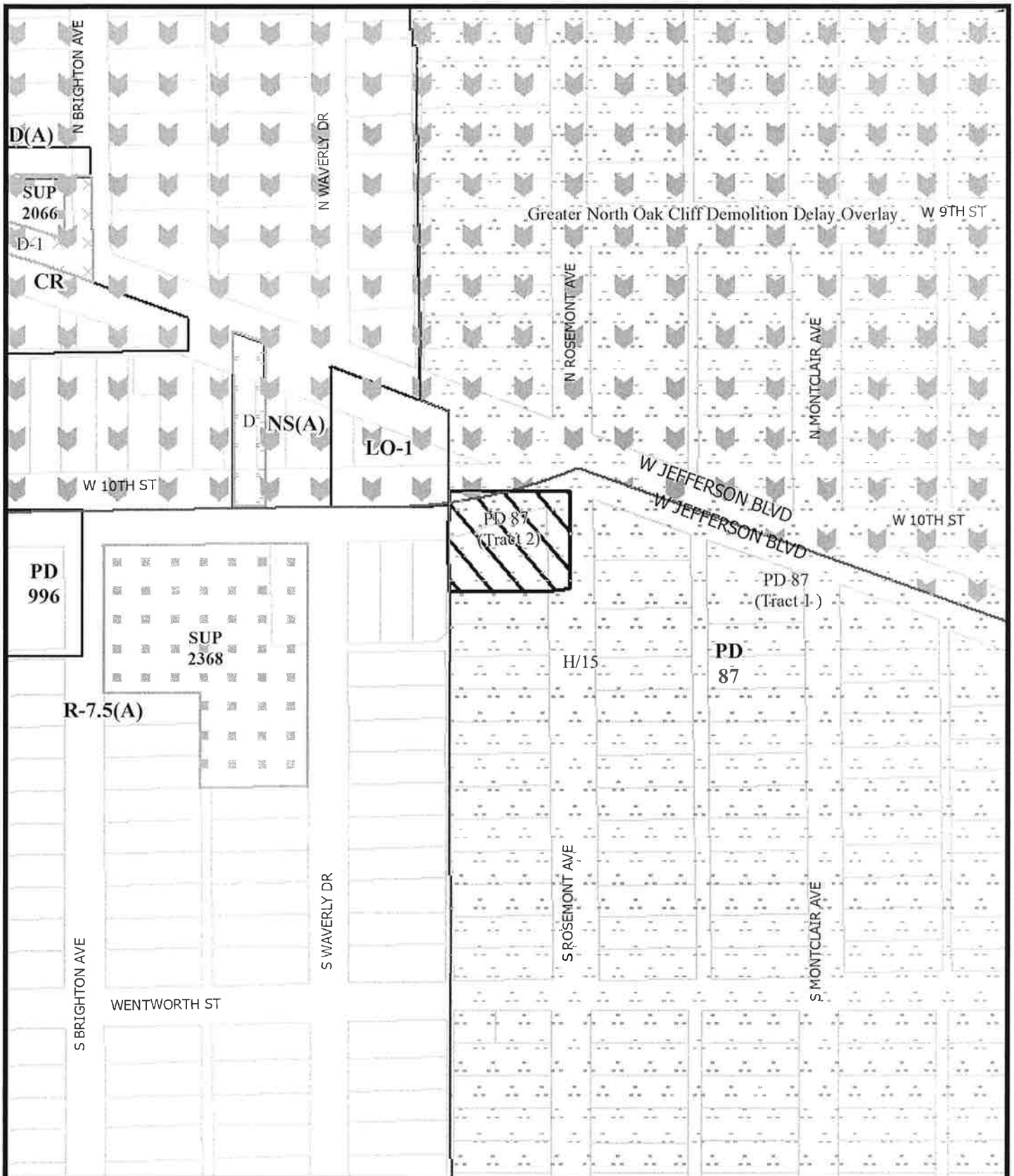
BEING all of Lots 3 and 4 in City Block 5/3257, containing approximately 0.43 acres.

**TRACT IV(d)**

BEING all of (platted) Lot 9 in City Block 1/3318 and a portion of the west half of Lot 1A in City Block 2/3268, containing approximately 2.477 acres.

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1:2,400

## ZONING MAP

Case no: **Z212-126**

Date: **1/12/2022**





## PROOF OF PUBLICATION – LEGAL ADVERTISING

The legal advertisement required for the noted ordinance was published in the Dallas Morning News, the official newspaper of the city, as required by law, and the Dallas City Charter, Chapter XVIII, Section 7.

DATE ADOPTED BY CITY COUNCIL APR 27 2022

ORDINANCE NUMBER 32189

DATE PUBLISHED APR 30 2022

ATTESTED BY:

**TASK FORCE  
RECOMMENDATION(S)**



**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: James Scott  
PROPERTY ADDRESS: 1700 West 10<sup>th</sup> St  
DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Agenda Item #7 - Recommendation / comments/ basis:

- TF is highly enthusiastic about the restoration and occupation of this structure.
- TF discussed fence / gate locations in relation to the original corner service station having neighborhood facing access. It appears that the site plan is vehicularly oriented to 10th street and that there should be a gentle pedestrian gate access on Rosemont.
- Sconces are modern . reselect similar modest half rounds without LED banding
- Berms and Turf were discussed at length. Berms were considered as both play elements such as gentle play elements and also topographic changes to landscaping. Traditional separation berms are not allowed in Tract 2.
- We would like more information/ specification on the turf, height of topographic changes / play hills in the patio area.
- Fiberglass cladding should be removed from wood windows.

Task force members present:

☒ Alfredo Pena

☒ Christine Escobedo

☐ VACANT (WH Alt)

☒ Mia Ovcina

☒ Nicholas Dean

☐ Derwin Hall

☒ Michelle Walker

☒ Troy Sims (LC Resident)

☐ VACANT (LC Alt)

Ex Officio staff members present

☒ Scott Bellen

☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

FRED P.  
NICK D.  
ALL  
NONE

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: James Scott

Mailing Address : 115 W Greenbriar Ln

City, State and Zip Code: Dallas, TX 75208

Daytime Phone: 214.746.2705 Alternate Phone: 405.473.3170

Relationship of Applicant to Owner : Owner's Architect

PROPERTY ADDRESS: 1706 W 10th St, Dallas, TX 75208

Historic District: Winnetka Heights

### OFFICE USE ONLY

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

### PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached." Conversion of a historic service station to a pizza restaurant. We are attempting to restore the exterior to close to it's original condition.

There is a newer, non-original addition on the southeastern side of the building that's built out of CMU that we are proposing to be painted in such a way that it's clearly differentiated from the original building. The interior of the building will be mostly dining space with the kitchen and restrooms located in the CMU addition.

Signature of Applicant: [Signature] Date: 06.02.2022

Signature of Owner: [Signature] Date: 6/2/22  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_Yes \_\_\_No

Office of Historic Preservation

Date

## APPLICATION INSTRUCTIONS

**APPLICATIONS FOR NEW CONSTRUCTION AND MAJOR REMODELS MUST BE REVIEWED WITH A PRESERVATION PLANNER PRIOR TO THE SUBMITTAL DATE**

### DO

- Contact a Preservation Planner in advance of the deadline to discuss your application and requirements.
- Submit items on the checklist WITH your application. Incomplete applications are not accepted.
- All applications and plans may be submitted via email (preferred).
- Submit scaled and fully dimensioned drawings in size 11"x17" (preferable) or larger. Large plans should be folded, not rolled.
- Submit digital copies of images, photographs, and plans. Contact staff if your file(s) are over 10 MB.
- Review the FAQ on our website for more details. You can find us by visiting [dallascityhall.com](http://dallascityhall.com) and searching for "historic preservation."

### DO NOT

- Do not write "match existing" on your application or plans without providing more detail. Exact specifications and details must be submitted for every request, even if you believe it to be Routine Maintenance.
- Do not submit an application cover without the required supporting documents.
- Do not list work on your plans that is not listed on the application cover. Your proposed work on the cover should include a complete list of all work to be done.

**APPLICATIONS RECEIVED AFTER 12:00 PM  
ON THE SUBMITTAL DEADLINE OR THAT ARE  
INCOMPLETE WILL NOT BE ADDED TO THE  
LANDMARK AGENDA**

Please provide your **email** address to receive updates regarding your application and meeting dates:

[jscott@dsgn.com](mailto:jscott@dsgn.com)



**SUBMITTAL CRITERIA CHECKLIST**  
*(Customer use only, do not submit)*

The documentation listed below must be submitted with the application for a Certificate of Appropriateness. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

**ALL APPLICATIONS**

- ☒ Images of front façade of the structure and all sides where work is proposed.

**REMODELING, ADDITIONS, AND NEW CONSTRUCTION**

- ☒ Applications for new construction and major remodels must be reviewed by the respective Staff member for the district prior to the submittal deadline.
- ☒ Scaled and dimensioned elevation and plan drawings (see Note 1) indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures (see Note 2).
- ☒ Site plan showing: 1) dimensions of lot, 2) location and dimensions of the structure and addition (if applicable), and 3) location of all exterior, ground and roof mounted equipment.
- ☒ Official site survey.
- ☒ Specifications/cut-sheets/images for all proposed exterior materials including siding, doors, windows, lighting, and roof shingles. (See Note 3).
- ☒ Paint chips or specifications (brand, color name) and placement on the structure.
- ☐ NA New Construction Form required for proposed main and accessory structures.

*Note: All submitted information should also be emailed as a PDF to the respective Staff contact. Do not send large files (over 10 MB) without contacting staff first.*

**WINDOWS AND DOORS**

**REPAIR ONLY**

- ☒ Images of window(s)/door(s) that illustrate existing condition.
- ☒ Detailed description of repair work needed.

**REPLACEMENT**

- ☒ Window survey – contact respective Staff member for survey form.
- ☒ Images of window(s)/door(s) that illustrate existing condition
- ☒ Specification/cut-sheet/image for proposed replacement window(s)/door(s).

### **PAINTING, STUCCO, REPOINTING**

- ☒ Image of front façade of house and all areas/facades where painting, stucco, or repointing is proposed.
- ☒ Paint chips or specifications (brand, color name and number) with proposed location on structure indicated (body, trim, accent).
- ☐ NA If applicable, specifications including color, lime content ratio, cement content ratio, aggregate color, aggregate content ratio, and joint tooling.

### **SIDING, TRIM, AND SKIRTING REPAIR OR REPLACEMENT**

- ☒ Image(s) of all facades where work is proposed, including detail images that illustrate existing conditions.
- ☒ Percentage estimate of how much material is proposed for replacement (i.e. 15%, less than 20%, etc)
- ☐ NA Specifications for replacement siding, trim, or skirting material.

### **FOUNDATION REPAIR**

- ☐ NA Image of structure indicating existing skirting.
- ☐ NA Engineer's report including structural drawing and detail of proposed work.

### **ROOFING**

- ☒ Image of existing roof shingle indicating existing material and color.
- ☒ Shingle specifications (material, brand, color name).

### **GUTTERS**

- ☒ Specifications/cut-sheets/images for proposed gutters/downspouts.
- ☒ Site plan showing where on structure gutters/downspouts are proposed.

### **FENCES, HARDSCAPING, AND LANDSCAPING**

- ☒ Site plan showing proposed location of fence, hardscaping, landscaping.
- ☒ Photographs of the area(s) where work is proposed.
- ☒ Fences - image of proposed fence with description (material, height).
- ☒ Hardscaping – description of materials proposed and images if something other than broom finish concrete.
- ☒ Landscaping – plant species and images.

*Note: Seasonal planting in existing landscaping beds that does not include new shrubs or trees does not require a Certificate of Appropriateness.*



## **RELOCATION OF A STRUCTURE**

- |                             |  |
|-----------------------------|--|
| <input type="checkbox"/> NA | Photograph of structure on current site.   |
| <input type="checkbox"/> NA | Reason for request to move building.   |
| <input type="checkbox"/> NA | Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2).  |
| <input type="checkbox"/> NA | Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street. |
| <input type="checkbox"/> NA | Images of structures within vicinity of new site.  |

## **SIGNS**

- |                                       |   |
|---------------------------------------|---|
| <input checked="" type="checkbox"/> X | Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan). |
| <input checked="" type="checkbox"/> X | Image and specifications for proposed sign  |

## **DEMOLITION**

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact Staff for the Certificate of Demolition application or visit our website to download the application.

### **GENERAL NOTES:**

- |         |   |
|---------|---|
| Note 1: | Minimum scale of $1/8" = 1'0"$ on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at $1/2" = 1'$ . |
| Note 2: | When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.   |
| Note 3: | When material descriptions are required, materials to be used must be designated on the elevation drawings.   |

COA— \_\_\_\_\_

Applicant Name: James ScottDate Received: 06.02.2022

Received by: \_\_\_\_\_

## Window Survey Form

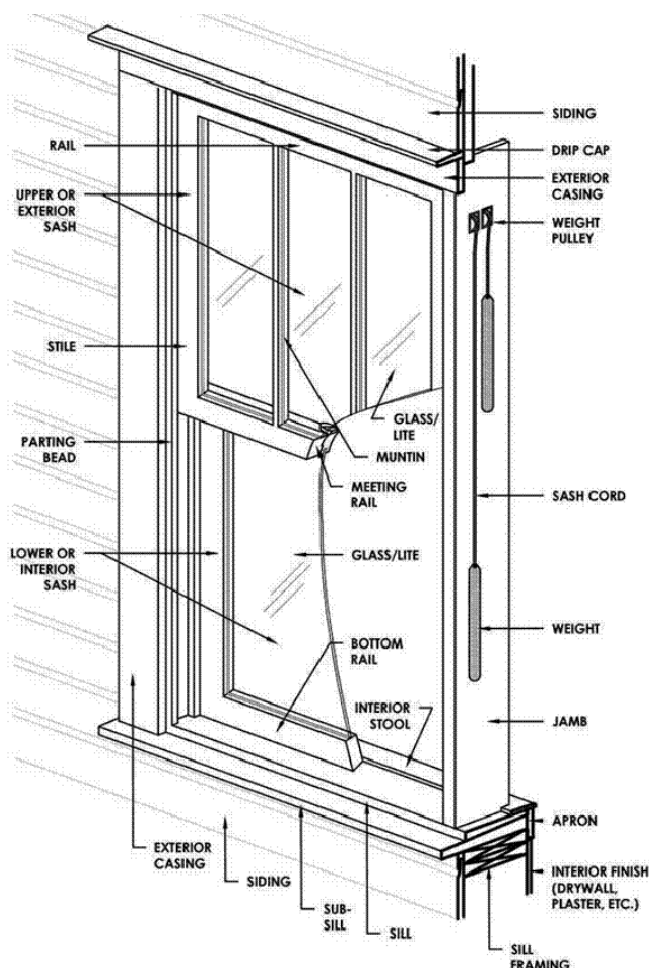
Have	Basic Requirements
<input checked="" type="checkbox"/>	1. Photographs or drawing of each elevation of the structure, with all the window openings on each elevation numbered.
<input checked="" type="checkbox"/>	2. Photographs of each window opening <i>numbered</i> corresponding to the photographs or drawings from #1.
<input checked="" type="checkbox"/>	3. Condition Evaluation of each window (see reverse).
<input checked="" type="checkbox"/>	4. Proposed window design (casement, fixed, etc.) , pattern (3/1, 6/6, 1/1, etc.) , materials (wood, vinyl, clad, etc.), etc. Specify if different for certain openings.
<input checked="" type="checkbox"/>	5. Proposed window product brochure/information that includes the company's depiction or photograph (not wind load information) of actual windows. We need to know what they look like on the exterior.
<input type="checkbox"/>	6. Other _____

**ALL window openings** on the structure should be assigned a ***number*** and ***described*** under the same number on the back of this sheet. Even those not being replaced should be assigned a number, however a photograph of those windows is not necessary, note on the second page that you aren't looking to replace that window number.

Windows in ***pairs or groupings*** should be assigned **separate** numbers. Windows in dormers and small fixed windows *should* also be included, but *not* door sidelights or transoms associated with a door.

On the second page, describe the issues and conditions of *each* window in detail, referring to the specific parts of the window (see diagram to the left). The photographs can be from the interior, exterior, or both. *Additional close-up photographs*, showing evidence of window condition, **MUST** be provided to better document problem areas.

The Planning and Development Department's evaluation and recommendation is based on deterioration/damage to the window unit, and associated trim. Broken glass and windows that are painted shut are not necessarily grounds for approving replacement.



Total Number of Window Openings on the Structure	13
Number of Historic Windows on the Structure	2
Number of Existing Replacement/Non-Historic Windows	2
Number of Windows Completely Missing	7
Total Number of Windows to be Replaced	9



COA—  
Applicant Name: James Scott

Date Received: 06.02.2022  
Received by:

## Window Survey Form—Window Condition Report

Window #	Window Condition
1	Non-existent / previously demolished
2	Non-existent / previously demolished
3	Existing, but non-original aluminum window to be replaced
4	Existing aluminum window w/ operable slider to be replaced
5	Existing wood window w/ operable lites at top of window to remain. One lite is missing and is to be replaced with replica of existing.
6	Existing wood window w/ operable lites at top of window to remain
7	New window to mimic windows 5/6 without operable lites
8	New interior window
9	Non-existent / previously demolished
10	Non-existent / previously demolished
11	Non-existent / previously demolished
12	Non-existent / previously demolished
13	Non-existent / previously demolished
14	
15	
16	
17	
18	
19	
20	

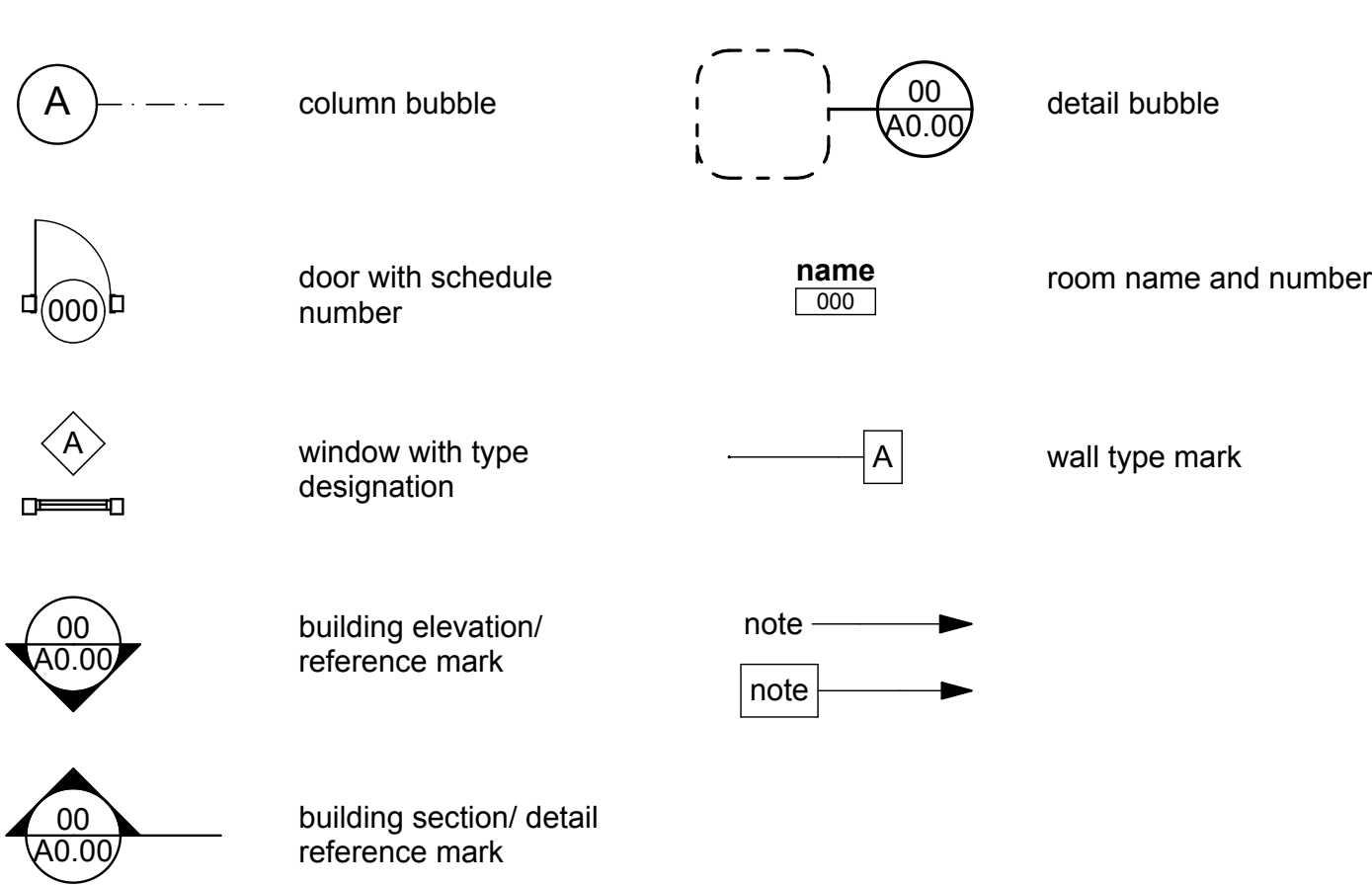
Window #	Window Condition
21	
22	
23	
24	
25	
26	
27	
28	
29	
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31	
32	
33	
34	
35	
36	
37	
38	
39	
40	



ABBREVIATIONS & SYMBOLS

abv	above	ej	expansion joint	lh	left hand	rh	right hand
aff	above finish floor	exp	exposed	lt	light	row	right of way
a/c	air conditioning	ext	exterior	mfr	manufacture(r)	rd	roof drain
alt	alternate	fin	finish	mas	masonry	rm	room
alum	aluminum	ff	finish floor	mo	masonry opening	ro	rough opening
bm	bench mark	fec	fire extinguisher	max	maximum	sect	schedule
btw	between	cab	fire retardant or	mech	mechanical	sht	sheet
blk	block	fr	fire rated	mtl	metal	sim	similar
blkg	blocking	fpl	fireplace	min	minimum	sl	slope
blgd	building	fig	flashing	mir	mirror	spec	specification(s)
bo	bottom of	flr	floor (ing)	misc	miscellaneous	sq	square
bom	bottom of masonry	fd	floor drain	nom	nominal	sld	standard
cab	cabinet	fluor	fluorescent	nic	not in contract	stl	steel
cpt	carpet	ftg	footing	nts	not to scale	sto	storage
clg	ceiling	fv	field verify	no	number	struc	structural
cl	center line	ga	gage, gauge	oc	on center(s)	susp	suspended
cir	circle	galv	galvanized	opng	opening	tel	telephone
clr	clear (ance)	gi	galvanized iron	opp	opposite	thk	thick(ness)
col	column	gc	general contractor	oph	opposite hand	thresh	threshold
conc	concrete	gl	glass, glazing	od	overflow drain	t&g	tongue and grove
cmu	concrete masonry unit	gyp bd	gypsum board	oh	overhead	to	top of
const	construction	hbd	hardboard	pr	pair	tos	top of steel
cont	continue (ous)	hbw	hardware	pkg	parking	toc	top of curb
cj	control joint	hwd	hardwood	pvmnt	pavement	toj	top of joist
dtl	detail	hdr	header	plas lam	plastic laminate	top	top of paving
diag	diagonal	htg	heating	pl	plate	typ	typical
diam	diameter	htvac	heating/ventilation/A/C	plwd	plywood	ui	Underwriter's Laboratories
dim	dimension	ht	height	pvc	polyvinyl chloride	uno	unless noted otherwise
dh	double hung	hc	hollow core	provide	furnish & install	var	varies
ds	downspout	hm	hollow metal	psf	pounds per square foot	vert	vertical
d	drawer	hb	hose bibb	psi	pounds per square inch	wh	water heater
dwg	drawing	insul	insulate (d)	qty	quantity	wc	water closet
df	drinking fountain	int	interior	rad	radius	wdw	window
ea	each	int	interior	rd	roof drain	wo	without
elec	electric (al)	jt	joint	ref	reference	wd	wood
el	elevation	jst	joist	refr	refrigerator		
elev	elevator	lam	laminated(d)	reqd	required		
eq	equal	lav	lavatory	ra	return air		
exh	exhaust			rev	revision(s), revised		

CODE ANALYSIS



PROJECT DESCRIPTION

Conversion of a historic service station / current laundromat and taqueria to a pizza restaurant. The intent is to restore most of the exterior finishes to near their original condition.

Total area: 1 ! ! ! 2,090 sf  
!

CODE ANALYSIS

Applicable Codes / Standards:

- International Building Code w/ City of Dallas Amendments 2015
- International Mechanical Code w/ City of Dallas Amendments 2015
- International Plumbing Code w/ City of Dallas Amendments 2015
- International Energy Code w/ City of Dallas Amendments 2015
- National Electrical Code w/ City of Dallas Amendments 2017
- International Fire Code w/ City of Dallas Amendments 2015
- Texas Accessibility Standards

Occupancy: !  
Assembly! ! ! A-2 - Restaurant

Zoning: ! ! ! PD 87

Construction Type: ! ! ! Type III-A

Site Conditions:

Refer to Civil Drawings for relevant site data, including information on applicable zoning, code, parking, and landscape requirements.

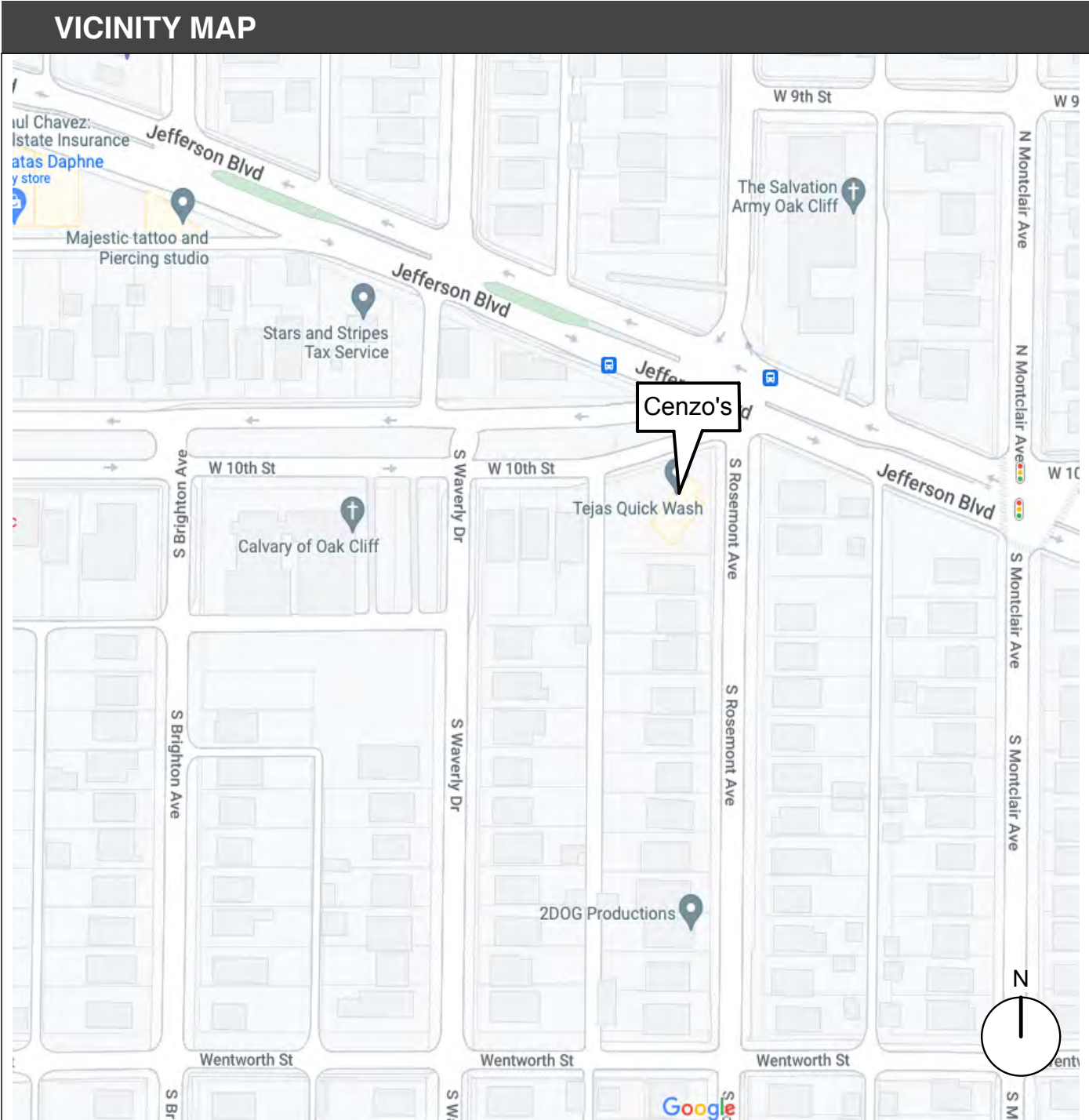
Maximum Allowable Height: ! ! 40'-0"

Proposed Height: ! ! 24'-10" (existing)

Cenzo's

1700 W 10th St.  
Dallas, TX 75208

Landmark Submission



GENERAL NOTES

- ! Exterior dimensions are to face of material unless noted otherwise.
- ! Interior dimensions are to face of gyp. bd. unless noted otherwise.
- ! All dimensions are to be field verified for correctness. If any deviations or discrepancies occur, contact the architect for verification immediately.
- ! Written dimensions on these drawings shall take precedence over scaled dimensions. Do not scale drawings.
- ! The general contractor and all subcontractors shall carefully review the drawings, specifications, details and notes for information regarding the scope of work intended.
- ! The general contractor shall pay for building permits. GC is responsible for paying all trade permits and fees before starting the work.
- ! All work relating to this construction shall comply with the U.S. Department of Labor, occupational safety and health standards, and all related local building codes and ordinances.
- ! The general contractor shall coordinate door operation and locking hardware with the architect prior to installation.
- ! Neatly drill/cut all openings required for conduit, receptacles, and wiring in casework assemblies.
- ! The general contractor is responsible for verifying that all specified UL Design requirements are met.

SHEET INDEX

Civil	
C.01	Site & Paving Plan
C.02	Grading Plan
C.03	Utility Plan
Landscape	
L1.00	Landscape Plan
Architectural	
A0.00	Cover Sheet
A1.02	Site Plan
A2.01	Demolition Floor Plan
A2.02	Floor Plan
A2.03	Roof Plan
A3.01	Demo Elevations
A3.02	Demo Elevations
A3.03	Exterior Elevations
A3.04	Exterior Elevations
A4.01	Building Sections
A7.01	RCP and Power and Data Plans
Mechanical	
MEP1.00	Symbols Legend MEP
MEP1.01	Site Plan - MEP
M2.01	Floor Plans - Mechanical
M3.00	Schedules, Details, & Riser Diagrams - Mechanical
Electrical	
E2.01	Floor Plans - Power
E3.00	Schedules, Details, & Riser Diagrams - Electrical
Plumbing	
P1.01	Floor Plans - Plumbing Underground
P2.01	Floor Plans - Plumbing
P3.01	Schedules, Details, & Riser Diagrams - Plumbing

PERSPECTIVE VIEW



OUTLINE SPECIFICATIONS

Cenzo's

Dallas, TX  
Project 2105.00

Architect

DSGN Associates, Inc.  
115 West Greenbriar Lane  
Dallas, TX 75208 USA  
tel +1 214 748 7712

Client

Joseph Hightower Co., LLC

Civil Engineer

Urban Structure  
8140 Walnut Hill Ln, Ste 905  
Dallas, TX 75231

MEP Consultant

Basharkhah Engineering, Inc.  
13101 Preston Rd, Ste 601  
Dallas, TX 75240

Landscape Architect

Kevin Sloan Studio  
1218 W Davis St  
Dallas, TX 75208

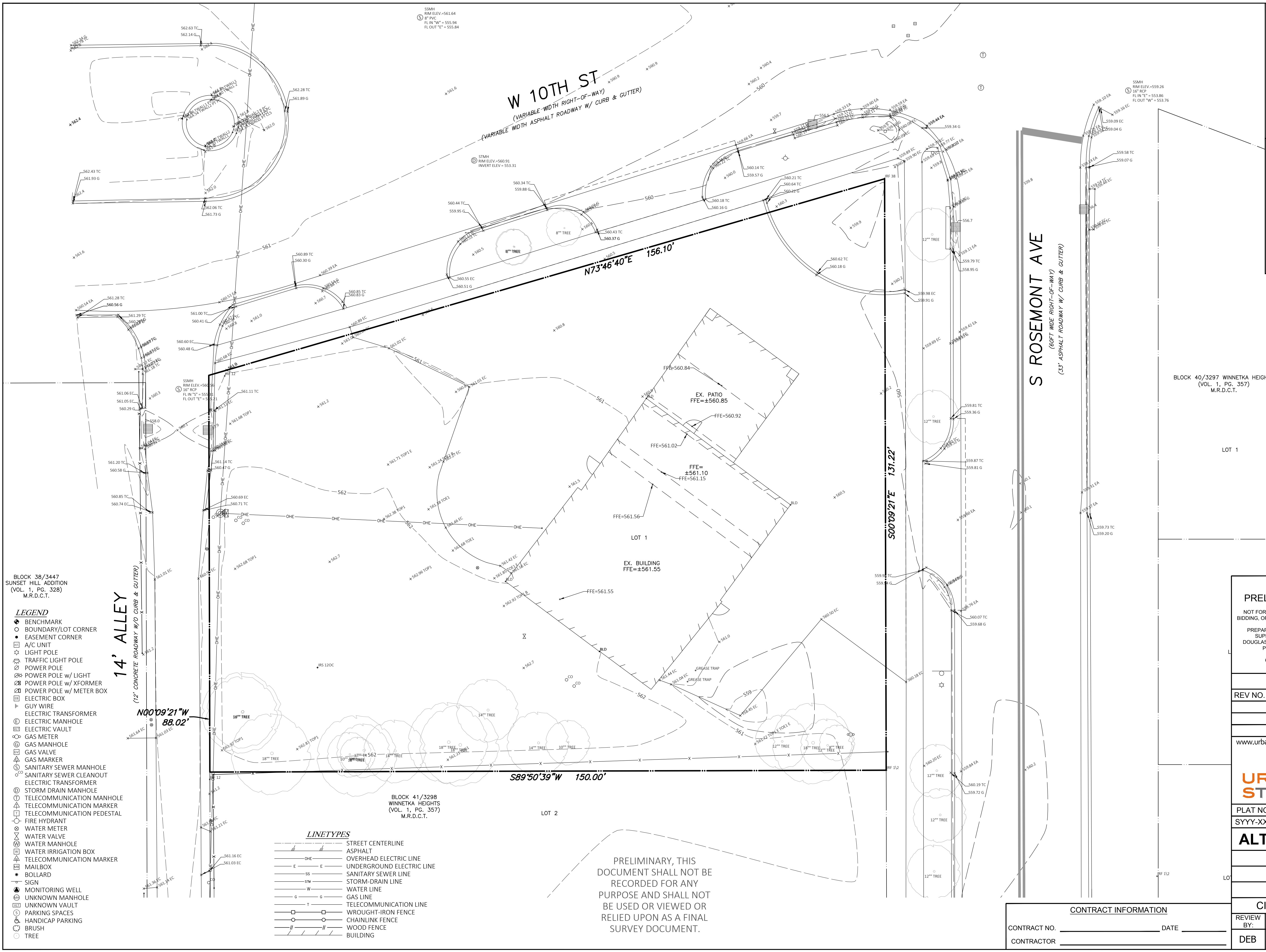
Not for regulatory approval,  
permitting, or construction.  
Issued under the authority of  
Robert L. Meckfessel, FAIA.

Issue Date/ Rev

23 May 22!	Schematic Design
02 Jun 22!	Landmark Submission



FILE: C:\Users\jmc\OneDrive\Documents\ALTA\ALTA.dwg  
FILE LOCATION: C:\Users\jmc\OneDrive\Documents\ALTA\ALTA.dwg  
LAST MODIFIED BY: DEVERITT  
PLOTTED ON: 6/14/2022 11:27 AM



GRAPHIC SCALE

( IN FEET )

1 inch = 10 ft.

- ABBREVIATIONS**
- INST. NO. INSTRUMENT NUMBER
  - M.R.D.C.T. MAP RECORDS, DALLAS COUNTY, TEXAS
  - D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS
  - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
  - CAB. CABINET
  - VOL. VOLUME
  - PG. PAGE
  - INST. INSTRUMENT
  - NO. NUMBER
  - (XX° XX' XX") RECORD BEARING
  - (XX.XX) RECORD DISTANCE
  - P.O.B. POINT OF BEGINNING
  - P.O.C. POINT OF COMMENCING
  - (C.M.) CONTROLLING MONUMENT
  - ADS 3-1/4" ALUMINUM DISC STAMPED
  - "URBAN STRUCTURE + SURVEY, PLLC" SET
  - IRS IRON ROD SET w/ ORANGE CAP STAMPED
  - "URBAN STRUCTURE + SURVEY, PLLC"
  - IRF IRON ROD FOUND
  - IPF IRON PIPE FOUND
  - IRFC IRON ROD FOUND CAPPED
  - ESMT EASEMENT
  - FFE FINISHED FLOOR ELEVATION
  - ELEV. ELEVATION
  - XXX.X SPOT ELEVATION
  - NG NATURAL GROUND
  - TC TOP CURB
  - G GUTTER
  - FL FLOW LINE

BLOCK 38/3447  
SUNSET HILL ADDITION  
(VOL. 1, PG. 328)  
M.R.D.C.T.

- LEGEND**
- ◆ BENCHMARK
  - BOUNDARY/LOT CORNER
  - EASEMENT CORNER
  - A/C UNIT
  - ☆ LIGHT POLE
  - ⊕ TRAFFIC LIGHT POLE
  - ⊖ POWER POLE
  - ⊗ POWER POLE w/ LIGHT
  - ⊘ POWER POLE w/ XFORMER
  - ⊙ POWER POLE w/ METER BOX
  - ⊚ ELECTRIC BOX
  - ▽ GUY WIRE
  - ⊕ ELECTRIC TRANSFORMER
  - ⊖ ELECTRIC MANHOLE
  - ⊗ ELECTRIC VAULT
  - ⊘ GAS METER
  - ⊙ GAS MANHOLE
  - ⊚ GAS VALVE
  - ⊛ GAS MARKER
  - ⊜ SANITARY SEWER MANHOLE
  - ⊝ SANITARY SEWER CLEANOUT
  - ⊞ ELECTRIC TRANSFORMER
  - ⊟ STORM DRAIN MANHOLE
  - ⊠ TELECOMMUNICATION MANHOLE
  - ⊡ TELECOMMUNICATION MARKER
  - ⊢ TELECOMMUNICATION MARKER
  - ⊣ FIRE HYDRANT
  - ⊤ WATER METER
  - ⊥ WATER VALVE
  - ⊦ WATER MANHOLE
  - ⊧ WATER IRRIGATION BOX
  - ⊨ TELECOMMUNICATION MARKER
  - ⊩ MAILBOX
  - ⊪ BOLLARD
  - ⊫ SIGN
  - ⊬ MONITORING WELL
  - ⊭ UNKNOWN MANHOLE
  - ⊮ UNKNOWN VAULT
  - ⊯ PARKING SPACES
  - ⊰ HANDICAP PARKING
  - ⊱ BRUSH
  - TREE

- LINETYPES**
- STREET CENTERLINE
  - ASPHALT
  - OHE OVERHEAD ELECTRIC LINE
  - E UNDERGROUND ELECTRIC LINE
  - SS SANITARY SEWER LINE
  - STM STORM DRAIN LINE
  - W WATER LINE
  - G GAS LINE
  - T TELECOMMUNICATION LINE
  - WROUGHT-IRON FENCE
  - CHAINLINK FENCE
  - WOOD FENCE
  - BUILDING

PRELIMINARY, THIS  
DOCUMENT SHALL NOT BE  
USED OR VIEWED OR  
RELIED UPON AS A FINAL  
SURVEY DOCUMENT.

BLOCK 40/3297 WINNETKA HEIGHTS  
(VOL. 1, PG. 357)  
M.R.D.C.T.

LOT 1

**PRELIMINARY**

NOT FOR CONSTRUCTION,  
BIDDING, OR PERMIT PURPOSE.

PREPARED UNDER THE  
SUPERVISION OF  
DOUGLAS E. BARRILLEAUX  
P.E.# 97518  
ON  
6/14/2022

BENCHMARK DATA:

BM 3  
ELEV.: 560.34'

BM 4  
ELEV.: 567.39'

**REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY

www.urbanstruct.com

**URBAN  
STRUCTURE**

8140 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
Firm Registration #F-22252

TEL: 214.295.5775

PLAT NO.	BLDG PERMIT NO.	DEV ENGINEERING TRACKING NOS.
YYYY-XXX	YYYYMMDDXXX	WW19-XXXX DP19-XXXX

**ALTA/NSPS LAND TITLE SURVEY**

**WINNETKA HEIGHTS**

**LOT 1, BLOCK 41/3298**

**DEVELOPMENT SERVICES**

**CITY OF DALLAS, DALLAS COUNTY, TEXAS**

REVIEW BY:	DRAWN BY:	DATE	FILE	NUMBER	SHEET
DEB	CMT	Jun. 14, 2022	311T	XXXX	EX. A

**CONTRACT INFORMATION**

CONTRACT NO. \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR \_\_\_\_\_

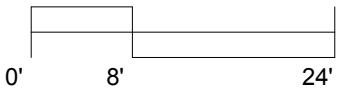
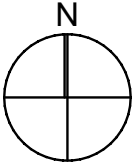
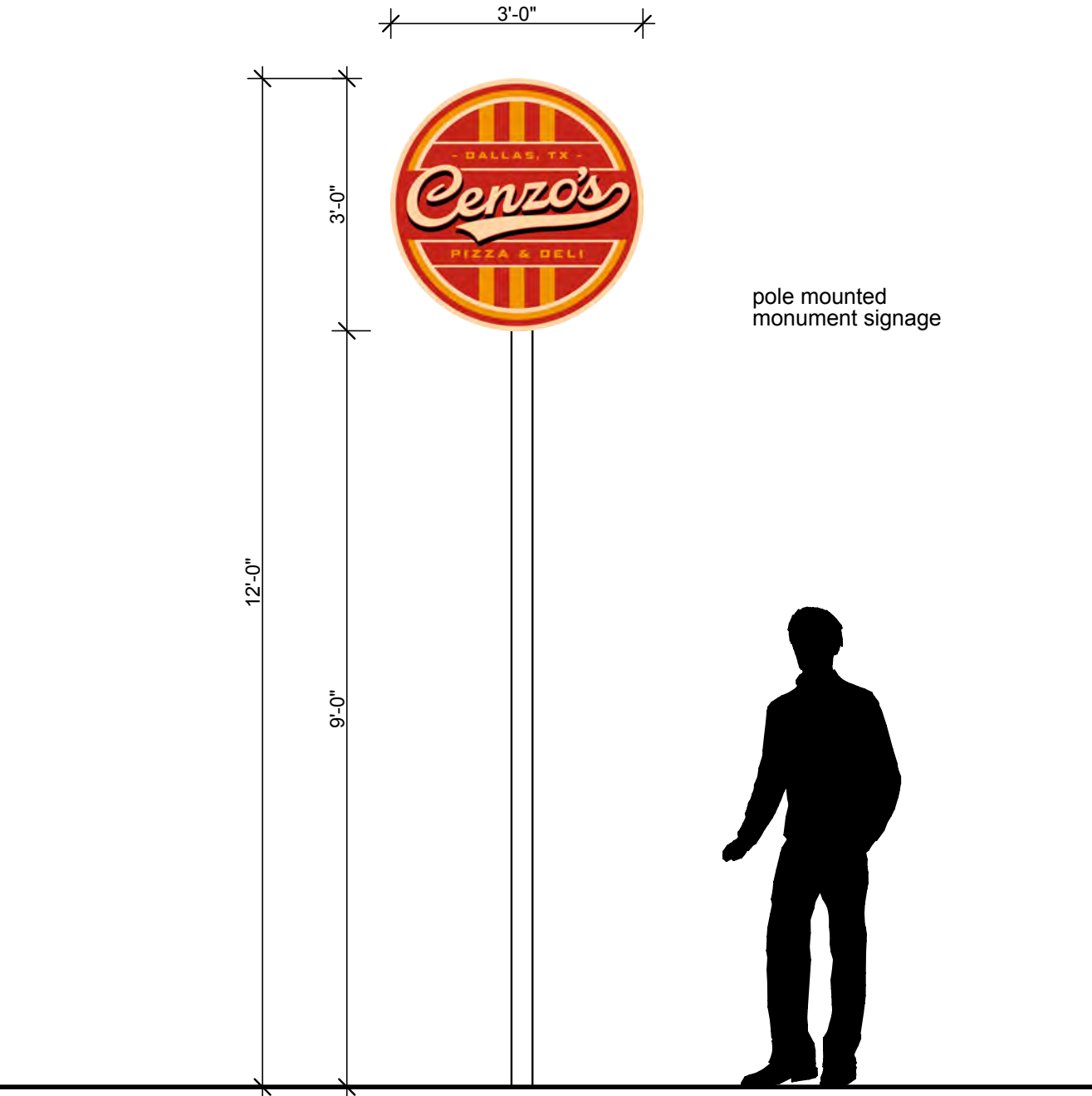
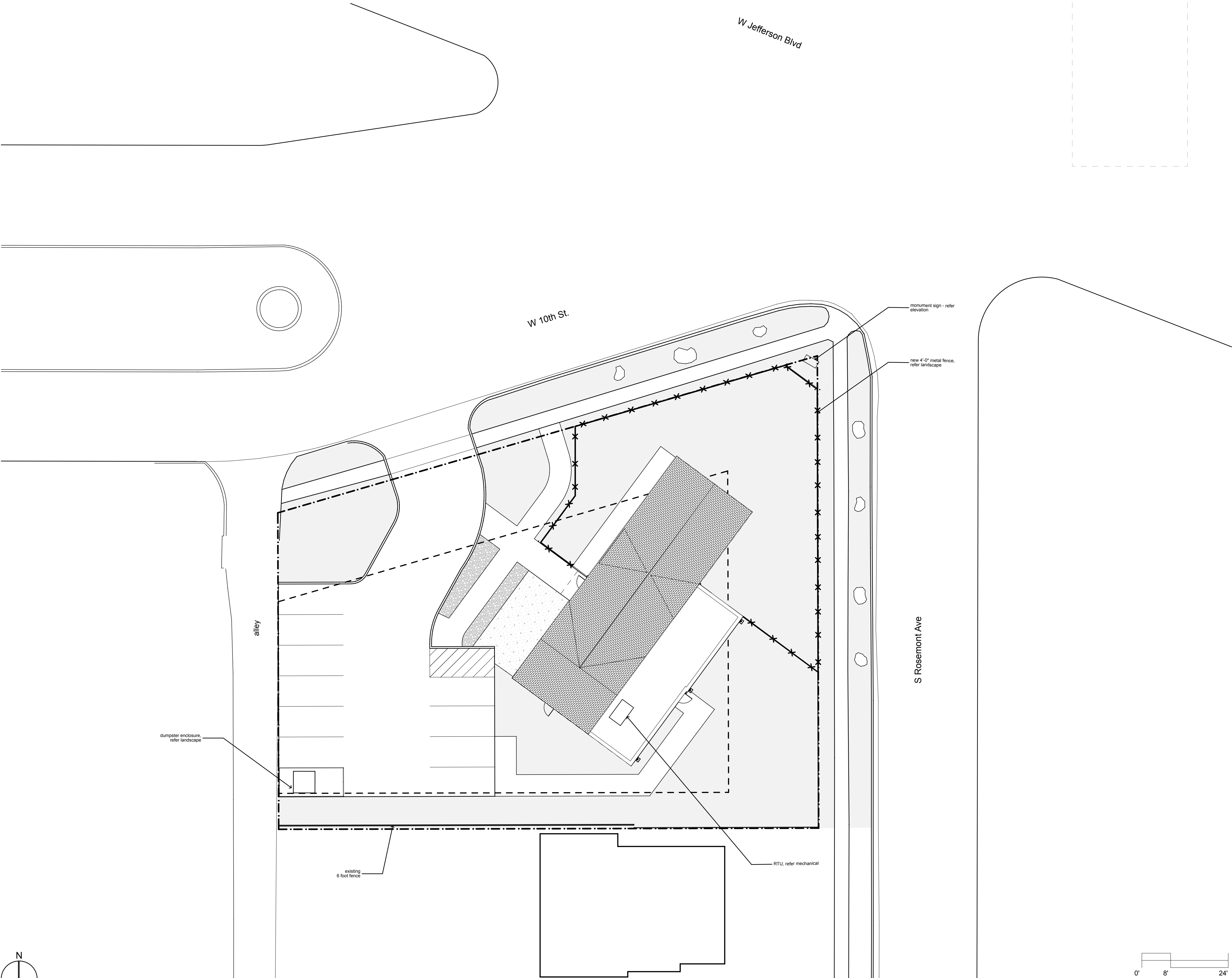


SITE PLAN LEGEND

- property line
- required setback
- proposed wrought iron fence
- ground cover
- proposed hardscape
- proposed gravel bed

SITE NOTES

- 1. Refer to Landscape plans for planting and tree mitigation.
- 2. Refer to Civil drawings for paving details.
- 3.Refer to MEP for site lighting.



**Cenzo's**  
Dallas, TX  
Project 2105.00

**Architect**  
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tel +1 214 748 7712

**Client**  
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**Civil Engineer**  
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Dallas, TX 75231

**MEP Consultant**  
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13101 Preston Rd, Ste 601  
Dallas, TX 75240

**Landscape Architect**  
Kevin Sloan Studio  
1218 W Davis St  
Dallas, TX 75208

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permitting, or construction.  
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Issue Date/ Rev

23 May 22!	Schematic Design
02 Jun 22!	Landmark Submission

Site Plan

**A1.02**

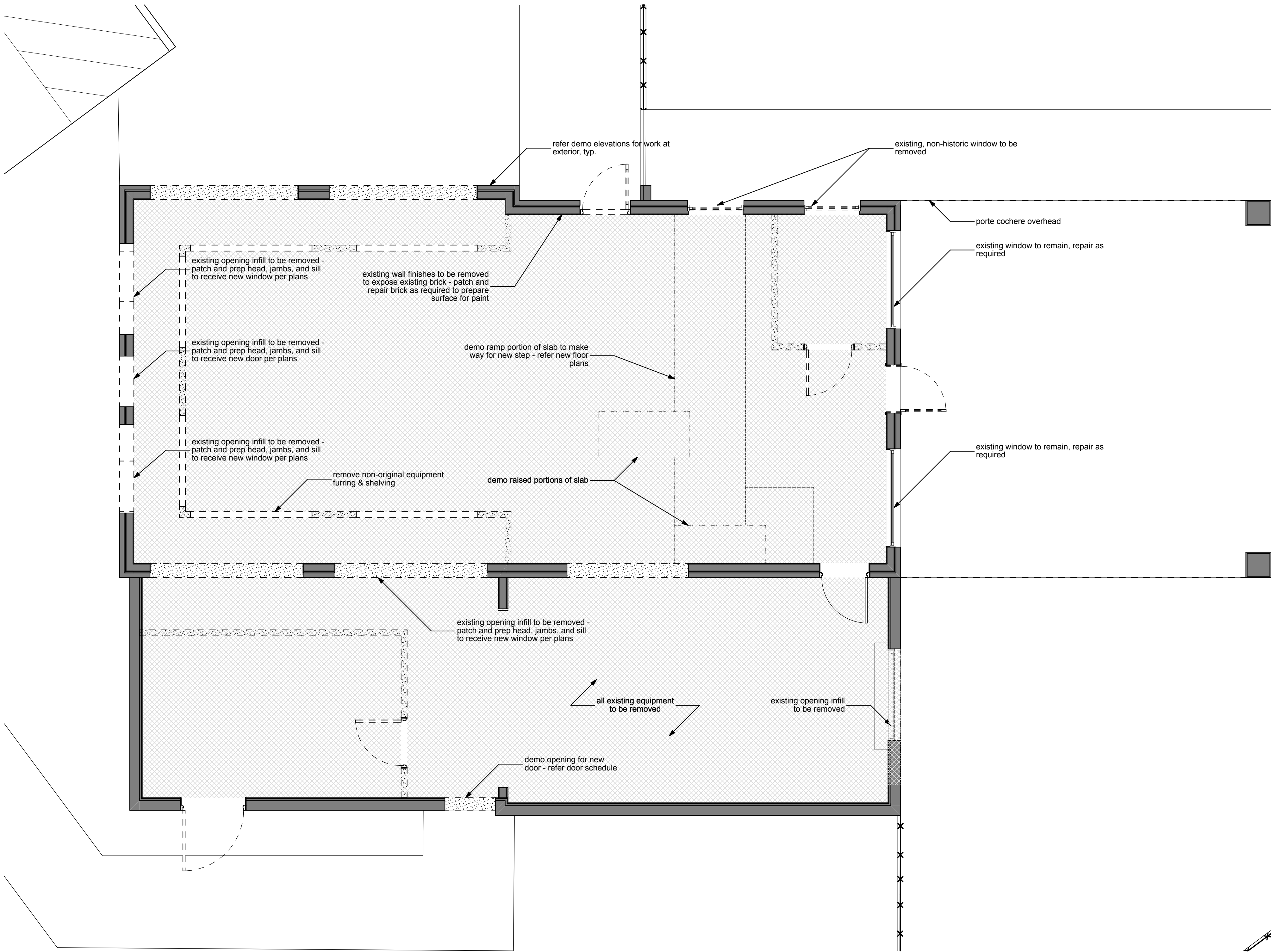


DEMOLITION PLAN LEGEND

- existing wall to be demolished
- existing to remain
- floor, wall, and ceiling finishes to be removed within area indicated
- existing finishes to remain, patch and repair as req'd to restore to original condition
- floor finishes to be removed within area indicated
- out of scope

GENERAL DEMOLITION NOTES

- These drawings have been developed from existing drawings and field observations / measurements and may not reflect actual field conditions. G.C. to verify drawings and field conditions, prior to proceeding with construction, and notify the architect immediately if any discrepancies occur.
- Remove construction as indicated. Typical demolition includes finishes and systems contained within unless noted otherwise. After demolition, patch and repair all existing surfaces to receive new finishes per finish schedule, in accordance with original fire protection and structural requirements.
- Prepare existing surfaces to receive new finishes anywhere new finishes will be installed.
- Repair any finishes that are to remain, if damaged during demolition.
- See MEP drawings for demolition of any mechanical, electrical, or plumbing systems.
- Do not cut any structural elements without first consulting with the structural engineer or the structural engineering drawings.
- Building is to remain water-tight at all times.
- Gently clean all exterior finishes to restore to original condition.



01

Demolition Plan - Ground Level  
SCALE: 1/4" = 1'-0"



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**Demolition Floor Plan**

**A2.01**

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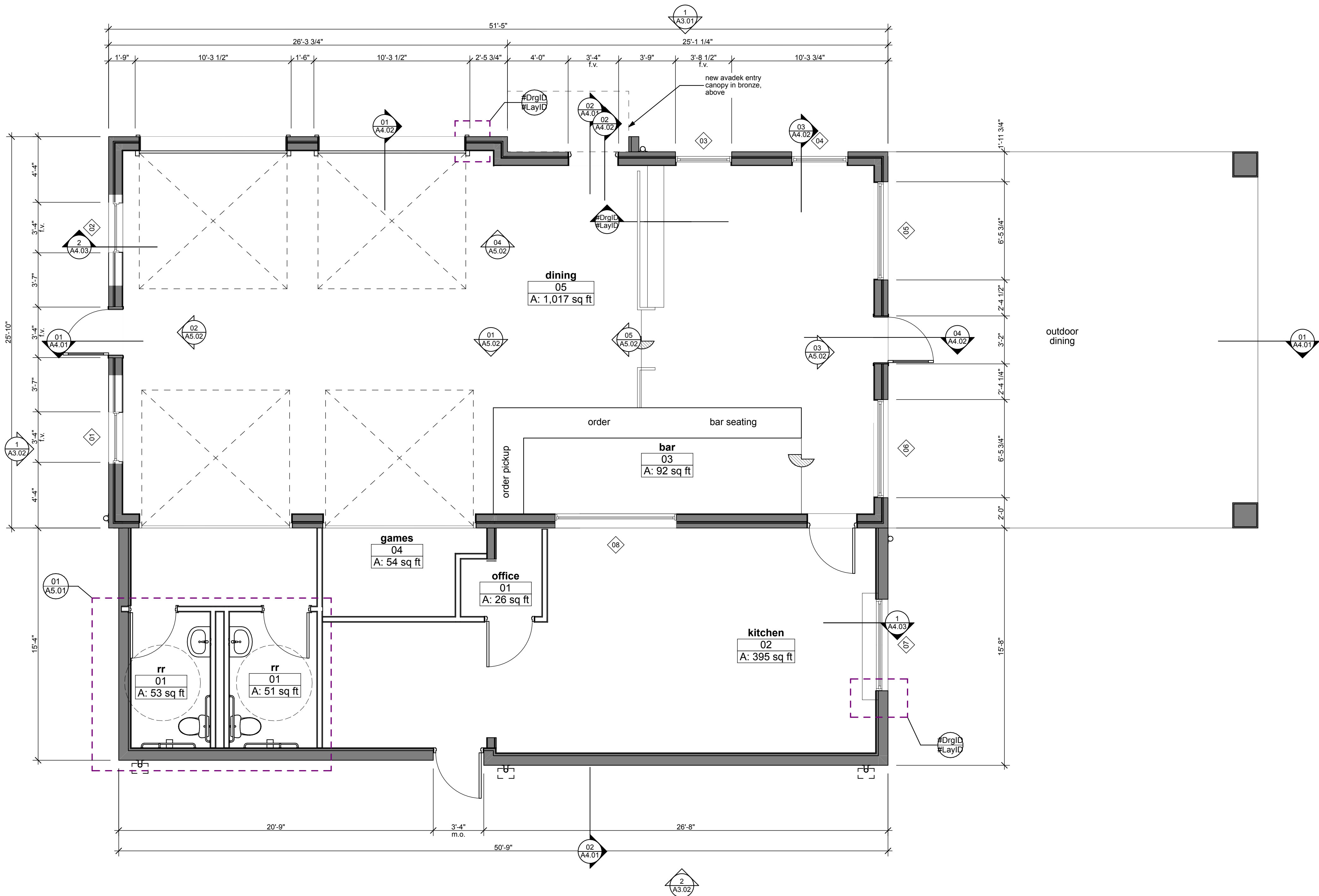
PLAN LEGEND

new wall

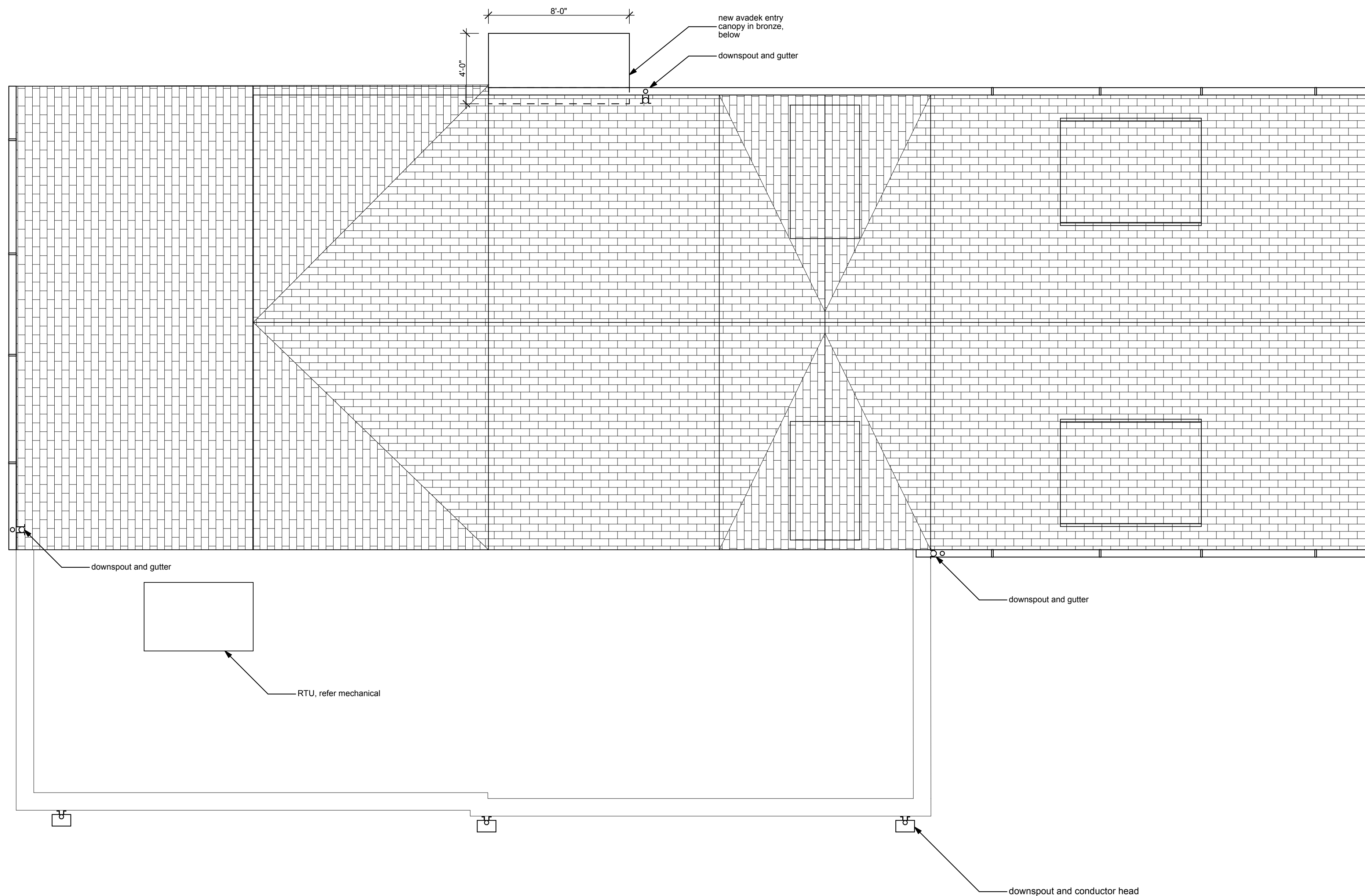
existing wall

existing finishes to remain, patch  
and repair as req'd to restore  
to original condition

out of scope







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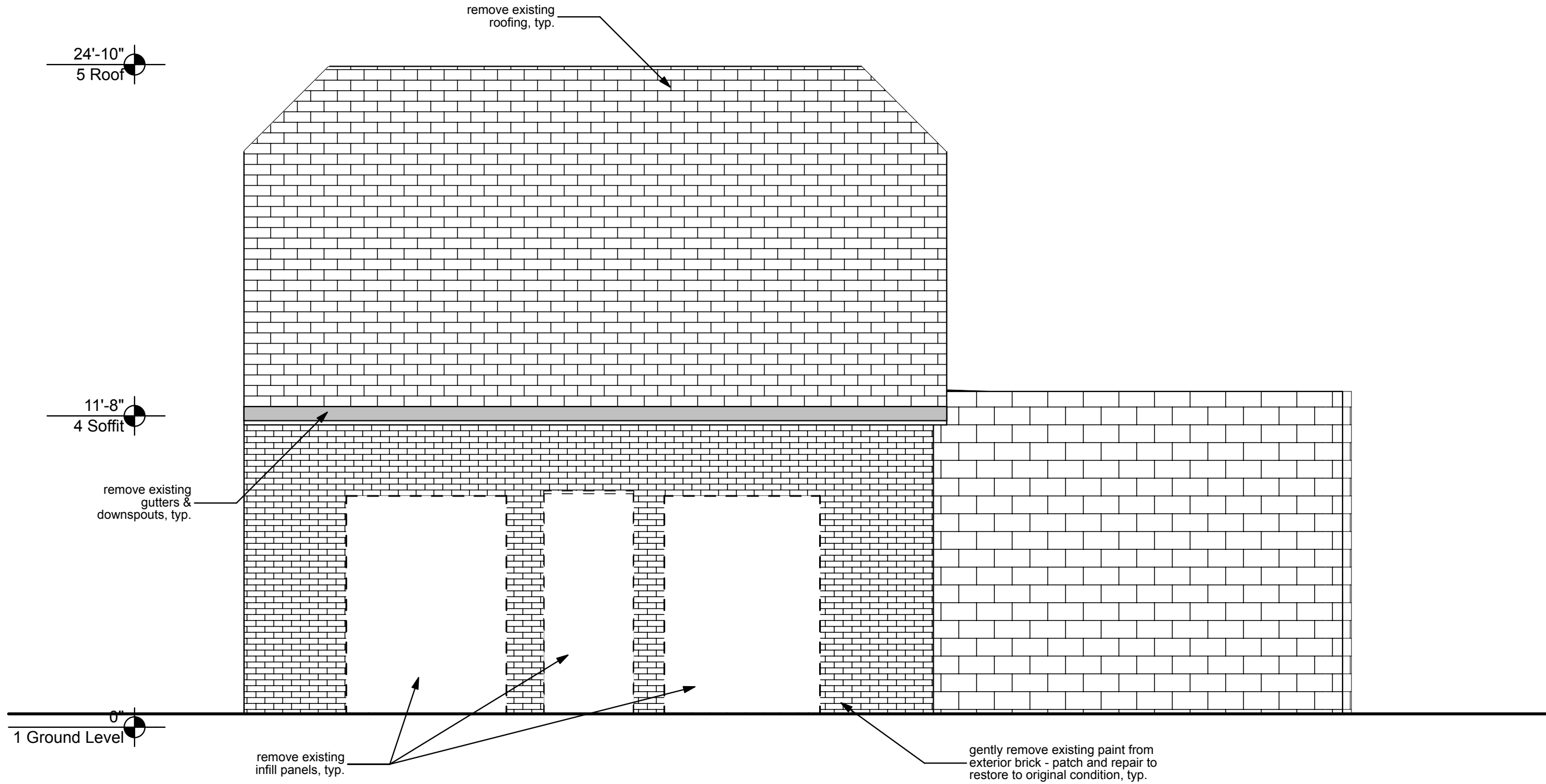
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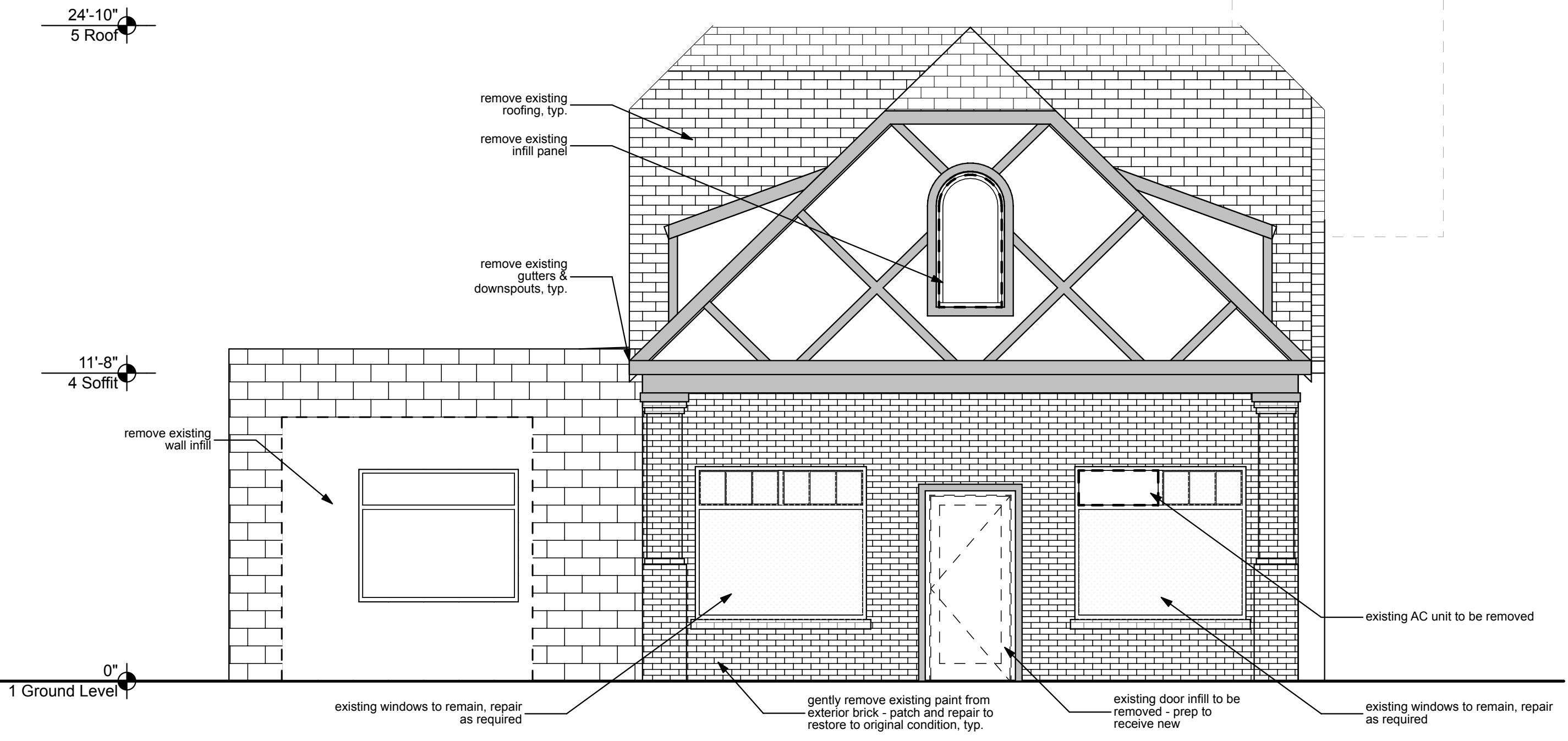
23 May 22!	Schematic Design
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14 Jun 22!	50% CD's

**Elevations -  
Northeast &  
Southwest**

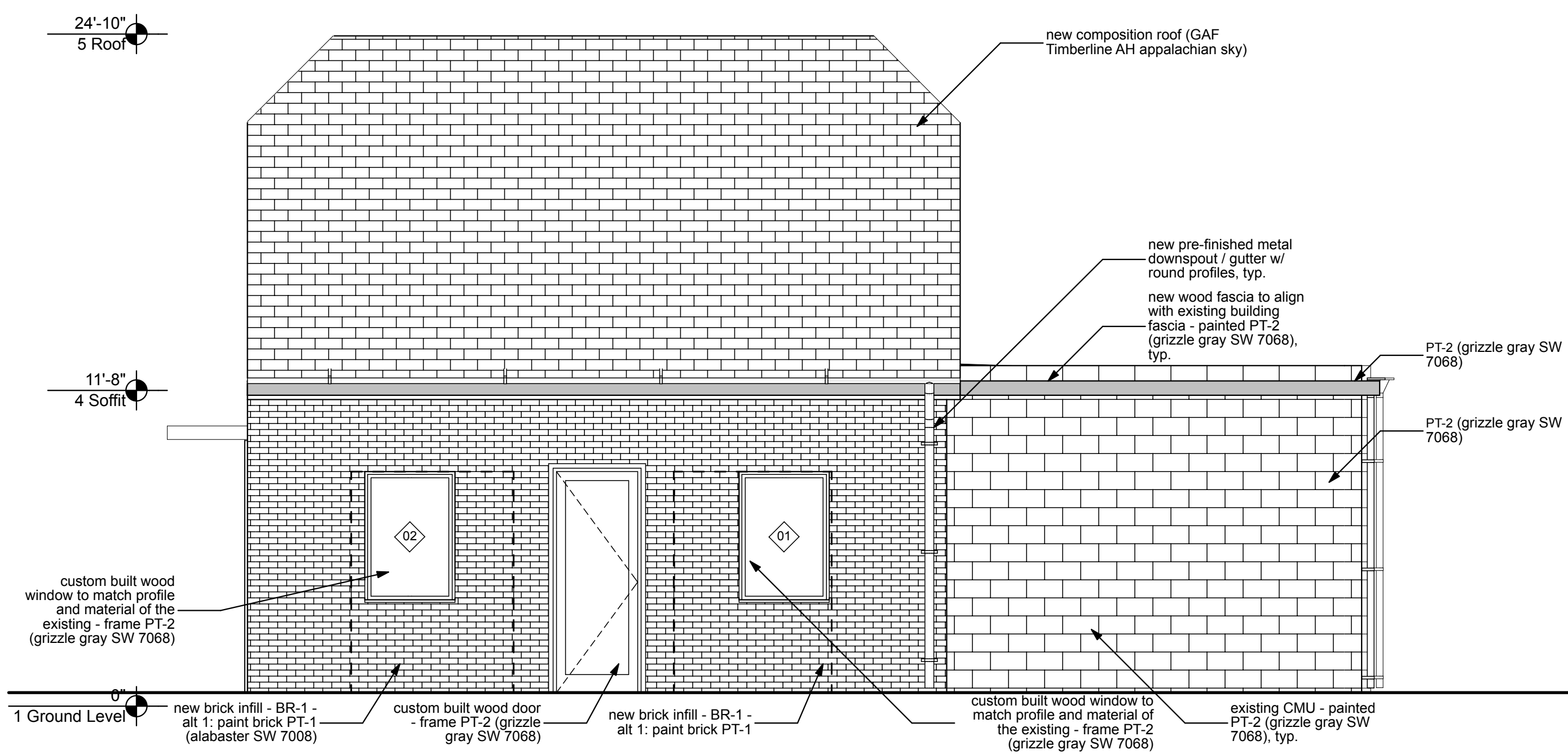
**A3.06**



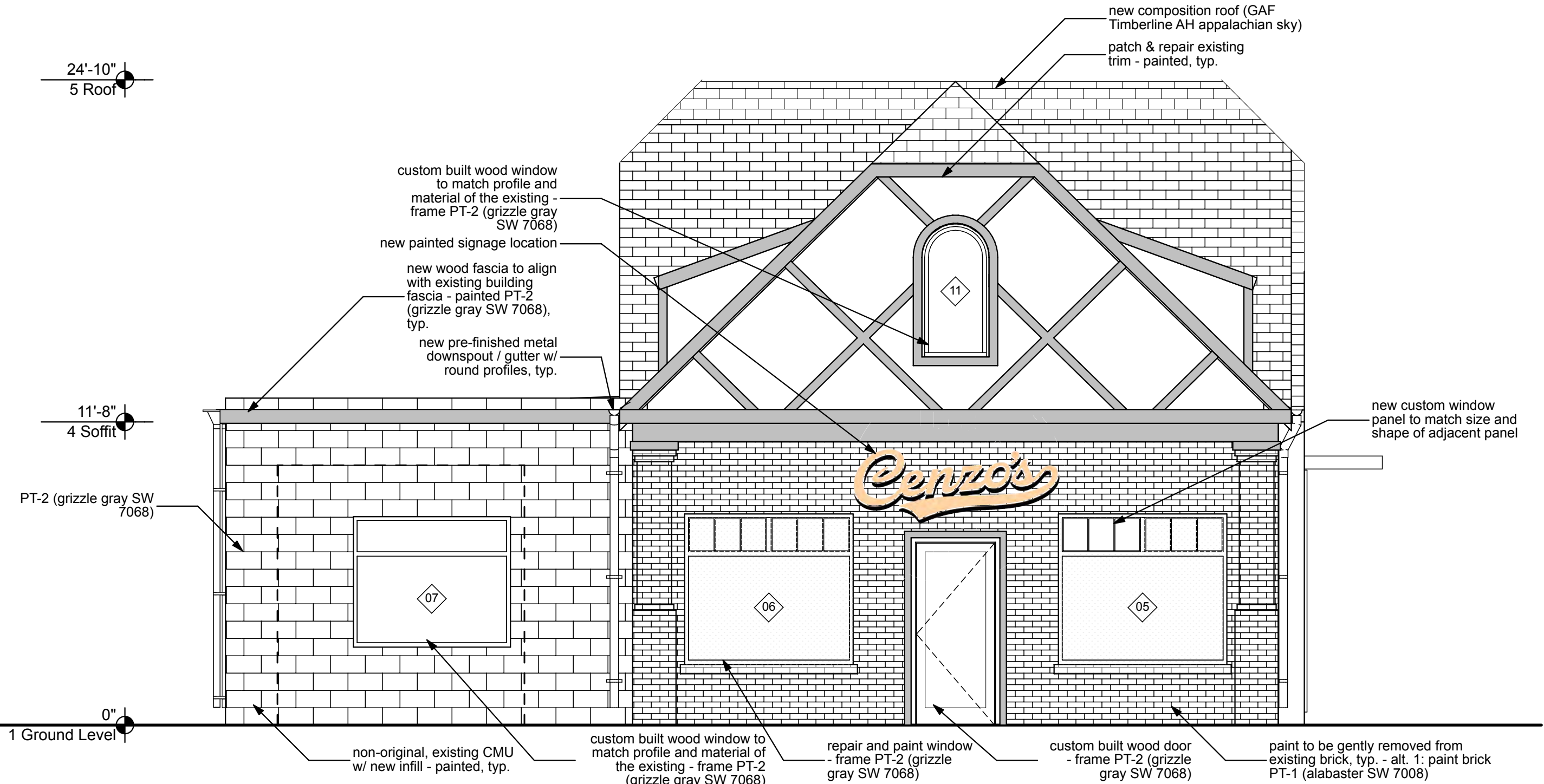
04 Demo Elevation - Southwest  
SCALE: 1/4" = 1'-0"



02 Demo Elevation - Northeast  
SCALE: 1/4" = 1'-0"



03 Elevation - Southwest  
SCALE: 1/4" = 1'-0"



01 Elevation - Northeast  
SCALE: 1/4" = 1'-0"

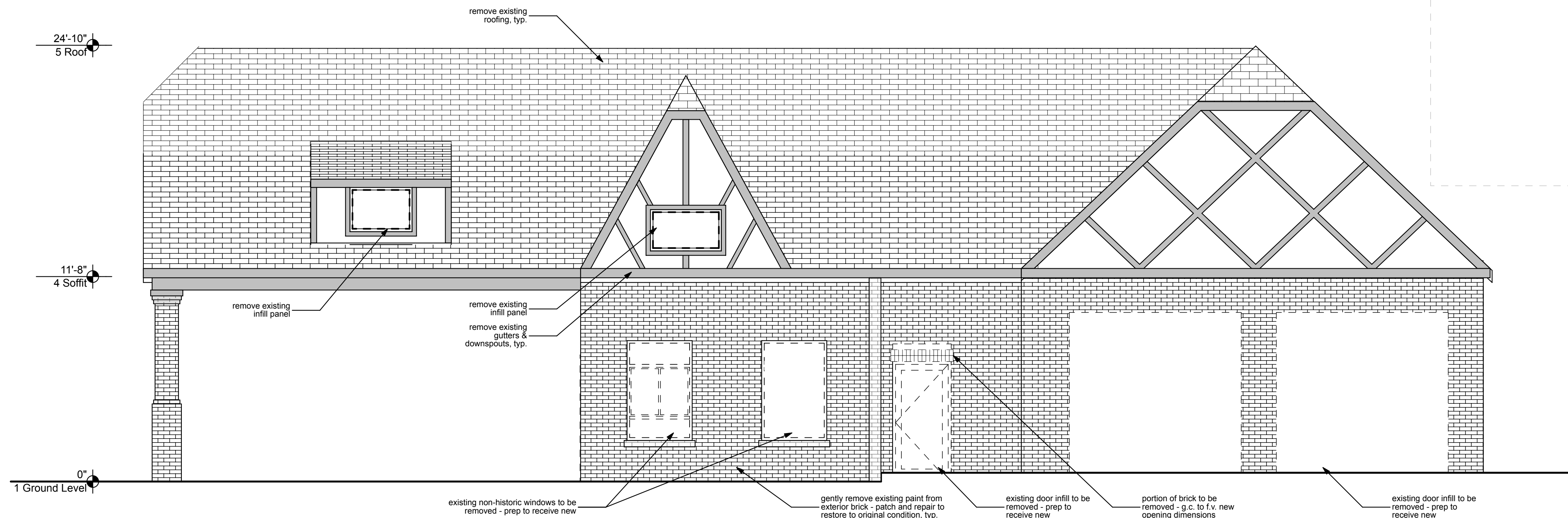


## Issue Date/ Rev

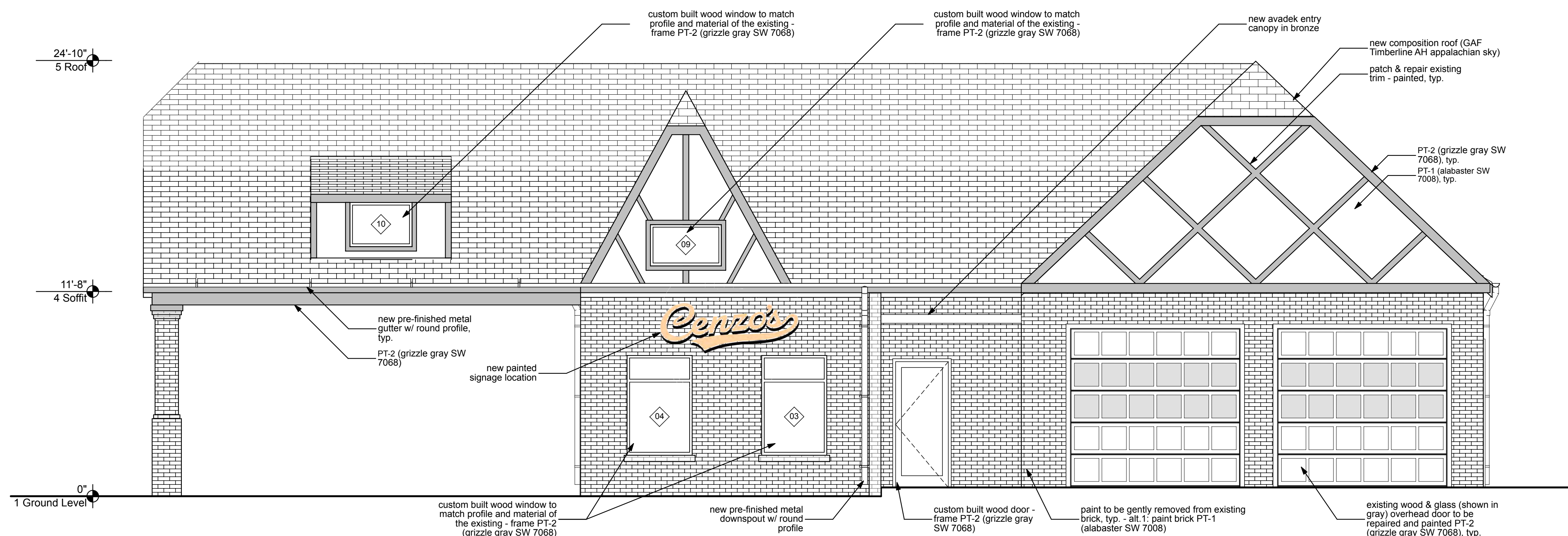
23 May 22!	Schematic Design
02 Jun 22!	Landmark Submission
14 Jun 22!	50% CD's

## Elevations - Northwest

# A3.07



02 Demo Elevation - Northwest  
SCALE: 1/4" = 1'-0"



01 Elevation - Northwest  
SCALE: 1/4" = 1'-0"

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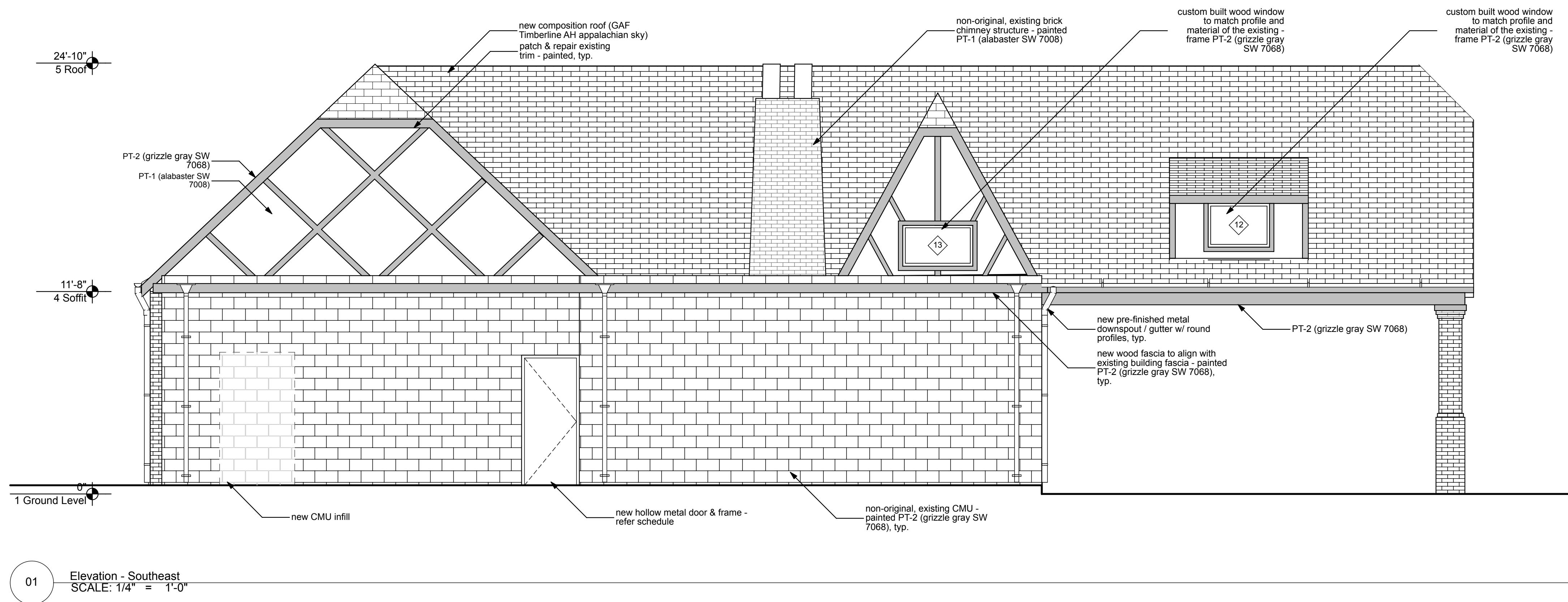
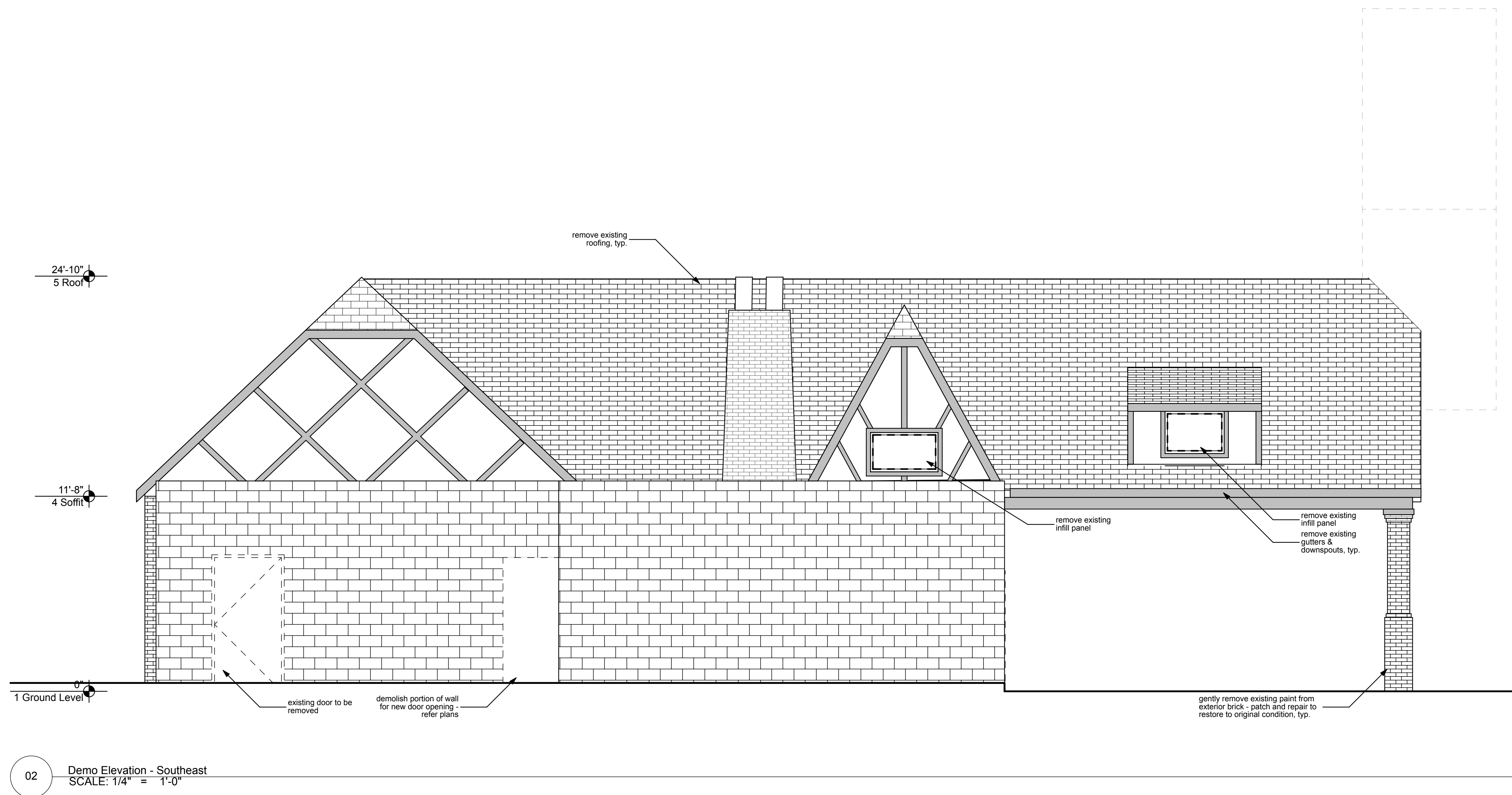
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**Elevations -  
Southeast**

**A3.08**

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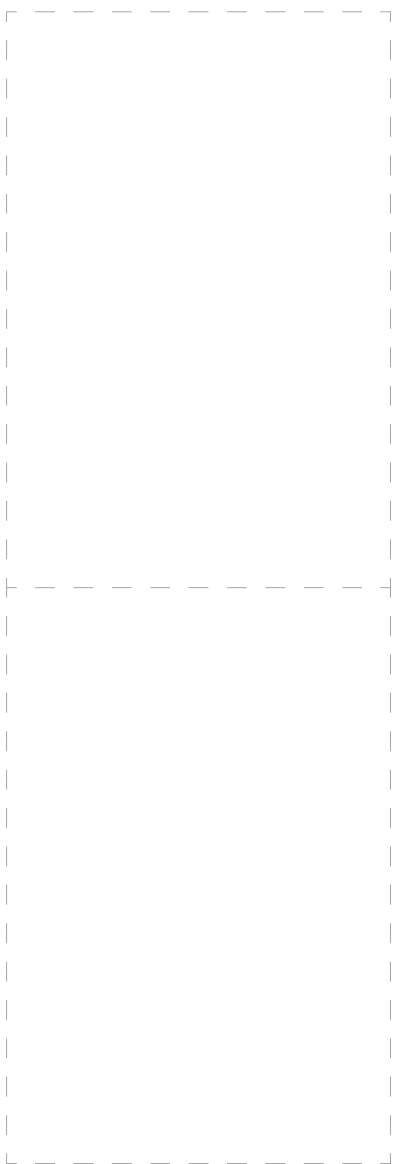
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02 Jun 22! Landmark Submission  
14 Jun 22! 50% CD's

Schedules

A6.01



FINISH SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER / PRODUCT	FINISH COLOR	NOTES
PT-1	-	Sherwin Williams	Alabaster SW 7008	satin finish (white)
PT-2	-	Sherwin Williams	Grizzle Gray SW 7068	satin finish
RF-1	Composition Roofing Shingles	GAF - Timberline AH	Appalachian Sky	-
DSPT-1	Gutters / Downspouts	Castle Metal - Half-round / Round Gutters & Downspouts	Bronze 4-JBR-30	-
BR-1	Modular Brick	Acme	Baja Blend	-

WINDOW SCHEDULE				
ID	DESCRIPTION	MANUFACTURER / PRODUCT	SIZE	NOTES
01	wood picture window	custom built wood window to match profile and material of existing	40"x58"	-
02	wood picture window	custom built wood window to match profile and material of existing	40"x58"	-
03	wood picture window with simulated check rail	custom built wood window to match profile and material of existing	44"x68"	-
04	wood picture window with simulated check rail	custom built wood window to match profile and material of existing	44"x68"	-
05	existing window to remain	-	-	existing
06	existing window to remain	-	-	existing
07	wood picture window with simulated check rail	custom built wood window to match profile and material of existing	72"x60"	-
08	interior window	-	-	interior
09	wood picture window	custom built wood window to match profile and material of existing	48"x28"	-
10	wood picture window	custom built wood window to match profile and material of existing	42"x30"	-
11	wood picture window	custom built wood window to match profile and material of existing	28"x60"	-
12	wood picture window	custom built wood window to match profile and material of existing	42"x30"	-
13	wood picture window	custom built wood window to match profile and material of existing	48"x28"	-





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Existing Photos

**A9.02**

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Existing window infill on NE side



Existing infill and equipment on SW side



Existing window & door on NE side



Existing window infill on NW side



Existing overhead door infill



Existing window & door on NE side



Existing overhead doors to be restored



Existing door on NW side



Existing windows on NW side

**DSGN**

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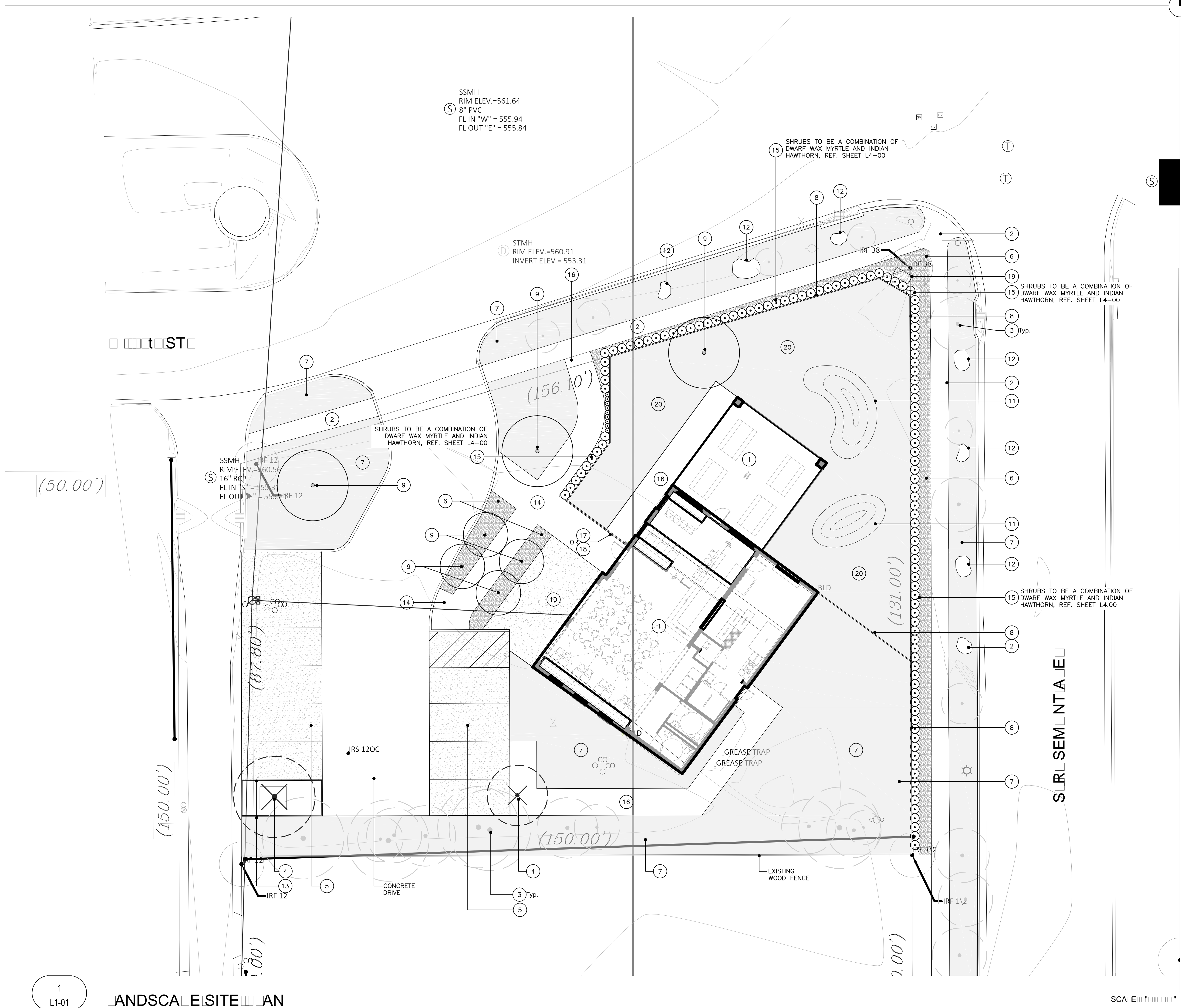
23 May 22	Schematic Design
02 Jun 22	Landmark Submission

**Existing Photos**

**A9.03**

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### LEGEND

- 1 □ R □ □ □ SED □ □ □ DING □ RE □ □  
ARC □ TECTURE
- 2 □ E □ ISTING □ C □ NCRETE □ SIDE □ A □ □
- 3 □ E □ ISTING TREE
- 4 □ E □ ISTING TREE □ □ REM □ □ □ E
- 5 □ R □ □ □ SED □ □ □ ER □ □ □ S □ SH □ A □ NG
- 6 □ R □ □ □ SED □ □ □ GR □ A □ □ E □ □ □ □ D
- 7 □ GR □ O □ U □ N □ D □ □ □ ER □ □ □ □ □ □ □
- 8 □ R □ □ □ SED □ □ □ R □ □ G □ T □ JR □ N □ EN □ CE
- 9 □ R □ □ □ SED □ □ □ S □ A □ DE □ TREE
- 10 □ R □ □ □ SED □ C □ NCRETE □ □ AR □ D □ S □ C □ A □ E
- 11 □ A □ A □ □ □ □ S
- 12 □ R □ □ □ SED □ □ □ □ □ □ □ D □ ER
- 13 □ R □ □ □ SED □ D □ □ M □ ST □ ER □ EN □ C □ □ S □ RE
- 14 □ R □ □ □ SED □ C □ NCRETE □ EN □ TR □ □  
□ A □ □ □ □ □ □
- 15 □ R □ □ □ SED □ S □ R □ □ □ S □ IT □ □ □ E □ A  
C □ M □ I □ N □ A □ T □ I □ O □ N □ □ D □ AR □ □ □ A □  
M □ RT □ I □ E □ A □ N □ D □ I □ A □ N □ A □ □ T □ O □ R □ N □  
R □ E □ □ □ S □ E □ E □ T □ □ □ □ □ □ □ □ □ □
- 16 □ R □ □ □ SED □ C □ NCRETE □ A □ □ □ □ A □ □
- 17 □ R □ □ □ SED □ S □ I □ N □ G □ □ E □ G □ A □ T □ E
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- 19 □ R □ □ □ SED □ M □ □ □ □ □ □ M □ E □ N □ T □ S □ I □ G □ N □ A □ S □ E
- 20 ART □ I □ C □ I □ A □ □ M □ R □ □ □ A □ □ N



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Matthew Stubbs, RLA 2708

**Issue Date/ Rev**

Event	Date/Day
8 May 22	Schematic Design
2 June 22	Landmark Commission Review
8 June 22	Landmark Commission Submission
8 June 22	50% Construction Documents

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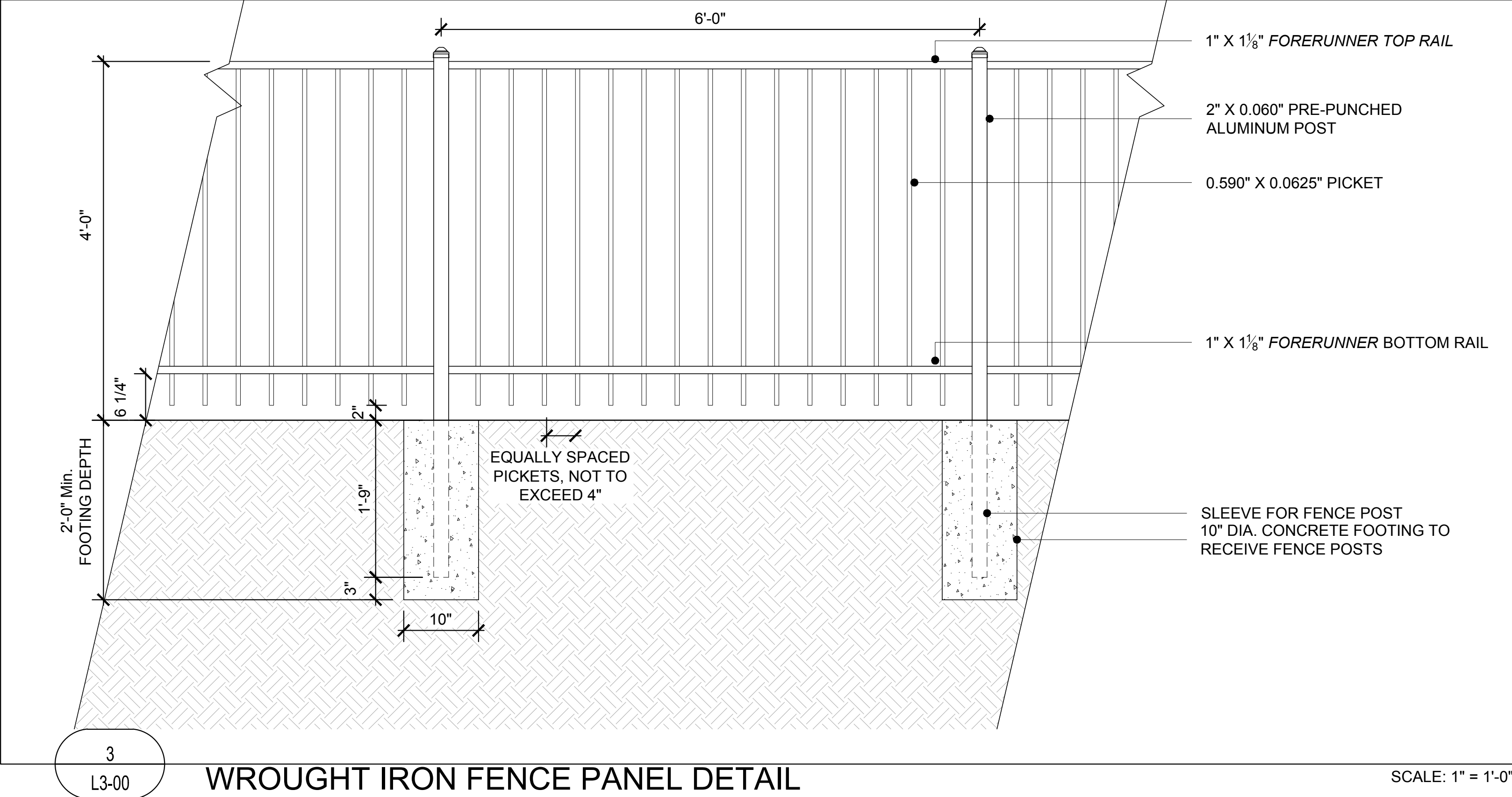
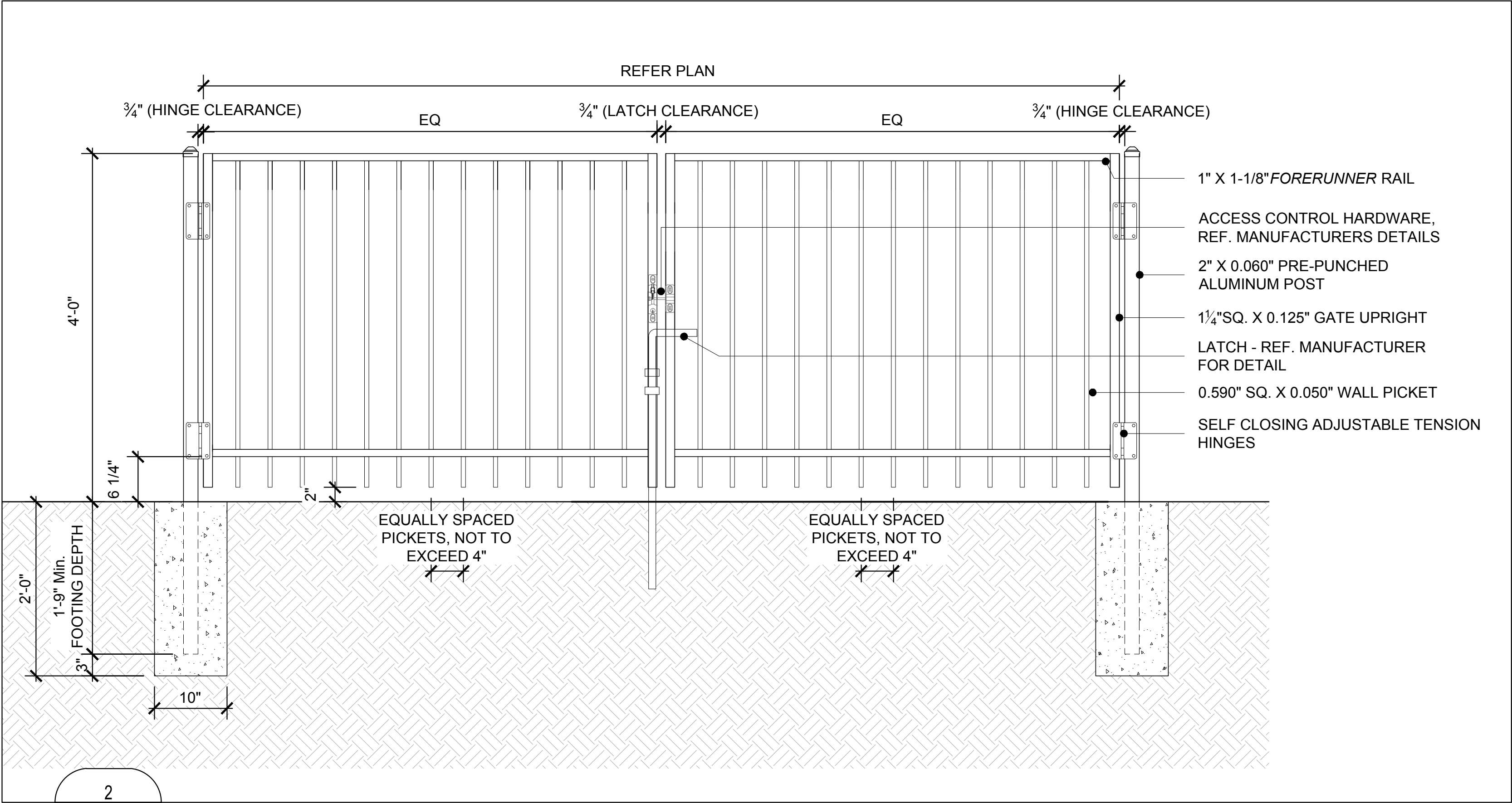
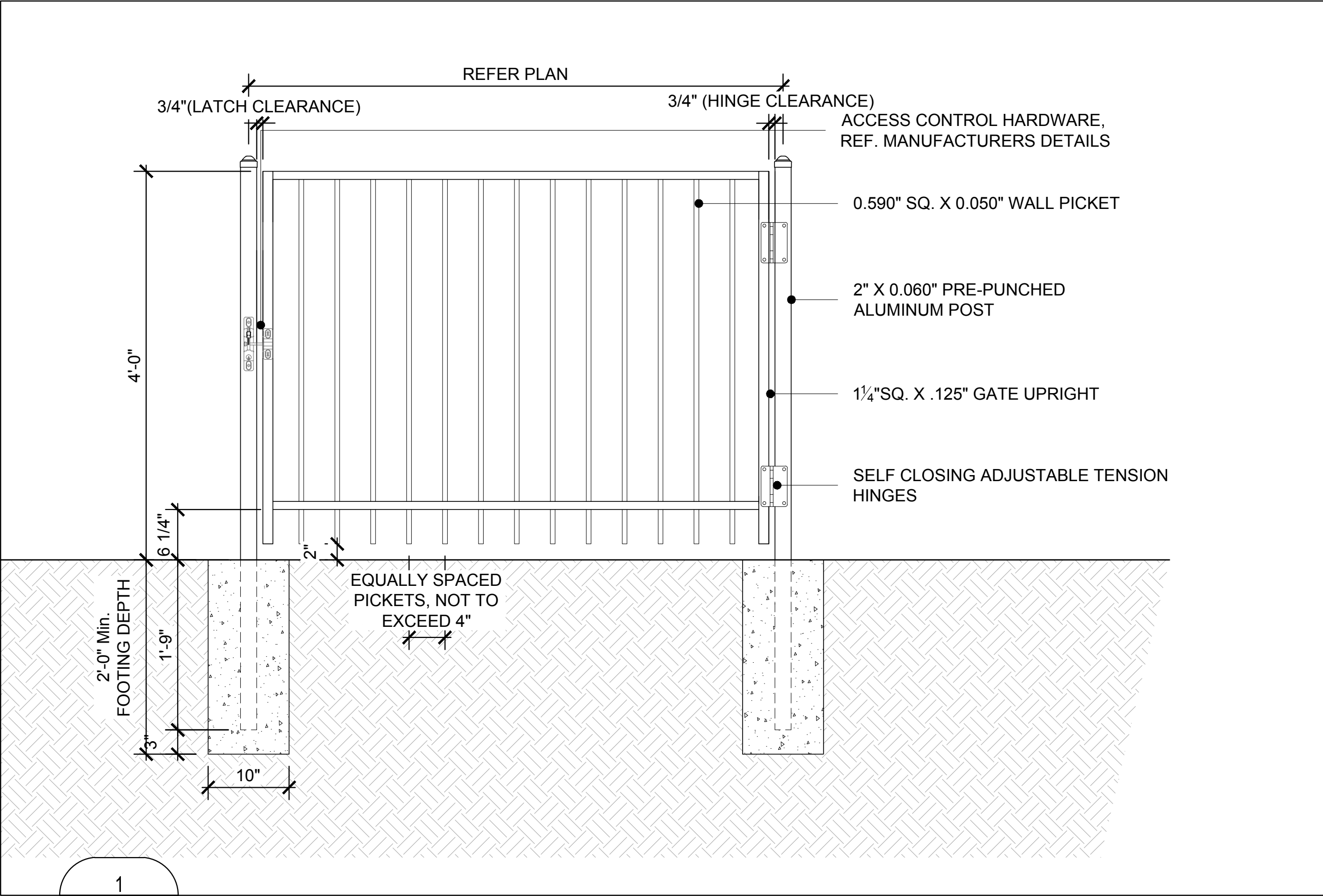
LANDSCAPE  
SITE PLAN

# L1-01









NOTE:  
REF. PRODUCT SPECIFICATION FOR  
INSTALLATION REQUIREMENTS.



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02 June 22	Landmark Commission Review
13 June 22	Landmark Commission Submission

FENCE & GATE  
DETAILS

L3-00





COMMON NAME: LIVE OAK  
SCIENTIFIC NAME: *QUERCUS VIRGINIANA*  
HEIGHT: 40-80'  
SPREAD: 60-100'



COMMON NAME: LACEBARK ELM  
SCIENTIFIC NAME: *ULMUS PARVIFOLIA*  
HEIGHT: 40-50'  
SPREAD: 35-45'



COMMON NAME: RED BUD  
SCIENTIFIC NAME: *CERCIS CANADENSIS*  
HEIGHT: 20-30'  
SPREAD: 25-35'



COMMON NAME: INDIAN HAWTHORN  
SCIENTIFIC NAME: *RHAPHIOLEPIS INDICA*  
HEIGHT: 4-6'  
SPREAD: 4-6'



COMMON NAME: DWARF WAX MYRTLE  
SCIENTIFIC NAME: *MYRICA CERIFERA 'DWARF'*  
HEIGHT: 3-6'  
SPREAD: 3-6'



COMMON NAME: BERMUDA GRASS  
SCIENTIFIC NAME: *CYNODON DACTYLON*  
HEIGHT: 1-2"



NAME: UTILITY LIMESTONE  
MANUFACTURER: OUTDOOR WAREHOUSE  
SIZE: 1"

OR



NAME: SIERRA COBBLE  
MANUFACTURER: SOUTHWEST BOULDER  
SIZE: 1.5"-3"

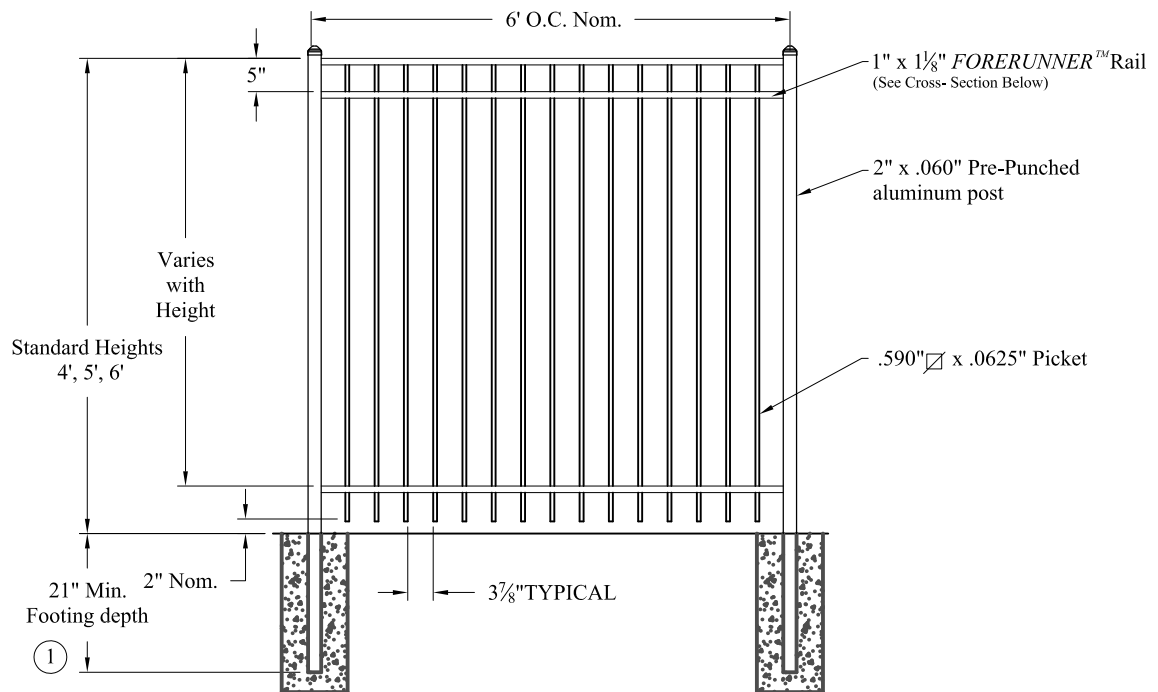


NAME: ECHELON MAJESTIC  
MANUFACTURER: AMERISTAR  
COLOR: BLACK  
HEIGHT: 4'



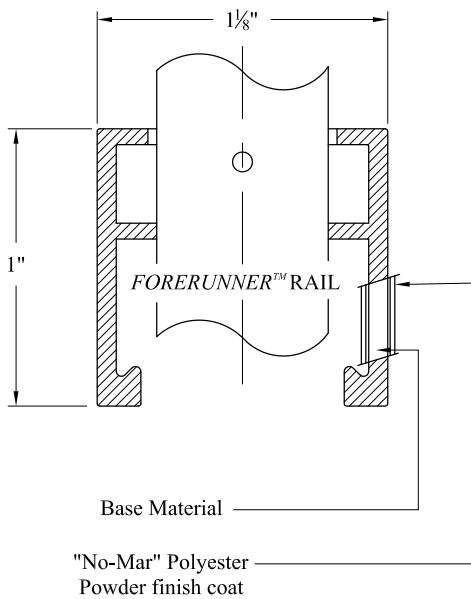
NAME: PLAY PREMIUM- ARTIFICIAL GRASS  
MANUFACTURER: SYNLAWN





NOTES:

1. Post footing available in 21" or 33" depths.



INTERNAL RETAINING ROD

Variable pitch connection system for ease of installation, high angle bias ability and elimination of unsightly external fasteners.

**INTERIOR GUIDE CHANNEL**  
Channel forms lower limit of raceway for retaining rod and allows for high angle bias ability.

**FORERUNNER™ RAIL**  
"U"-Channel specially formed high strength architectural shape.

POSTS

Special extruded aluminum shape with reinforced corners; pre-punched to eliminate brackets.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

MISO

Title:  
**ECHELON MAJESTIC 3-RAIL**

DR: CI SH . 1 of 1 SCALE: DO NOT SCALE

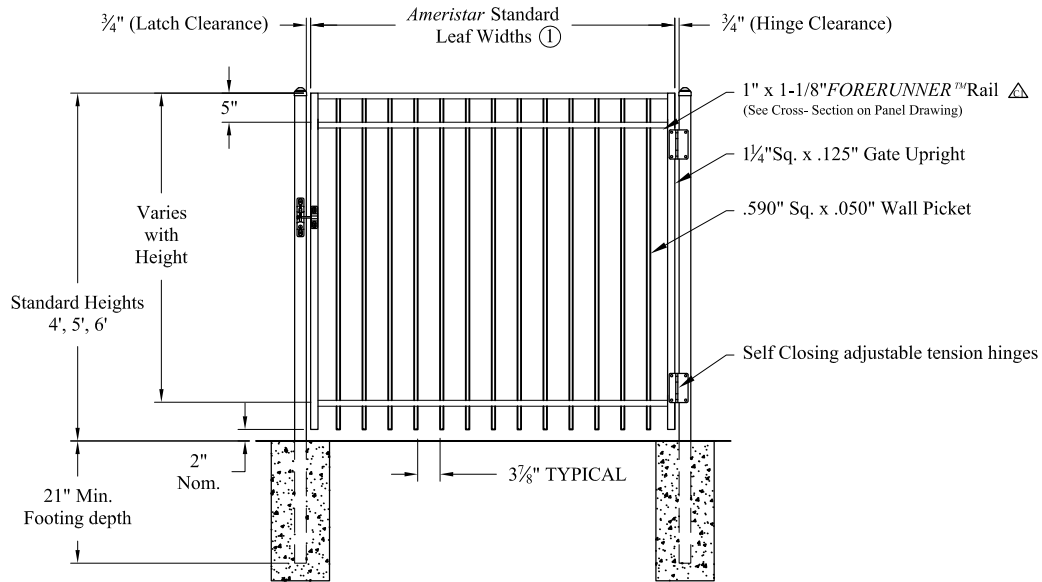
CK: ME Date 6/25/10 REV: b



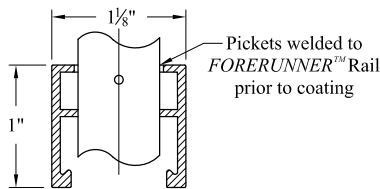
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Tulsa, OK 74116  
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www.ameristarfence.com



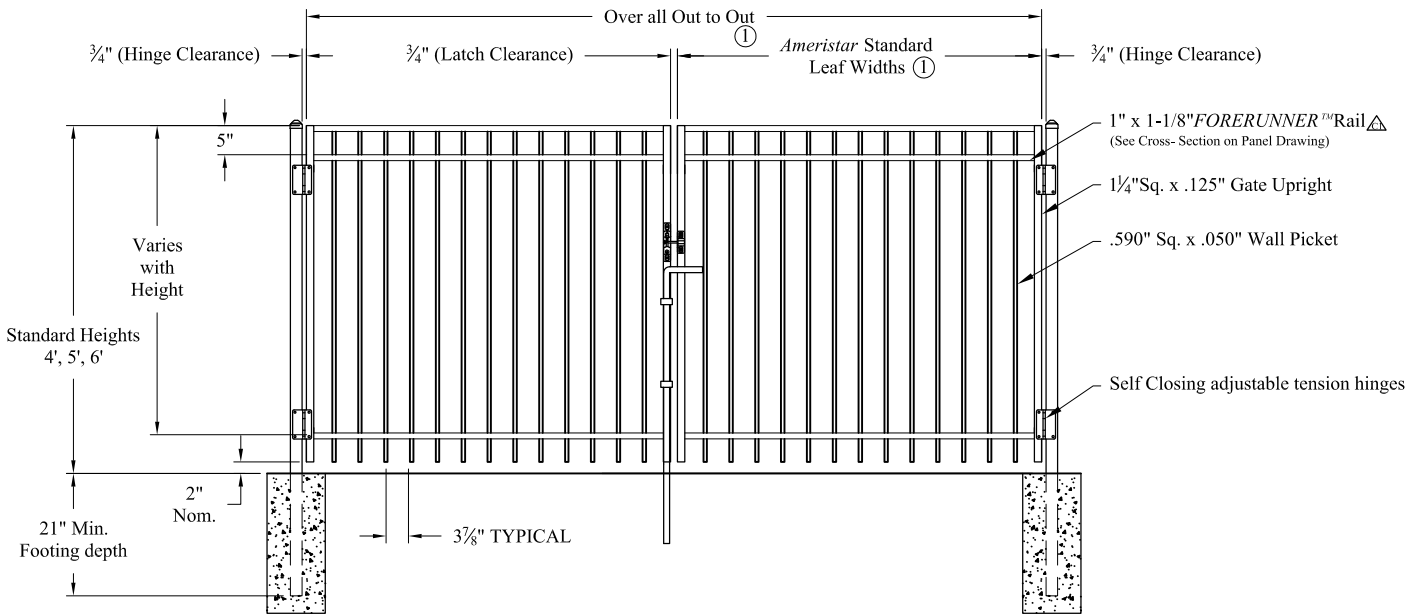


Single gate Arrangement



**NOTES:**

- 1.) See Ameristar gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.
- 2.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.
- 3.) Post footing available in 21" or 33" depths.



Double gate Arrangement

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

MISOG

Title: **ECHELON MAJESTIC 3 RAIL SGL & DBL GATE**

DR: CB SH . 1 of 1 SCALE: DO NOT SCALE

CK: NJB Date 6/3/2013 REV: b



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# SYNLAWN®

Plant-Based Artificial Grass

PRODUCT SPECIFICATIONS



## PLAY PREMIUM

Extend playtime all year long in any climate with this remarkable artificial grass playground surface built using new Super Yarn™ technology. Sanitized®, anti-static, and heat reflective properties allow children to run, play and roll around, all while maintaining it's natural appearance.

SKU	ST343 PLAY
Grass Zone Yarn/Color	PE / Field Green / Apple
Grass Zone Denier	10,800 / 6
Thatch Zone Yarn/Color	PE / Field Green / Beige
Thatch Zone Denier	5,000 / 8
Grass Zone Yarn Shape	Omega
Finished Pile Height	1 1/2"
Finished Pile Weight	80 oz.
Backing	15 / 18 PP 2-Part / 22oz. EnviroLoc+™
Tuft Gauge	3/8"
Total Weight	108 oz.
Tuft Bind	> 8 lbs.
Permeability	> 600 inches per / SY
Features	Sanitized®, EnviroLoc+™, StatBlock™ Anti-Static, DualChill™ IR Reflective, Deluster, UV Stabilizers
Test Data	ASTM E108 Class A Fire Rating, F1292, F1551, F1951, IPEMA Certified



Unmatched Lifetime Warranty



EnviroLoc+™ Plant-Based Backing



Deluster + UV Protection



ASTM E108 Class A Fire Rating

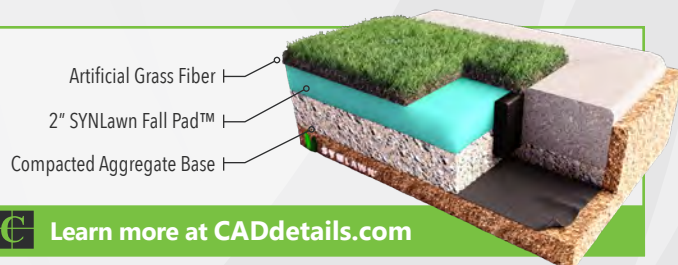


### SUPER YARN™ TECHNOLOGY

Sanitized®  
Antimicrobial

DualChill™  
IR Reflective

StatBlock™  
Anti-Static



Not to scale. For illustration only.

### RECOMMENDED USES

LANDSCAPE

PETS

PLAY

ROOFTOP



SYNLAWN®  
a sportgroup company



For ordering and questions, contact SYNLawn at 866-796-5296 or visit SYNLawn.com



Primary Yarn Polymer	Polyethylene	Primary Backing	15/18 PP 2-Part
Yarn Cross Section	Omega	Coating Type	22 oz. EnviroLoc+
Standard Color	Field Green / Apple	PE Yarn Denier / Ends	10,800 / 6
Fabric Construction	Tufted	Texturized Thatch Denier / Ends	5,000 / 8
Second Yarn Polymer Thatch	Polyethylene	Warranty Period	Limited Lifetime
Secondary Yarn Color	Field Green / Beige		

Finish Fabric	English System		ASTM Test
<i>Nominal Specification</i>	<i>Value</i>	<i>Units</i>	<i>Method</i>
Pile Height (Nominal)	1 1/2	inches	D-5823
Face Weight	80	oz/yd <sup>2</sup>	D-5848
Total Fabric Weight	108	oz/yd <sup>2</sup>	D-5848
Primary Backing Weight	6	oz/yd <sup>2</sup>	D-5848
Secondary Coating Weight	22	oz/yd <sup>2</sup>	D-5848
Tuft Bind	> 8	lbs.	D-1335
Grab Tear Strength (Average)	> 200	lbs.	D-5034
Total Yarn Linear Density	15,800	Denier	D-1577
Elongation to Break	> 30	%	D-2256
Yarn Breaking Strength	> 20	lbs.	D-5793
Machine Gauge	3/8	inches	D-5793
Flammability	Passed	-	D-2859
Water Permeability	> 600	in/hr	D-1551
Fabric Width	15	ft	-



5" or 6" or 7"

### QUANTITIES

\_\_\_\_\_ 5" \_\_\_\_\_ 6" \_\_\_\_\_ 7"  
 \_\_\_\_\_ Pcs x 10'-0"  
 \_\_\_\_\_ Outside Miters \_\_\_\_\_ deg  
 \_\_\_\_\_ Inside Miters \_\_\_\_\_ deg  
 \_\_\_\_\_ Copper  
 \_\_\_\_\_ Stainless  
 \_\_\_\_\_ Mill Finish

Gauge \_\_\_\_\_ Texture \_\_\_\_\_  
 Finish \_\_\_\_\_  
 Hangers \_\_\_\_\_



1947 Quincy Court  
 Glendale Heights, IL 60139  
 Phone: (847) 806-4540  
 Fax: (847) 806-4541

## HALF ROUND GUTTER WORKSHEET

Notes:





3" or 4" or 5"

**QUANTITIES:**

\_\_\_ Pcs x 10'-0" (If \_\_\_)

Size \_\_\_

Elbows \_\_\_

Brackets \_\_\_

Gauge \_\_\_ Texture \_\_\_

Finish \_\_\_

Aluminum \_\_\_

Copper \_\_\_

Stainless \_\_\_



1947 Quincy Court  
Glendale Heights, IL 60139  
Phone: (847) 806-4540  
Fax: (847) 806-4541

**ROUND DOWNSPOUT**

Notes:



**BRAND**

Hinkley Lighting

**DESCRIPTION**

The Silo Dark Sky Outdoor Wall Sconce is the perfect addition to exteriors from coastal to modern. The compact design blends seamlessly into your space. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. Coated with anti-fading finishes, for maximum durability in harsh climates. Finished in Architectural Bronze, Black, and Satin White with an Etched Glass diffuser. Dark Sky and JA8 compliant. Wet location rated. UL and CSA listed.



*Shown in: Architectural Bronze / Etched Glass*

<b>SHADE COLOR</b>	Etched Glass
<b>BODY FINISH</b>	Architectural Bronze
<b>WATTAGE</b>	6.5W
<b>DIMMER</b>	Standard 120V
<b>DIMENSIONS</b>	4.5"W x 8"H x 5.75"D
<b>LAMP</b>	1 x MR16/GU10/6.5W/120V LED

*Technical Information*

<b>LUMINOUS FLUX</b>	500 lumens
<b>LUMENS/WATT</b>	76.92
<b>LAMP COLOR</b>	2700 K
<b>COLOR RENDERING</b>	80 CRI

<b>ITEM NUMBER</b>	HIN990360
--------------------	-----------

COMPANY

PROJECT

FIXTURE TYPE

APPROVED BY

DATE



Catalog Number
Notes
Type

## FEATURES & SPECIFICATIONS

**INTENDED USE** — The 3" Wafer-Thin LED recessed downlight with remote driver box combines high quality light output and efficiency while eliminating the pot light housing for competitive affordability. This innovative wafer-slim Type IC design allows easy installation for new construction or remodel from below the ceiling without the requirement of a pot light housing for insulation. The LED module maintains at least 70% light output for 36,000 hours. These LED Wafer downlights are intended for closets, attics, hallways, bathrooms, kitchens, basements, soffits, entry ways, porches, garages, stairwells, corridors, nursing/retirement homes, condos, elevators, apartments, and any other small areas.

**CONSTRUCTION** — IC rated driver and fixture - approved for direct contact with insulation. Aluminum die cast outer frame. Durable, powder coat paint to prevent rust. Round fixture with integral edge-lit LED's. Plenum rated cable connector to connect from module to remote driver box. Isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Suitable for pulling wires with the 12 cubic-inch wiring compartment to accommodate up to (8) 14 gauge insulated conductors, or (6) 12 gauge insulated conductors; making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly.

**INSTALLATION** — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 3" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 3 1/8 inches for this product. Suitable for installation in t-grid and drop ceiling applications. 6" plenum space required for installation of remote driver box.

**OPTICS** — Wafer-Thin downlight edge-lit LED technology uses light guided plate to distribute light. Polycarbonate lens provides even illumination throughout the space. Utilizes 2700K, 3000K, and 4000K color temperature LEDs.

**ELECTRICAL** — Connect directly to 120V power supply via provided UL recognized driver. Driver and Fixture Wet location approved and IC rated. High efficient driver with power factor > 0.9. Ambient operating temperature: -40°F (-40°C) to +104°F (+40°C). Dimming down to 10% (See page 2 for recommended dimmers). Standard input wattage is 8W, 68 lumens per watt. Actual wattage may differ by +/- 5% when operating at 120V +/- 10%. Replaces 50W incandescent.

**LISTINGS** — CSA certified to US and Canadian safety standards. ENERGY STAR® qualified. Wet location. Air Tight certified in accordance with ASTM E283-2004. NOM certified.

**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

[www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

### Wafer LED Recessed Downlight

# WF3 3" LED Module

IC/Non-IC  
New Construction/Remodel



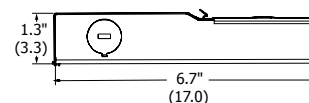
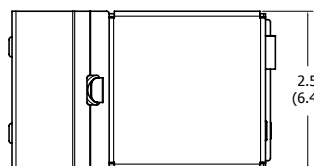
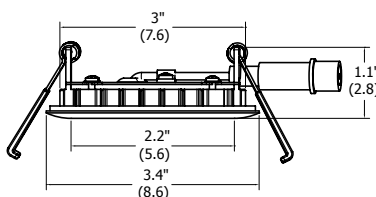
Matte black



Oil-rubbed bronze

### Specifications

Aperture:	2.2 (5.6)
Ceiling opening:	3 (7.6)
Overlap trim:	3.4 (8.6)
Height:	1.1 (2.8)



All dimensions are in inches (centimeters) unless otherwise indicated.

### ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

**Example: WF3 LED 30K MW**

WF3	LED		
Series	Lamp	CCT/CRI/W/Lumens <sup>1</sup>	Finish
<b>WF3</b> 3" wafer-thin LED downlight	<b>LED</b> LED	<b>27K</b> 2700K/80CRI/8W/540L <b>30K</b> 3000K/80CRI/8W/550L <b>40K</b> 4000K/80CRI/7.9W/590L	<b>MW</b> Matte white <b>MB</b> Matte black <b>ORB</b> Oil-rubbed bronze <b>BN</b> Brushed Nickel

### Accessories: Order as separate catalog number.

WF3 PAN R12	3" new construction pan, retail pack of 12
WF8643 Pan U	Universal new construction pan
WFEXC6 U	6' FT4 cable
WFEXC10 U	10' FT4 cable
WFEXC20 U	20' FT4 cable



WF3\_Pan



Extension Cable

### Notes

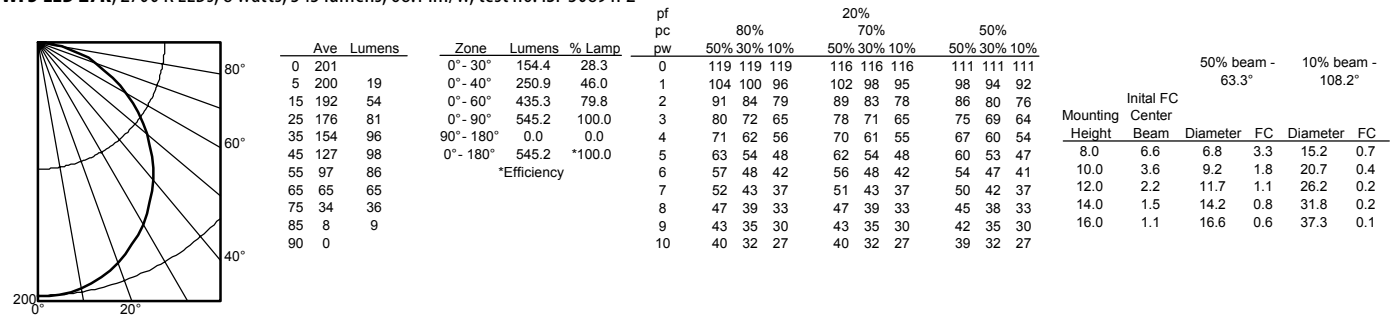
1 Total system delivered lumens.

WF3 3" LED Wafer Module

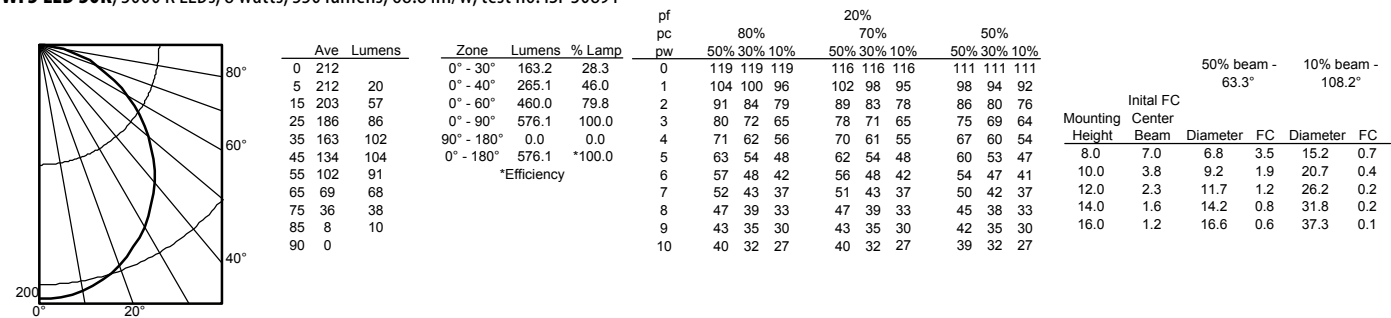
PHOTOMETRICS

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire
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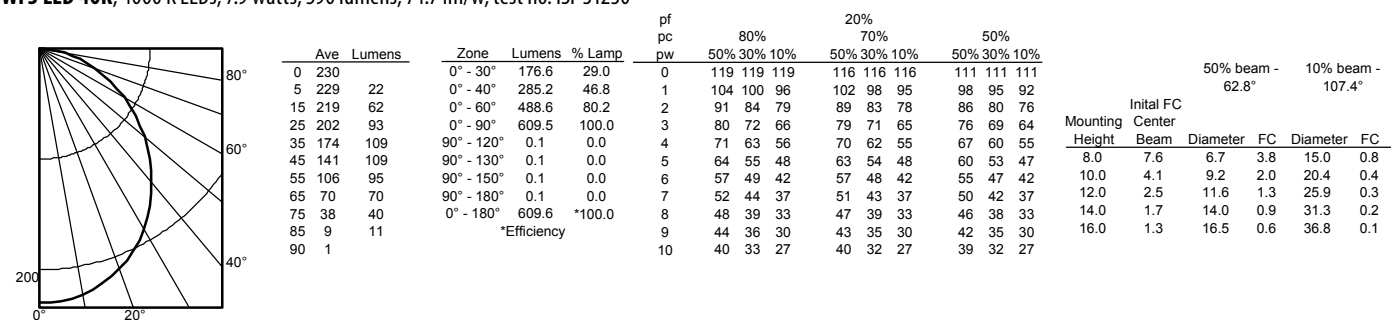
WF3 LED 27K, 2700 K LEDs, 8 watts, 545 lumens, 68.1 lm/w, test no. ISF 30891P2



WF3 LED 30K, 3000 K LEDs, 8 watts, 550 lumens, 68.8 lm/w, test no. ISF 30891



WF3 LED 40K, 4000 K LEDs, 7.9 watts, 590 lumens, 74.7 lm/w, test no. ISF 31230



DIMMER COMPATIBILITY

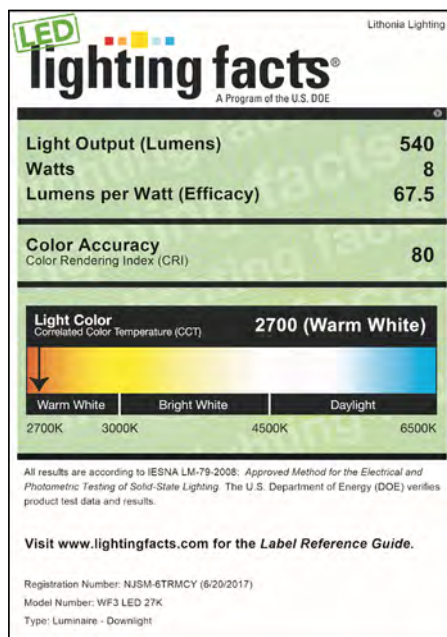
COMPATIBLE DIMMERS					
Leviton	Lutron			Sensorswitch	Synergy/Leviton
6633-PA	Maestro MACL-153M (TX)	Diva/Skylark DVRP-253PCTRP-253P		nSP5 PCD 2W	ISD 600 I 120/IP106
IPL06-LED/INC mode	Maestro Wireless MRF2-6ELV	Skylark CTCL-150		nSP5 PCD ELV 120	ISD 400 ELV 120/IPE04
6615-P	Gen 3.0 DVCL-153P (T9)	Caseta Wireless PD-5NE		Grafik QS/Wallbox LQRJ-WPM-6P	
	Maestro MSCl-OP153M	Maestro MACL-LFQ		Grafik Eye 3000 Family HWI-WPM-6D-120	
	Caseta Wireless PD-6WCL	RadioRA2 RRD-6NA		HomeWorksQS / my Room LQSE-4A1-D/ MQSE-4A1-D/MQSE-3A1/MQSE-2A1-D,120V	
	Grafik T GT-5NEM / GTJ-5NEM	HomeWorks HQRD-6NA		Homeworks QS LQSE-4A-120-D	

\*Requires Lutron Smart Bridge L-BDG2-WH for wireless applications (sold separately)

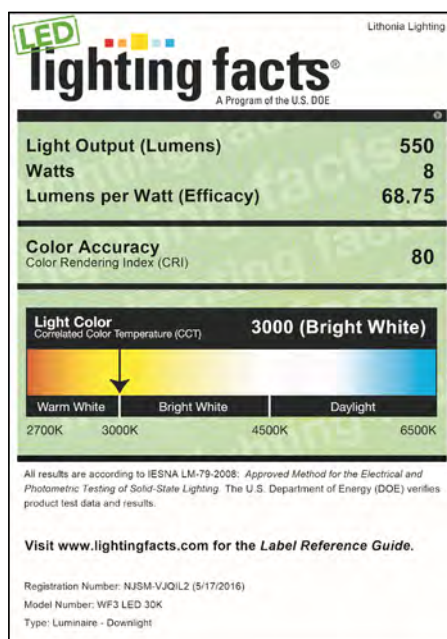


## ENERGY DATA

3" ENERGY DATA - 2700K	
Lumens	540
Color temperature	2700K
CRI	80
Lumens/Watt	67.5
Min. starting temperature	-40°C (-40°F)
EMI/RFI	FCC Title 47 CFR, Part 15, Class B
Sound rating	Class A standards
Input voltage	120V
Total Harmonic Distortion	13.5%
Min. power factor	0.97
Input frequency	50/60 Hz
Rated wattage	8W
Input power	8W
Input current	0.07A

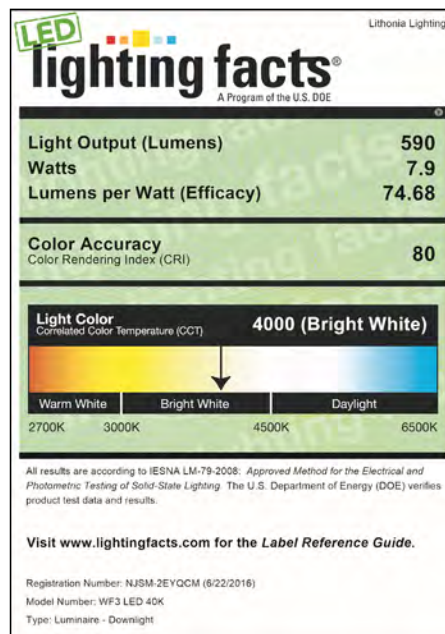


3" ENERGY DATA - 3000K	
Lumens	550
Color temperature	3000K
CRI	80
Lumens/Watt	68.75
Min. starting temperature	-40°C (-40°F)
EMI/RFI	FCC Title 47 CFR, Part 15, Class B
Sound rating	Class A standards
Input voltage	120V
Total Harmonic Distortion	13.5%
Min. power factor	0.97
Input frequency	50/60 Hz
Rated wattage	8
Input power	8W
Input current	0.07A



## ENERGY DATA

3" ENERGY DATA - 4000K	
Lumens	590
Color temperature	4000K
CRI	80
Lumens/Watt	74.68
Min. starting temperature	-40°C (-40°F)
EMI/RFI	FCC Title 47 CFR, Part 15, Class B
Sound rating	Class A standards
Input voltage	120V
Total Harmonic Distortion	13.5%
Min. power factor	0.97
Input frequency	50/60 Hz
Rated wattage	7.9
Input power	7.9W
Input current	0.07A

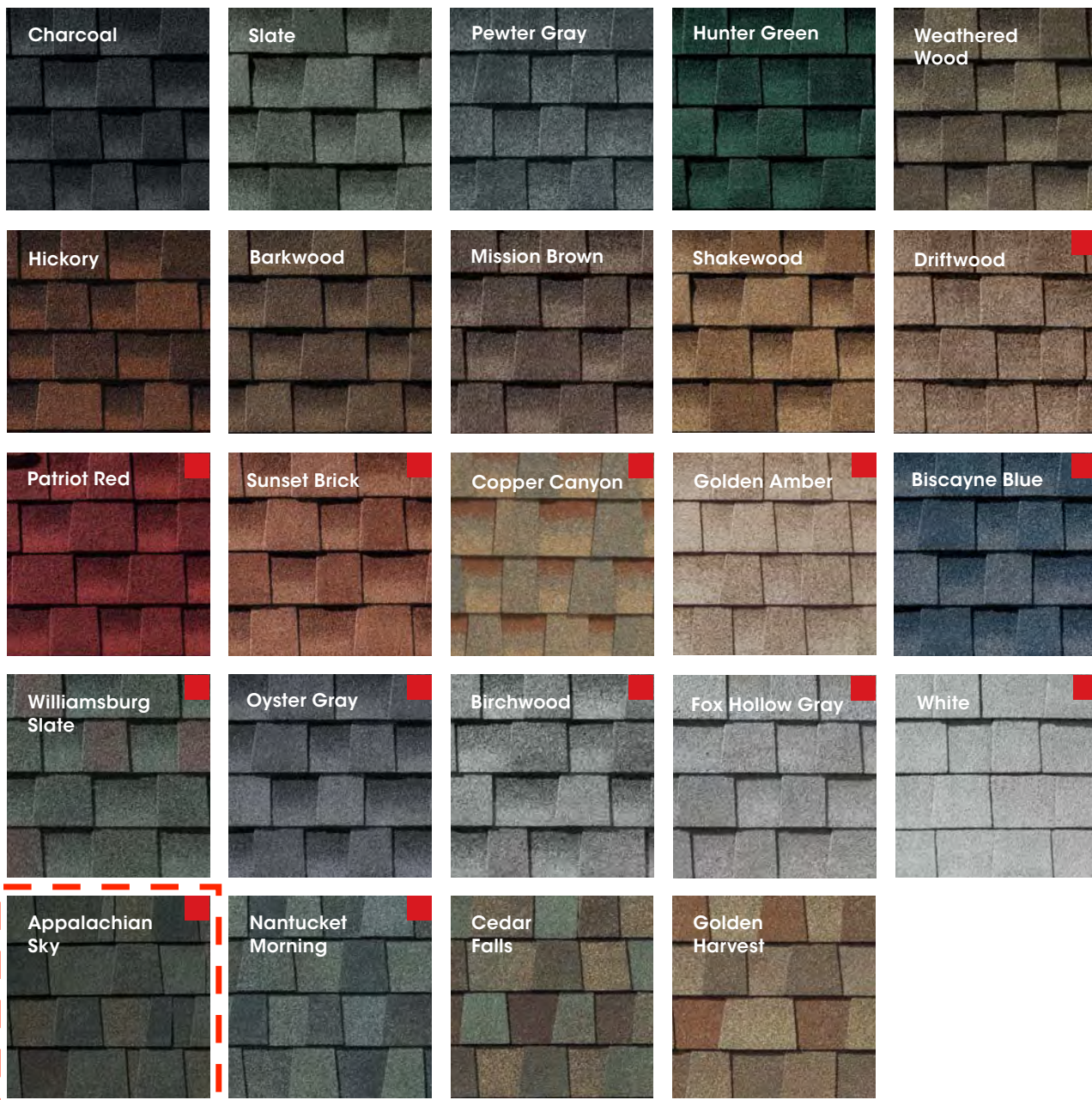




# GAF TimberlineHDZ<sup>®</sup>

High Definition<sup>®</sup> Lifetime<sup>1</sup> Shingles

Now with GAF Time-Release Algae-Fighting Technology and LayerLock<sup>™</sup> Technology, Timberline HDZ<sup>®</sup> offers everything you can expect from an architectural shingle roof, and more.



Timberline product in Appalachian Sky color to be used  
For more details visit [gaf.com/TimberlineHDZ](http://gaf.com/TimberlineHDZ)

<sup>1</sup> 15-year WindProven<sup>™</sup> limited wind warranty on GAF Shingles with LayerLock<sup>™</sup> Technology requires the use of GAF Starter Strips, Roof Deck Protection, Ridge Cap Shingles, and Leak Barrier or Attic Ventilation. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit [gaf.com/LRS](http://gaf.com/LRS) for qualifying GAF products. For installations not eligible for the GAF Roofing System Limited Warranty, see the GAF Shingle & Accessory Limited Warranty.

**NOTE:** It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.





Valley Oaks ES, PBK Architects



Gateway Community Church, Levinson Alcoser Associates



Remington College, Browne Penland McGregor Stephens Architects



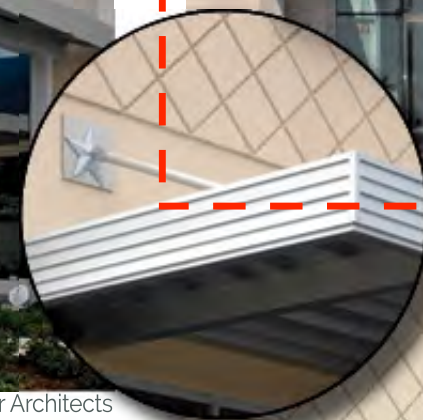
Creekside Surgery Center, Browne McGregor Architects



Town Centre One, Kirksey



Himalaya Herbal Healthcare, Kirksey



Entry canopy to be similar to this profile



Fairmont Center, CDA Architects



OakBend Medical Group, Seeberger Architecture

## ENTRY CANOPIES

Ideal for commercial and retail entrances, adding an entry canopy can create a lasting first impression. A wide range of design capabilities allows the finished product to perfectly blend with any storefront or commercial building. Functional, low-maintenance, and aesthetically pleasing – an AVAdek entry canopy is a key element, maximizing your usable space and enhancing your entryway.





## **LANDMARK COMMISSION**

**JULY 5, 2022**

FILE NUMBER: CA212-391(SB)  
LOCATION: 232 S Windomere Ave.  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD 87 (Tract 1)

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-E  
CENSUS TRACT: 0046.00

**APPLICANT:** Henry, Dan

**REPRESENTATIVE:** N/A

**OWNER:** HENRY DANIEL R

**REQUEST:**

- 1) A Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence.
- 2) A Certificate of Appropriateness to retain the unauthorized replacement of a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color "Sable".

**BACKGROUND / HISTORY:**

- 1) The residence at 232 S Windomere Ave. is a contributing structure to the Winnetka Heights Historic District.

**RELEVANT PRESERVATION CRITERIA:**

**Winnetka Heights Historic District (H-15), Article 87, PD 87**

SEC. 51P-87.111 Preservation Criteria for Tract 1.

(a) Building placement, form, and treatment.

(3) Architectural detail. Materials, colors, structural and decorative elements, and the manner in which they are used, applied, or joined together must be typical of the style and period the main building and compatible with the other buildings on the blockface.

(11) Front entrances and porches.

(A) Detailing. Railings, moldings, tilework, carvings, and other detailing and architectural decorations on front entrances and porches must be typical of the style and period of the main building.

(E) Style. Each main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building. A front entrance or porch must reflect the dominant horizontal and vertical characteristics of the main building.

(b) Landscaping

(2) Fences.

(A) Form.

- (i) Fences must be constructed and maintained in a vertical position.
- (ii) The top edge of a fence must be along a line that is either horizontal, or substantially parallel to grade. Except in the case of a picket, chain link, or wrought iron fence, the top edge of a fence must be flat.

(B) Height. Maximum permitted height for a fence is nine feet.

(C) Location.

- (i) The following are the only types of fences permitted in the front yard: white wood picket fences and dark green, dark brown, or black wrought iron fences. A fence in the front yard may not exceed two feet in height unless a taller fence is needed to satisfy screening requirements for parking in front of nonresidential uses.
- (ii) A fence in an interior side yard must be located in the rear 50 percent of the side yard and behind the rearmost side projection of the main building, except that the commission may allow a fence to be located anywhere in an interior side yard if it determines that the fence does not screen all or any portion of a significant architectural feature of a main building on the same or an adjacent lot.
- (iii) A fence in the corner side yard must not be directly in front of the corner side facade, except that the commission may allow a fence that is directly in front of all or any portion of the rear 50 percent of the corner side facade if:
  - (aa) more screening is necessary to insure privacy due to unusually high pedestrian or vehicular traffic; and
  - (bb) the fence does not screen all or any portion of a significant architectural feature of the main building.
- (iv) A fence in the corner side yard must be set back a minimum of two feet from a public sidewalk.
- (v) A fence must run either parallel or perpendicular to a building wall or lot line.

(D) Materials. A fence must be constructed of one or more of the following materials: metal or plastic-coated chain link, wrought iron, wood, or stucco. The use of brick in a fence is not permitted, except as part of a structural column, or a base that is two feet or less in height. Exposed concrete blocks are not permitted.

(G) Wooden fences.

- (i) All wooden structural posts must be at least four inches in diameter (nominal size).



- (ii) The side of a wooden fence facing a public street must be the finished side.
- (iii) Wooden fences may be painted or stained a color that is complementary to the main building.

SEC. 51P-87.106 Preservation Criteria for Tract 1.

- (b) Review by the director.
  - (2) Minor exterior alterations. In addition to the above, the director shall review an application for a certificate of appropriateness for one or more of the following minor exterior alterations as if the work were routine maintenance and replacement:
    - (A) the application, installation, maintenance, or replacement of:
      - (v) a wood or chain link fence that is not painted or stained.

**RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

**RELEVANT DALLAS CITY CODE:**

**Section 51A-4.501. Historic Overlay District**

- (g) Certificate of Appropriateness.
  - (6) Standard certificate of appropriateness review procedure.
    - (C) Standard for approval. The landmark commission must grant the application if it determines that:
      - (i) for contributing structures:
        - (aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
        - (bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*
        - (cc) *the proposed work will not have an adverse effect on the*

- historic overlay district; and*  
(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

## **PROJECT DESCRIPTION & ANALYSIS:**

### **1) Work without a CA – Replace fence**

The applicant is seeking approval of work done without a CA. The applicant is proposing to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence. The new 7-foot, 10-inch fence has replaced a 6-foot fence in nearly the same location. The previous fence was angled at the corner of the alley entrance to allow for a visibility triangle. That angled corner clip has been replaced with a 90-degree corner and a sliding vehicle gate. The current fence extends 3 feet beyond the rear corner of the house and is positioned between the first and second of a set of three windows in the same location as the previous fence.

#### **Analysis –**

The Winnetka Heights preservation criteria Section 51P-87.111(b)(2)(C)(iii) stipulates two reasons that the Landmark Commission may allow a fence to be located directly in front of all or any portion of the rear 50 percent of the corner side facade. First, more screening must be necessary to insure privacy due to unusually high pedestrian or vehicular traffic. Second, the fence must not screen all or any portion of a significant architectural feature of the main building. Both of these conditions must be met for the Landmark Commission to approve a fence which is located in the rear 50 percent of the corner side facade.

The current fence extends 3 feet beyond the rear corner of the house and is therefore located well within the rear 50% of the rear side yard. The location of the 8-foot fence screens a greater portion of one window from view than the previous 6-foot tall fence. A crepe myrtle tree located at the rear corner of the house appears to prevent the fence from abutting the rear façade of the house unless it is removed. The overall effect of the fence is that it screens a minimal amount of the corner side façade. Staff is therefore recommending approval.

### **2) Work without a CA – Replace porch**

The applicant is seeking approval of work done without a CA. The applicant has replaced a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color "Sable". The photographs that were submitted indicate that the previous boards on the front porch were 1" x 4" or narrower.

#### **Analysis –**

The installation of 1" x 6" wood decking is not typical of the style and period of the primary structure. The 1" x 6" decking boards were installed with a small gap between each board and have been nailed or screwed directly through the top into the supporting joist below. The decking on front porches is typically a narrower board, which is frequently a tongue in groove style. The photographs of the previous porch indicate that the boards had been installed with no gap between each board and had likely been nailed through the side, indicating that these were also probably tongue in groove boards.



The Winnetka Heights preservation criteria indicate that “detailing and architectural decorations on front entrances and porches must be typical of the style and period of the main building”. In addition, “Materials... and the manner in which they are used, applied, or joined together must be typical of the style and period the main building and compatible with the other buildings on the blockface.”

In addition, the Secretary of Interior Standards for Rehabilitation stipulate that the “alteration of features, spaces and spatial relationships that characterize a property will be avoided.” The Standards go on to state that, “distinctive materials... that characterize a property will be preserved.” Therefore, staff is recommending denial without prejudice of the change in the width and style of wood decking on the front porch.

#### **STAFF RECOMMENDATION:**

- 1) That the request for a Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence. The proposed work is consistent with the Winnetka Heights preservation criteria Section 51P-87.111(b)(2) for fences and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.
- 2) That the request for a Certificate of Appropriateness to retain the unauthorized replacement of a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color “Sable” be denied without prejudice. The proposed work is inconsistent with the Winnetka Heights preservation criteria Section 51P-87.111(a)(3) for architectural detail and (11) for front entrances and porches, is inconsistent with the Secretary of Interior Standards 1, 3 and 5, and is inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

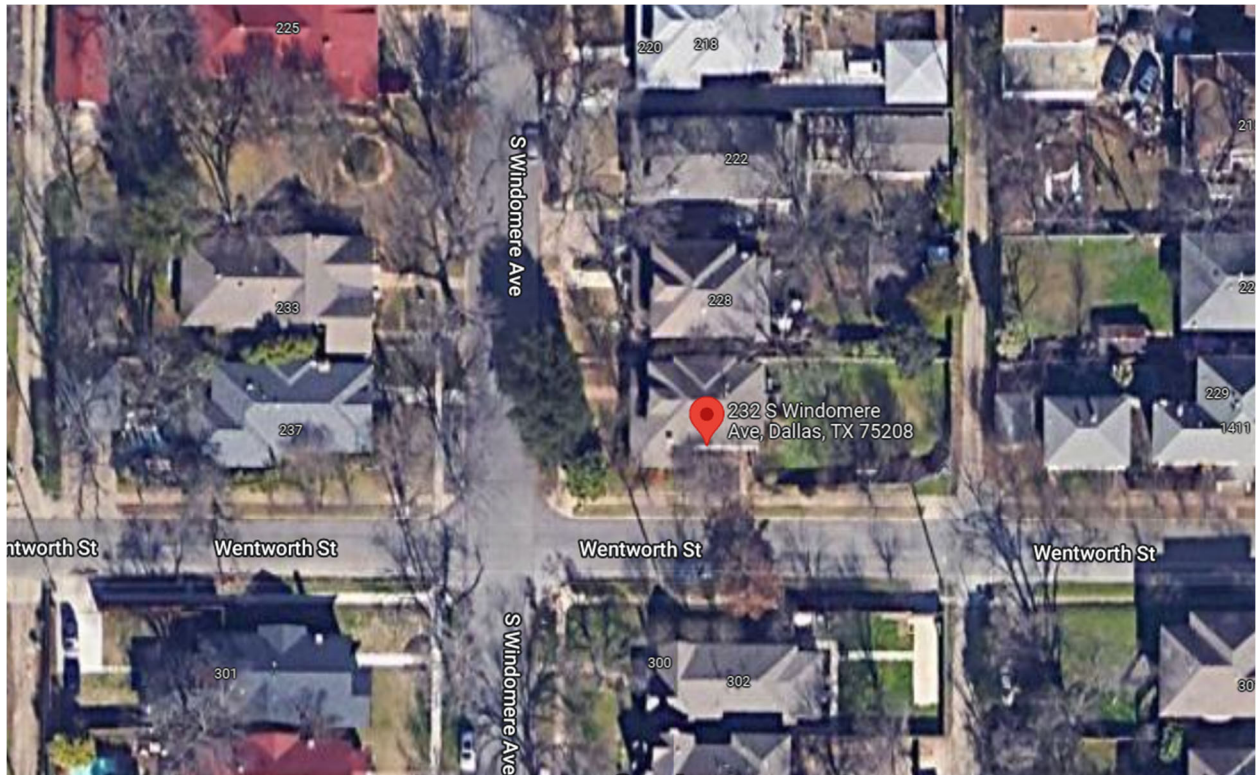
#### **TASK FORCE RECOMMENDATION:**

- 1) That a Certificate of Appropriateness to retain the unauthorized replacement of a 6' wood fence with a 7'10" wood fence be denied without prejudice. Fencing appears to be placed in a reasonable location in front of the side yard given the location of the rear corner windows and the sidewalk. Applicants should provide additional details on the back wall, maintaining visibility triangle, vehicle gates.
- 2) That the request for a Certificate of Appropriateness to retain the unauthorized replacement of a 1x3" or 1x4" wood slat front porch with a 1x6" wood slat front porch stained with Behr semi-transparent color “Sable” be denied without prejudice. 1x6 decking is proposed to be changed from original 1x4 decking. Proposed decking should match the original 1 x4 width.

## LOCATION MAP

232 S Windomere Ave..

*Basemap Source: Google Maps*





**CURRENT PHOTOS**  
**232 S Windomere Ave.**





**CURRENT PHOTOS**  
232 S Windomere Ave.





**CURRENT PHOTOS**  
**232 S Windomere Ave.**



*Photographs of new front porch submitted by applicant.*



## Contextual Photos



## *Properties to left*



## *Properties across Wentworth St.*



Contextual Photos



*Properties across S Windomere Ave.*

**TASK FORCE  
RECOMMENDATION(S)**



**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: Dan Henry  
PROPERTY ADDRESS: 232 S Windomere Ave  
DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☒ Denial without prejudice

Agenda Item #3 - Recommendation / comments/ basis:

- Fencing appears to be placed in a reasonable location in front of the side yard given the location of the rear corner windows and the sidewalk. Applicants should provide additional details on the back wall, maintaining visibility triangle, vehicle gates.
- 1x6 decking is proposed to be changed from original 1x4 decking. Proposed decking should match the original 1x4 width.

Task force members present:

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input checked="" type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input checked="" type="checkbox"/> Nicholas Dean	<input checked="" type="checkbox"/> Troy Sims (LC Resident)
<input type="checkbox"/> VACANT (WH Alt)	<input type="checkbox"/> Derwin Hall	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☐ Scott Bellen ☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA

Office Use Only

Name of Applicant:

Dan Henry

Mailing Address:

232 S. Windomere Ave

City, State and Zip Code:

Dallas, Tx 75208

Daytime Phone:

469-859-5015

Alternate Phone:

Relationship of Applicant to Owner:

Same

**OFFICE USE ONLY**

Main Structure:

\_\_\_ Contributing

\_\_\_ Non-contributing

**PROPERTY ADDRESS:**

232 S. Windomere Ave Dallas, Tx 75208

**Historic District:**

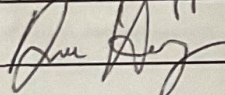
Winnetka Heights

**PROPOSED WORK:**

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Eight-foot board on board cedar picket fence with top cap and trim. Fence has 37" wide entrance gate and 11'2" sliding gate to allow access into backyard. Fence/gates built in same location as old fence and followed same setbacks. Crew hired to do work took down fence prior to CA being applied for. That is mainly my fault →

Signature of Applicant:



Date:

5/25/22

Signature of Owner:

(IF NOT APPLICANT)

Date:

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed \_\_\_ Yes \_\_\_ No

Office of Historic Preservation

Date



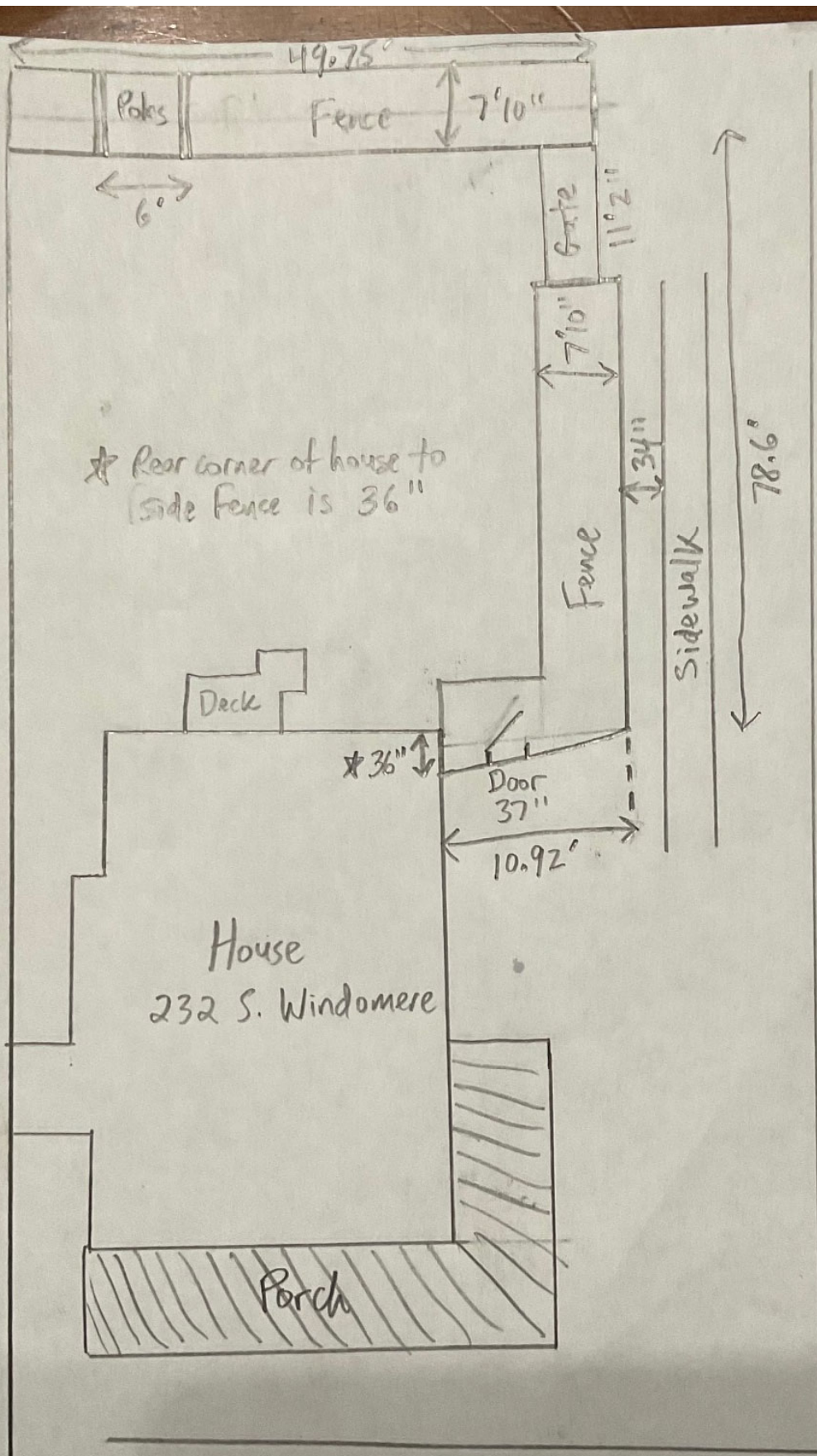
## CA Application for 232 S. Windomere (continued)

I moved into this home in June, 2021 and got the necessary permit, but was not aware I needed a CA to replace fence. Old fence was literally falling down and became a safety risk. In fact, we had a chicken escape and get killed. Fence was also down for 3 weeks and we ~~had~~ caught people on at least two occasions rummaging through our backyard where we have lots of high-end tools and equipment. We had to replace at that point due to safety concerns.

### Front Porch

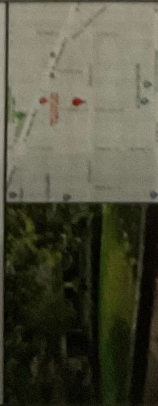
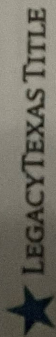
I replaced rotted decking boards which were so dilapidated that it became hazardous to walk on porch. I used 1x6" treated decking boards and aligned them in same pattern as previous boards. Boards were stained to match (as best I could) front door and trim around front door. We have kept dark trim throughout home because we want to preserve original character of home. Again, my mistake for not obtaining CA. I was told that was not required for "routine maintenance". Please let me know if there is anything more needed to get this approved.





Wentworth





PROPERTY ADDRESS:  
220 S WENTWORTH AVENUE, Dallas, Texas 75228

SURVEY NUMBER: 216-2027

DATE OF SURVEY: 05/02/21

FIELD WORK DATE: 07/1/2021

REVISION DATES:  
None

POINTS OF INTEREST:  
None Visible

**SURVEYOR'S CERTIFICATE**

The undersigned, being a Registered Professional Land Surveyor in the State of Texas, do hereby certify that the Plat or Survey herein currently represents the results of an actual survey made by me or under my direction and meets the standards of practice promulgated by the Texas Board of Professional Engineers and Land Surveyors.

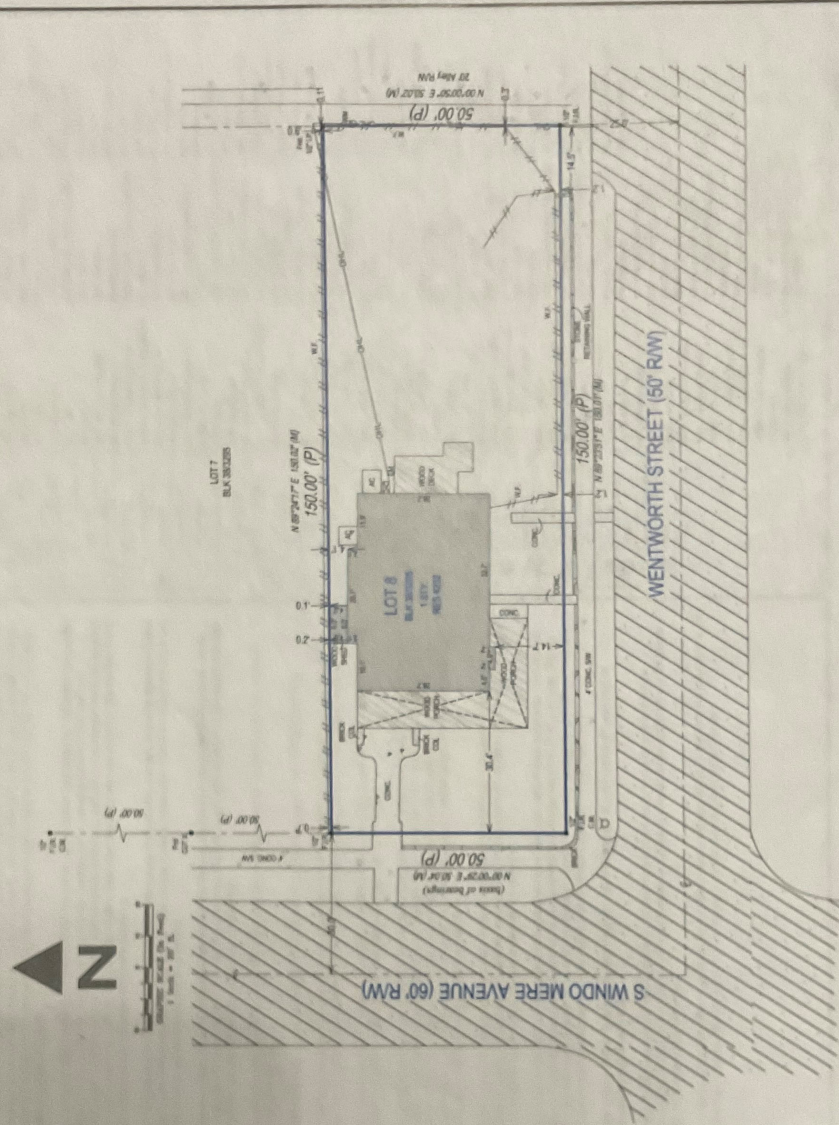
**STATE OF TEXAS**  
**REGISTERED**  
**PROFESSIONAL LAND SURVEYOR**  
**MICHAEL W. SKINNER**  
#945818

*Michael W. Skinner*

**EXACTA**  
Land Surveys, LLC

11111 Richmond Ave., Suite 150 | Houston, TX 77062  
Phone: 281.444.2022  
Fax: 281.444.2023  
www.exacta-ls.com

**EXACTA**  
Land Surveys, LLC



SEE PAGE 3 OF 3 FOR LEGAL DESCRIPTION  
PAGE 1 OF 3 - NOT VALID WITHOUT ALL PAGES



[illegible]

<b>PROPERTY ADDRESS:</b> 2321 WINNEMORE AVENUE, Dallas, Texas 75208  <b>SURVEY NUMBER:</b> 2105.3907  <b>CERTIFIED TO:</b> LEGACY TEXAS TITLE, FIDELITY NATIONAL TITLE INSURANCE COMPANY  <b>DATE OF SURVEY:</b> 06/16/21  <b>BUYER:</b> DANIEL HENRY  <b>LENDER:</b>  <b>TITLE COMPANY:</b> LEGACY TEXAS TITLE  <b>TITLE COMMITMENT:</b> 212551  <b>CLIENT FILE NO:</b> 212551  <b>LEGAL DESCRIPTION:</b> PART OF THE SOUTHWEST 1/4 OF WINNETKA HEIGHTS, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, BEING THE MAP THEREOF RECORDED IN VOLUME 1, PAGE 194, MAP RECORDS, DALLAS COUNTY, TEXAS	<p><b>GENERAL SURVEYORS NOTES:</b></p> <ol style="list-style-type: none"> <li>Unless otherwise noted, the Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.</li> <li>The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the viable improvements thereon for a pending financial transaction. Underlying title, easements, or other service lines, including root cave overhangs were not located as part of this survey. Utilities are specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.</li> <li>Controlling Monuments ("CM") designated on the survey indicate the corners found or recovered and are the basis of the referenced bearing for this survey. Unless otherwise noted the bearings depicted hereon are based on the record map or plat.</li> <li>If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection only. No excavation was performed to determine its location.</li> <li>This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.</li> <li>Alterations to this survey map and report by other than the signing surveyor are prohibited.</li> <li>Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at <a href="http://www.fema.gov">www.fema.gov</a> and may not reflect the most recent information.</li> <li>Unless otherwise noted "SIRC" indicates a Set Iron Rebar with Cap stamped LBS 10053800 or LBS# 10194357, a minimum half inch in diameter and eighteen inches long.</li> <li>If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Texas State Statutes 663.18. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor.</li> <li>The symbols reflected in the surveyor's legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.</li> <li>Points of Interest (POI) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POIs may not represent all items of interest to the viewer. There may be additional POIs which are not shown or called-out as POIs, or which are otherwise unknown to the surveyor.</li> <li>Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.</li> <li>The information contained on this survey has been prepared exclusively by and is the sole responsibility of Exakta Land Surveys, LLC. Additional logos or references to third party firms are for informational purposes only.</li> <li>Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning. Dimensions are in feet and decimals thereof.</li> </ol>
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**FLOOD ZONE INFORMATION:**  
 BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. F. 480771 040K, DATED: 07/07/2014.

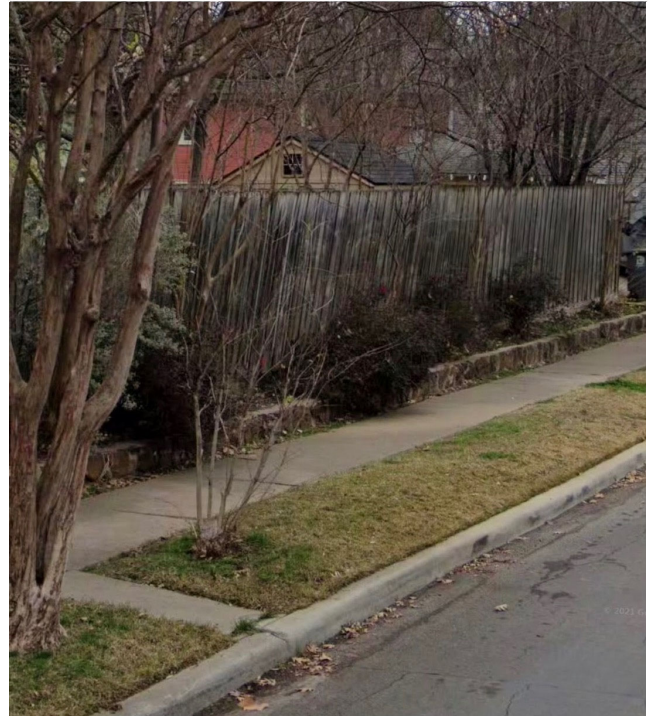
**JOBS SPECIFIC SURVEYOR NOTES:**  
 Subject to restrictive covenants recorded in VOLUME 1, PAGE 194, MAP RECORDS, DALLAS COUNTY, TEXAS.

<b>SURVEYORS LEGEND:</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 15%;">LINE TYPES</th> <th style="width: 85%;">ABBREVIATIONS</th> </tr> <tr> <td>Boundary Line</td> <td>FC - Calculated</td> </tr> <tr> <td>Center Line</td> <td>FD - Deed</td> </tr> <tr> <td>Chain Link or Wire Fence</td> <td>FP - Field</td> </tr> <tr> <td>Existence</td> <td>FM - Measured</td> </tr> <tr> <td>Edge of Water</td> <td>FR - Right of Way</td> </tr> <tr> <td>Iron Fence</td> <td>FS - Survey</td> </tr> <tr> <td>Overhead Lines</td> <td>GA - Gas Meter</td> </tr> <tr> <td>Structure</td> <td>GB - Gas Meter</td> </tr> <tr> <td>Survey Tie Line</td> <td>GC - Gas Meter</td> </tr> <tr> <td>Vinyl Fence</td> <td>GD - Gas Meter</td> </tr> <tr> <td>Wall or Party Wall</td> <td>GE - Gas Meter</td> </tr> <tr> <td>Wood Fence</td> <td>GF - Gas Meter</td> </tr> <tr> <td></td> <td>GH - Gas Meter</td> </tr> <tr> <td></td> <td>GI - Gas Meter</td> </tr> <tr> <td></td> <td>GJ - Gas Meter</td> </tr> <tr> <td></td> <td>GK - 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This was from the inspection report we got right before we bought the home. He recommended repairs. As you can see, the fence was in very bad shape too. It was leaning toward Wentworth Street pretty badly and shows the poor attempts at patchwork repairs over the years.

The stain used for the decking was Behr semi-transparent. Color is "Sable".





Photos of all three sides of fence.







Neighbor's fence on property boundary.



More photos for CA at 232 S Windomere Ave Dallas









Photos of the front porch. Please excuse the mess.





Photos of the front porch. Please excuse the mess.







## **LANDMARK COMMISSION**

**JULY 5, 2022**

FILE NUMBER: CA212-389(MGM)  
LOCATION: 102 S Winnetka Ave  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD-87 (Tract 1)

PLANNER: Murray G. Miller  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-F  
CENSUS TRACT: 0046.00

**APPLICANT:** TREY TAYLOR

**REPRESENTATIVE:** N/A

**OWNER:** TREY TAYLOR

**REQUEST:**

A Certificate of Appropriateness to construct a two-story addition to the rear of the primary structure.

**RELEVANT REGULATIONS**

SEC. SIP-87.111. PRESERVATION CRITERIA FOR TRACT I

(a) Building placement, form, and treatment.

- (2) Additions. All additions to a building must be compatible with the dominant horizontal or vertical characteristics, scale, shape, roof form, materials, detailing, and color of the building.

**RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES**

**STANDARDS FOR REHABILITATION**

9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**ANALYSIS**

According to the 1922 Sanborn map, the proposed addition would be a two-story addition to a non-original two-story addition that extended the full width of the primary structure.

**Horizontal/Vertical Characteristics**

The proposed two-story addition displays a dominant horizontal character with its use of horizontal wood siding, fenestration pattern, moderately pitched hipped roof, and generous roof overhang. In this regard, it is compatible with the dominant horizontal characteristics of the main building.

**Scale**

The proposed two-story addition displays a scale and shape that is characterized by a smaller footprint than the main building, which produces a secondary roof ridge height that is set down from the main building, therefore making the addition subordinate to the main building. In this regard, the proposed addition is compatible with the dominant scale and shape of the main building because of its subordinate scale.

**Roof Form**

The proposed two-story addition displays a hipped roof form that is compatible with the dominant scale and shape of the main building.

**Materials, Detailing, and Color**

The proposed two-story addition utilizes wood materials, detailing, and colors that match the main building. In this regard, it is compatible with the dominant materials, detailing, and color of the main building.

In addition, the way the proposed materials, detailing, and color are to be used, applied, and joined together are typical of the style and period the main building and are compatible with the other buildings on the blockface.

The effects of the proposed addition, while visible from W 10<sup>th</sup> Street, are best depicted in “experiential” drawings (i.e. the 3D video provided by the applicant), rather than in elevation drawings (i.e. the standard drawing set provided by the applicant). The latter, viewed out of its context may allow the upper story to appear uncharacteristic of the predominant character of traditional two-story additions in the area. When context is considered and the reader is presented with the likely appearance of the proposed structure if constructed, the effect of the cantilevered upper story is significantly mitigated.

The applicant has undertaken considerable adjustments to the plan in response to feedback received from staff and the Task Force including:

- an adjustment of the roof form
- the addition of windows along the entire East and North facing elevations
- the addition of detail and a window on the South elevation
- an increase in the size of the columns on the back porch
- an adjustment to the form of the dormers
- the addition of trim elements on the North elevation
- the creation of a 3D video to illustrate the street view

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct a two-story addition to rear of the primary structure be approved in accordance with drawings and specifications dated 6/20/22, because the proposed work is consistent with the Winnetka Heights Historic District preservation criteria SEC. 51P-87.111. (a)(2) regarding additions; City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and Rehabilitation General Standard 9 of the Secretary of the Interior's Standards for the Treatment of Historic Properties.



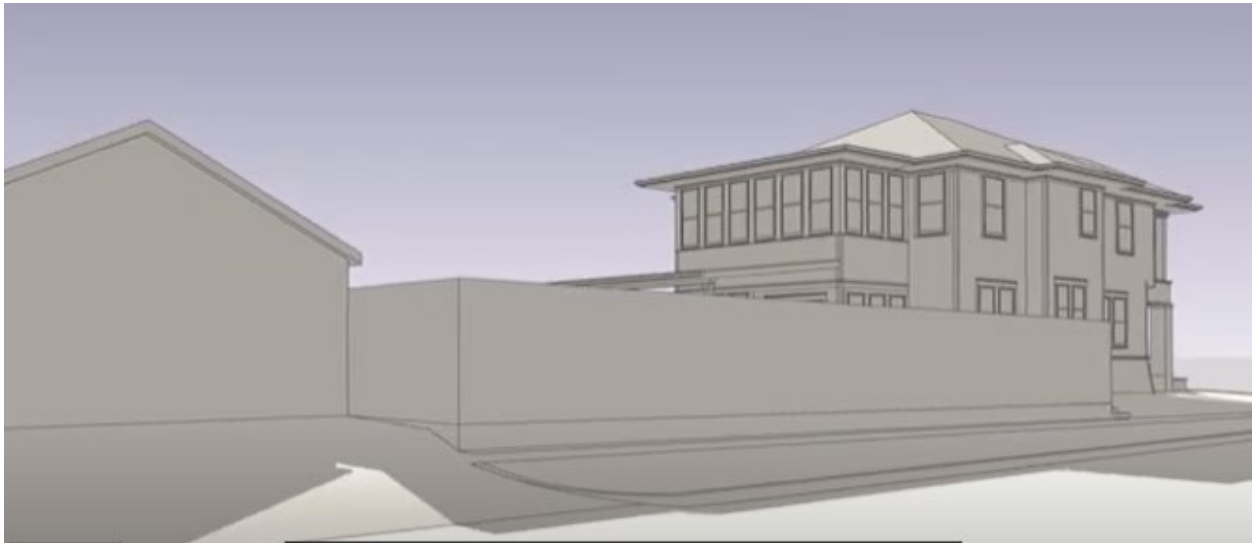
### **TASK FORCE RECOMMENDATION:**

Deny without Prejudice - Addition does not appear to be in keeping with the scale of the original structure as the massing does not follow the same rules of material balance, roof/ porch extensions and greater amounts of openings progressing to the front and rear of structures.

Sunroom was a benefitting character element that supported the character of the historic structure. Revisions involving scaling down the size of the addition from the elevations as well as stair stepping the roof, proportions of columns related to the front porch, and reincorporating the sunroom windows MAY help.

### **SUPPLEMENTARY INFORMATION**

<https://www.youtube.com/watch?v=kTXbNiMEeBo>



Existing viewpoint A



Proposed viewpoint A

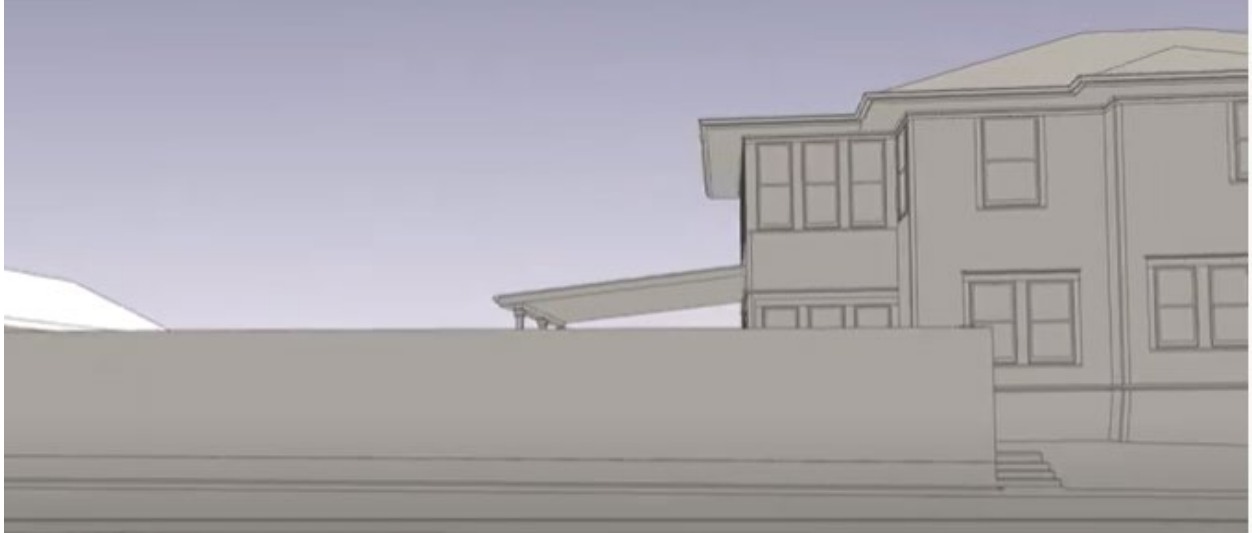


Existing viewpoint B

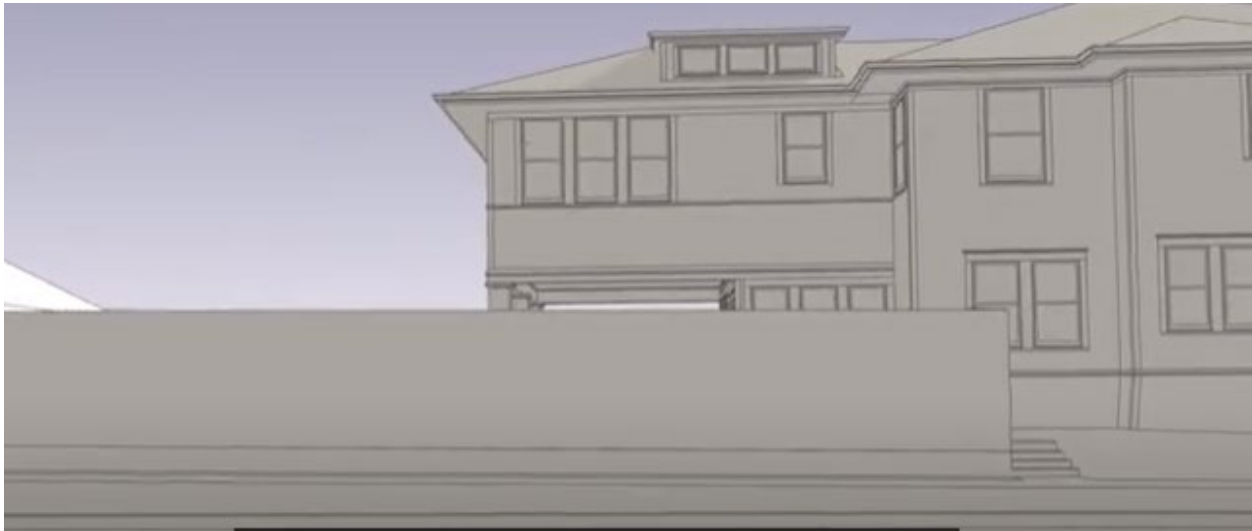


Proposed viewpoint B





Existing viewpoint C



Proposed viewpoint C

**LANDMARK COMMISSION****JULY 5, 2022**

FILE NUMBER: CA212-393(SB)  
LOCATION: 419 N Winnetka Ave.  
STRUCTURE: Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD 87 (Tract 1)

PLANNER: Scott Bellen  
DATE FILED: June 2, 2022  
DISTRICT: Winnetka Heights (H-15)  
MAPSCO: 54-B  
CENSUS TRACT: 0046.00

**APPLICANT:** Towler, Amanda

**REPRESENTATIVE:** N/A

**OWNER:** TOWLER AMANDA

**REQUEST:**

- 1) A Certificate of Appropriateness to extend an eight-foot, stained wood fence into the corner side yard.

**BACKGROUND / HISTORY:**

- 1) The residence at 419 N Winnetka Ave is a contributing structure to the Winnetka Heights Historic District.
- 2) On May 29, 2019 CA189-561(MLP) was approved by staff to "relocate existing fence by 2'-0" towards the interior of the lot."

**RELEVANT PRESERVATION CRITERIA:**

**Winnetka Heights Historic District (H-15), Article 87, PD 87**

SEC. 51P-87.111 Preservation Criteria for Tract 1.

(b) Landscaping

(2) Fences.

(A) Form.

- (i) Fences must be constructed and maintained in a vertical position.
- (ii) The top edge of a fence must be along a line that is either horizontal, or substantially parallel to grade. Except in the case of a picket, chain link, or wrought iron fence, the top edge of a fence must be flat.

(B) Height. Maximum permitted height for a fence is nine feet.

(C) Location.



- (i) The following are the only types of fences permitted in the front yard: white wood picket fences and dark green, dark brown, or black wrought iron fences. A fence in the front yard may not exceed two feet in height unless a taller fence is needed to satisfy screening requirements for parking in front of nonresidential uses.
- (ii) A fence in an interior side yard must be located in the rear 50 percent of the side yard and behind the rearmost side projection of the main building, except that the commission may allow a fence to be located anywhere in an interior side yard if it determines that the fence does not screen all or any portion of a significant architectural feature of a main building on the same or an adjacent lot.
- (iii) A fence in the corner side yard must not be directly in front of the corner side facade, except that the commission may allow a fence that is directly in front of all or any portion of the rear 50 percent of the corner side facade if:
  - (aa) more screening is necessary to insure privacy due to unusually high pedestrian or vehicular traffic; and
  - (bb) the fence does not screen all or any portion of a significant architectural feature of the main building.
- (iv) A fence in the corner side yard must be set back a minimum of two feet from a public sidewalk.
- (v) A fence must run either parallel or perpendicular to a building wall or lot line.
- (D) Materials. A fence must be constructed of one or more of the following materials: metal or plastic-coated chain link, wrought iron, wood, or stucco. The use of brick in a fence is not permitted, except as part of a structural column, or a base that is two feet or less in height. Exposed concrete blocks are not permitted.
- (G) Wooden fences.
  - (i) All wooden structural posts must be at least four inches in diameter (nominal size).
  - (ii) The side of a wooden fence facing a public street must be the finished side.
  - (iii) Wooden fences may be painted or stained a color that is complementary to the main building.

#### SEC. 51P-87.106 Preservation Criteria for Tract 1.

##### (b) Review by the director.

(2) Minor exterior alterations. In addition to the above, the director shall review an application for a certificate of appropriateness for one or more of the following minor exterior alterations as if the work were routine maintenance and replacement:

- (A) the application, installation, maintenance, or replacement of:
  - (v) a wood or chain link fence that is not painted or stained.

## RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

### Standards for Rehabilitation

*2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

*3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

*5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

## RELEVANT DALLAS CITY CODE:

### Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*

(bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*

(cc) *the proposed work will not have an adverse effect on the historic overlay district; and*

(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

## PROJECT DESCRIPTION & ANALYSIS:

The applicant is proposing to extend an eight-foot-tall wood fence into the corner side yard and to stain with rust color stain. The current fence has been erected with the centerline of fenceposts located two feet from the sidewalk. The fence would extend perpendicularly from the sidewalk to a location between two windows on a side projection of the main building.

### Analysis –

The Winnetka Heights preservation criteria Section 51P-87.111(b)(2)(C)(iii) stipulates two reasons that the Landmark Commission may allow a fence to be located directly in front



of all or any portion of the rear 50 percent of the corner side facade. First, more screening must be necessary to insure privacy due to unusually high pedestrian or vehicular traffic. Second, the fence must not screen all or any portion of a significant architectural feature of the main building. Both of these conditions must be met for the Landmark Commission to approve a fence which is located in the rear 50 percent of the corner side facade.

The revised site plan indicates that the proposed fence would be located 30 feet from the front corner of the house and 28.9 feet from the rear corner of the house. However, the house measurements on the survey contradict this assertion. The midway point of the side projection is approximately 27.35 ft from the front corner of the house and approximately 31.5 feet from the rear corner of the house, which means that the proposed location of the fence is not in the rear 50 percent of the corner side facade, and therefore is prohibited by the preservation criteria. However, by moving the proposed fence location to the corner of or behind the rearmost side projection of the main building, the fence could meet this aspect of the preservation criteria.

While the Winnetka Heights preservation criteria Section 51P-87.111(b)(2)(B) allows a fence to a height of up to nine feet, the close proximity of this 8-foot high fence to the sidewalk screens the house from view from that perspective. In addition, most of the house is screened from view by the fence when seen from across the street. The location of the proposed fence would also obscure from public view half of the side projection and one of the two windows.

#### **STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to extend an existing 8-foot, stained wood fence be denied without prejudice. The proposal is inconsistent with Winnetka Heights preservation criteria Section 51P-87.111(b)(2)(C)(iii) for fences, inconsistent with the Secretary of Interior's Standards 2 and 3, and inconsistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures.

#### **TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to extend an existing 8 ft stained wood fence be approved with conditions. Fence is allowed to be moved up to the 50% mark of the length of the house; however, the house is 58ft long rather than listed 60ft long. As well as there is a bump out two window feature that should not be divided by a fence. TF recommends moving the proposed fence location to the rear outside corner of the bump out, approx. 6ft back from the proposed location. It appears this will clear the tree and planting area.

*After the Task Force meeting, the applicant provided a corrected site plan. However, the site plan did not meet the conditions specified by the Task Force.*

## LOCATION MAP

419 N Winnetka Ave.

*Basemap Source: Google Maps*





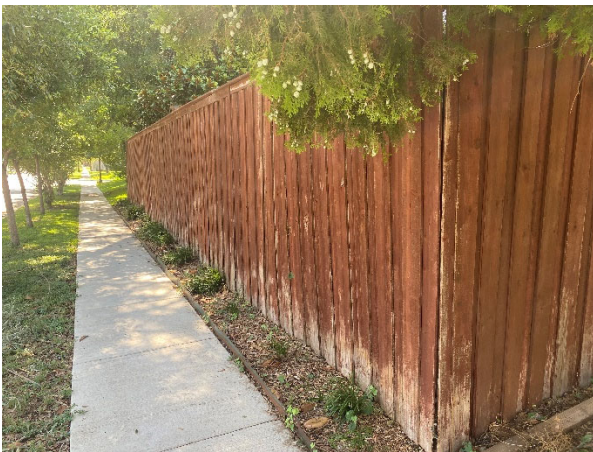
**CURRENT PHOTOS**  
419 N Winnetka Ave..









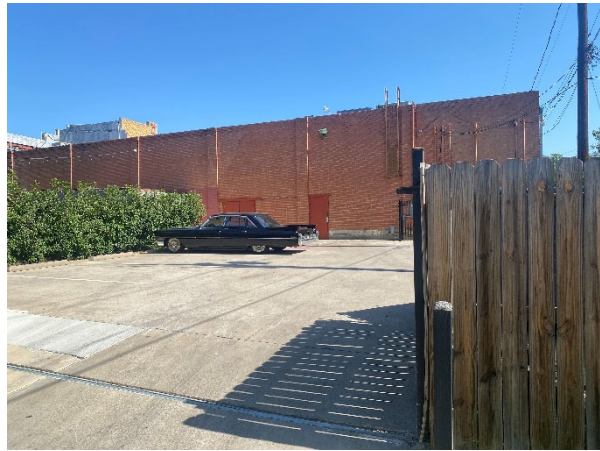




## Contextual Photos



## *Properties to left*



## *Properties on W Seventh St.*



## Contextual Photos



*Properties across N Winnetka Ave.*

**TASK FORCE  
RECOMMENDATION(S)**



**A TASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/08/2022

TIME: 5:30pm

MEETING PLACE: Virtual / 2922 Swiss Avenue

APPLICANT NAME: Amanda Towler

PROPERTY ADDRESS: 419 N Winnetka Ave

DATE of CA / CD REQUEST: 06/02/2022

**RECOMMENDATION:**

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Agenda Item #5 - Recommendation / comments/ basis:

- Fence is allowed to be moved up to the 50% mark of the length of the house; however, the house is 58ft long rather than listed 60ft long. As well as there is a bump out two window feature that should not be divided by a fence. TF recommends moving the proposed fence location to the rear outside corner of the bump out, approx. 6ft back from the proposed location. It appears this will clear the tree and planting area.

Task force members present:

☒ Alfredo Pena

☒ Christine Escobedo

☐ VACANT (WH Alt)

☒ Mia Ovcina

☒ Nicholas Dean

☐ Derwin Hall

☒ Michelle Walker

☒ Troy Sims (LC Resident)

☐ VACANT (LC Alt)

Ex Officio staff members present

☒ Scott Bellen

☐ Carlos van Onna

Simple Majority Quorum: ☒ yes ☐ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*MIA O.*  
*CHRISTINE E.*  
*ALL*  
*NONE*

CHAIR, Task Force

DATE 06/08/22

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 5, 2022 via videoconference and in-person at Dallas City Hall.

The Landmark Commission public hearing begins at 1:00 P.M. at Dallas City Hall and videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



# Certificate of Appropriateness (CA)

## City of Dallas Landmark Commission

CA \_\_\_\_\_ - \_\_\_\_\_ [ ]  
Office Use Only

Name of Applicant: Amanda Towler  
Mailing Address : 419 N Winnetka Ave  
City, State and Zip Code: Dallas, TX 75208  
Daytime Phone: 361-227-1362 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner : self

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
  
Yes \_\_\_\_ No \_\_\_\_  
  
Historic Planner's  
Initials:

**PROPERTY ADDRESS:** 419 N Winnetka Ave, Dallas TX 75208

**Historic District:** Winnetka Heights

### PROPOSED WORK:

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

The proposed work will extend the fence along the Corner Side Facade of the home by 27ft. Currently, the fence covers zero percent of the home; the proposed extension will cover approximately the rear fifty percent of the home. The proposed work will use the same materials (wood), construction style (overlapping vertical panels), and color (a rust-tone stain) as the existing fence. The proposed work qualifies as routine maintenance, per the guidelines herein. Supporting materials attached.

Signature of Applicant:  Date: 03 MAY 2022

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON, (see official calendar for exceptions)**, before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

### OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (**see exceptions**). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please **do not** release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Sustainable Construction and Development

Date

## APPLICATION INSTRUCTIONS

### DO

- Contact a Preservation Planner in advance of the deadline to discuss your application and requirements.
- Submit items on the criteria checklist WITH your application. Incomplete applications are not accepted.
- Submit digital copies of images, photographs, and plans if possible.
- Submit scaled drawings in size 11"x17" or larger. Large plans should be folded, not rolled.
- Review the FAQ on our website for more details:  
<http://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/default.aspx>

### DO NOT

- Do not fax photographs or paint chips. These items may be submitted via email (preferred), US Mail, or in person.
- Do not write "match existing" on your application or plans. Exact specifications and details must be submitted for every request.

**ROUTINE MAINTENANCE** – Dallas Development Code allows for some items to be considered 'Routine Maintenance' reviewed by Staff. Routine Maintenance reviews generally take 7-10 days, but may take up to 21 days depending on complexity of requests and volume of applications. Routine Maintenance items include (but are not limited to):

- installation of a chimney located on an accessory building, or in the rear 50% of a main building not part of the corner side façade;
- installation of an awning located on an accessory building, or on the rear façade of a main building;
- shingle replacement that does not include a change in color;
- installation of a wood or chain link fence that is not painted or stained and meets the preservation criteria with no exceptions;
- installation of gutters and downspouts that matches the dominant trim or roof color;
- installation of skylights and solar panels;
- installation of window/door screens;
- application of paint that is the same as the existing or that is an appropriate dominant, trim, or accent color; \*
- the restoration of original architectural elements;
- minor repair using the same material and design as the original;
- repair of sidewalks and driveways using the same type and color of materials;
- the process of cleaning (including but not limited to low-pressure water-blasting and stripping, but excluding sandblasting and high-pressure water blasting);
- painting, replacing, duplicating or stabilizing deteriorated or damaged architectural features (including but not limited to roofing, windows, columns, and siding) in order to maintain the structure and to slow deterioration.

\* Winnetka Heights – Painting must be exact match to existing to qualify as Routine Maintenance.



Understanding of Routine Maintenance guidance:

- 1) The proposed work qualifies as Routine Maintenance per the CA form application instructions, specifically: "Installation of a wood or chain link fence that is not painted or stained and meets the preservation criteria with no exceptions";
- 2) Also considered Routine Maintenance is "application of paint that is the same as the existing color", so combining 1) and 2) the proposed work qualifies as Routine Maintenance;
- 3) The proposed work meets the Winnetka Heights Ordinance per Sec. 51P-87.111(b. Landscaping)(2. Fences)(C. Location)(iii) "A fence in the corner side yard must not be directly in front of the corner side facade, except that the commission may allow a fence that is directly in front of all or any portion of the rear 50 percent of the corner side facade if:
  - (aa) more screening is necessary to insure privacy due to unusually high pedestrian or vehicular traffic; and
  - (bb) the fence does not screen all or any portion of a significant architectural feature of the main building."



Front view of the house





Corner view at N Winnetka Ave and 7th St



View of the Corner Side Facade along 7th St.



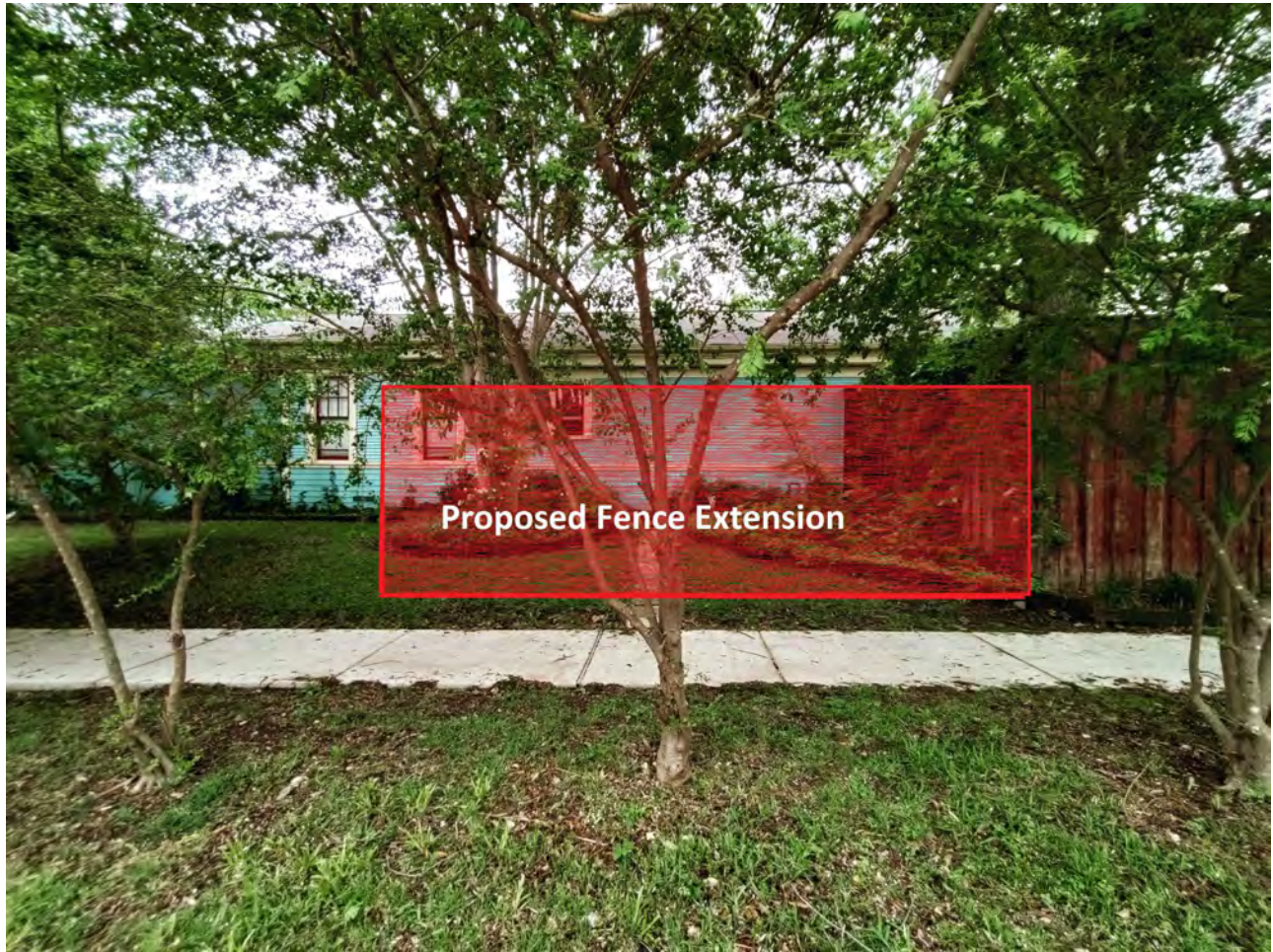


View of the Corner Side Facade along 7th St.



View of proposed work area





Proposed fence extension.



Proposed fence extension





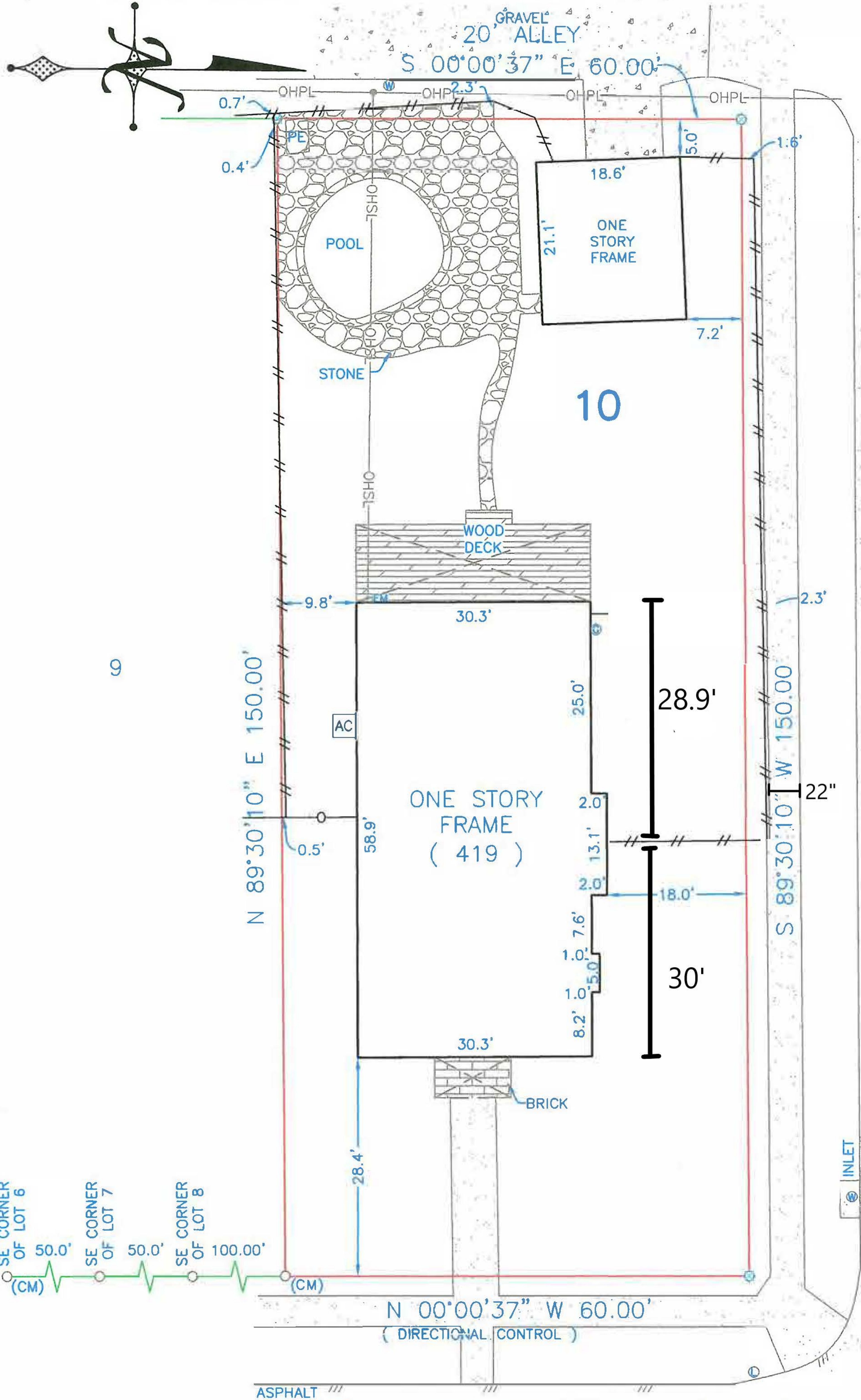
Proposed fence extension



SURVEY PLAT



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090  
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 419 North Winnetka Avenue, in the City of Dallas, Texas.  
Being Lot 10, Block 11/3259, WINNETKA HEIGHTS ADDITION, an Addition to the City of Dallas, Dallas County, Texas, according to the map or plat thereof, recorded in Volume 1, Page 194, Map Records, Dallas County, Texas; together with Certificate of Correction recorded in Volume 619, page 94, Deed Records, Dallas County, Texas.



WEST SEVENTH STREET

NORTH WINNETKA AVENUE

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM. NORTH CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

HSTX TITLE

THE PLAT HEREON IS TRUE, CORRECT, AND ACCURATE REPRESENTATION OF THE PROPERTY AS DETERMINED BY SURVEY, THE LINES AND DIMENSIONS OF SAID PROPERTY BEING AS INDICATED BY THE PLAT: THE SIZE, LOCATION AND TYPE OF BUILDING AND IMPROVEMENTS ARE AS SHOWN, ALL IMPROVEMENTS BEING WITHIN THE BOUNDARIES OF THE PROPERTY, SET BACK FROM PROPERTY LINES THE DISTANCE INDICATED, OR VISIBLE AND APPARENT EASEMENTS.  
TITLE AND ABSTRACTING WORK FURNISHED BY HSTX TITLE  
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'  
Date: 12/16/2021  
G. F. No.: HSTX21-00780  
Job no.: 202113447  
Drawn by: M.F.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR HSTX TITLE

LEGEND	
WOOD FENCE	---X---
CHAIN LINK	---X---
IRON FENCE	---X---
WIRE FENCE	---X---
CM - CONTROLLING MONUMENT	○
MRO - MONUMENTS OF RECORD DIGNITY	○
- 1/2" IRON ROD FOUND	○
- 1/2" YELLOW-CAPPED IRON ROD SET	○
- SET 'X'	X
- FOUND 'X'	X
- 5/8" IRON ROD FOUND	○
- POINT FOR CORNER	○
- CABLE	○
- CLEAN OUT	○
- GAS METER	○
- FIRE HYDRANT	○
- LIGHT POLE	○
- MANHOLE	○
PE - POOL EQUIP	○
PE - POWER POLE	○
TELEPHONE	○
WATER METER	○
WALL	○
( UNLESS OTHERWISE NOTED )	





One more thing I forgot to include in my previous email, attached are photos of 102 N Winnetka Ave, which has a fence similar to what we are proposing in terms of placement relative to the house and property, for reference and to demonstrate precedence. Not sure if this can still be submitted to the committee but I thought it was relevant.

